



TOWN OF BRUNSWICK

PLANNING BOARD

BRUNSWICK STATION
16 STATION AVENUE, BRUNSWICK, ME 04011
ROOM 217

PLANNING BOARD REVISED* AGENDA

**Tuesday, March 26, 2013
7:00 P.M.**

- 1. Case #13-009 – Unitarian Universalist Church of Brunswick** – The Planning Board will review and take action on a Certificate of Appropriateness for a Demolition Application for the 1,660 SF Pennell House located at 5 Middle Street and Major Review Application submitted by Unitarian Universalist Church of Brunswick to construct a 8,652 square foot church to be located at 15 Pleasant Street and 5 Middle Street (Tax Map U13, Lots 73 & 74), in the Town Center 1 (TC1) Zoning District.
- 2. Other Business**
- 3. Minutes**

**Per the applicant's request, Case #13-011 – Great Island Boat Yard was removed from the agenda.*

It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.

**MAJOR DEVELOPMENT REVIEW APPLICATION
DEMOLITION APPLICATION
VILLAGE REVIEW BOARD APPLICATION
UNITARIAN UNIVERSALIST CHURCH
OF BRUNSWICK RECONSTRUCTION
1 MIDDLE STREET, BRUNSWICK, MAINE
TAX MAP 13, LOTS 73 &74**

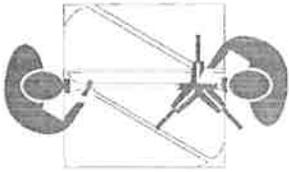
Prepared For

Unitarian Universalist Church of Brunswick
15 Pleasant Street
Brunswick, ME 04011

Prepared By

Sitelines P.A.
8 Cumberland Street
Brunswick, Maine 04011

March 19, 2013



March 19, 2013

1958-7

Jeremy Doxsee, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Major Development Review Final Application
Demolition Application
Village Review Board Application
Unitarian Universalist Church of Brunswick Reconstruction
Tax Map U-13, Lots 73 & 74**

Dear Jeremy:

On behalf of the Unitarian Universalist Church of Brunswick, Sitelines, PA is pleased to submit eighteen (18) copies of the Major Development Review Final Application Form, Demolition Application Form, Village Review Board Application Form, drawings, and supporting documentation for the proposed redevelopment of a church and associated infrastructure at 1 Middle Street. The applicant is proposing to construct a single story 8,652 s.f. footprint church to be located at the intersection of Pleasant and Middle Streets. The new building will have an address of 1 Middle Street. This application includes the application forms, drawings, supporting documents and an application fees of \$965.20. This application is being submitted for review and consideration for Sketch and Final review at the March 26, 2013 Planning Board meeting.

PROPERTY

The Unitarian Universalist Church owns two parcels located at 15 Pleasant Street and 5 Middle Street (Tax Map U-13, Lots 73 and 74). Copies of the deeds for the properties have been enclosed. The two parcels consist of 12,064 s.f. (0.28 acres) of area and have frontage on Pleasant Street and Middle Street. The site has previously been developed, and consisted of a two-story church building with a basement and a two-story church office building. Due to a fire in summer 2011, the church was demolished for safety reasons. The previous two-story church building had a footprint of 2,374 s.f. The remaining two-story church office building located on the site is currently vacant. The property is served by public water, public sewer, natural gas, and overhead electric & communication utilities. The property is located within the Town Center, Maine Street (TC1) Zone, in which religious institutions are permitted.

SITELINES, PA

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS
8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

PROJECT HISTORY

The request to demolish Pennell House by the Unitarian Church of Brunswick has not come easily. It is being made after attempts to incorporate it into the church reconstruction plan have proven to be too costly. For a number of years the congregation has faced increasing challenges because of an inadequate amount of space available in the existing sanctuary building and the adjacent building, known as the "Pennell House". The seating available in the sanctuary was nearly at capacity and the church had begun having two services in an effort to accommodate the growing congregation. The Pennell House served as the administrative offices and as classroom space for the religious education (RE) programs, and was pushed to its limits. All spaces in Pennell House were inadequate and not life safety or handicap code compliant. Studies conducted on possible expansion on Middle Street or relocation to church owned property on Gurnet Road both proved to be too expensive for the congregation. When the church building was destroyed by the fire in 2011, the UUCB was forced to consider options once again and make some hard choices. After much sole searching, the congregation voted to remain on the Middle Street site, even though they recognized that developing a facility that met their needs would be more difficult.

The building design team initially considered removing Pennell House and building an expandable Religious Education facility along with the new Sanctuary. This approach was later reconsidered when costs of the expandable new construction began to exceed projected funds available. Although the decision to include Pennell House in the overall plan was not the first choice, it eventually was for budget purposes. Part of the reasoning was that insurance proceeds from the fire would not cover demolition of the Pennell House. And the building design team felt that the amount of work at Pennell House could be cut back if funds were limited. However, as the project developed, the costs to renovate Pennell House and the difficulty of meeting current codes and incorporating the old structure with the new, but functionally and esthetically, grew. Additionally, there was a cost impact to the construction of the new building resulting from keeping the existing building that only became apparent during bidding. The small size of the site makes it very difficult to construct a large building, especially given that the available space diminishes as the work progresses. Having to work around an existing building in the middle of an already tight site increased costs and the likelihood of potential construction delays.

These unanticipated costs factored into bids for the project that exceeded the funds available by almost \$600,000. After attempting to reduce costs by making changes to the original design, it became apparent a new approach was necessary. The issues associated with keeping Pennell House were identified as the limiting factor to a more efficient, cost effective plan, and the decision to eliminate Pennell House was made.



The current proposal has been developed in concert with a construction manager to account for as many variables as possible. The building design is a more efficient use of space and allows for the entire building to be accessible. There are also savings realized by using a new electrical and heating system rather than expanding or adding to the existing building. The current program better meets the needs of the church, results in a more efficient and accessible building, and is possible with the budget available to the church. The new building will use siding materials similar to the previous buildings, yet relates more easily to the Brunswick Library and other Pleasant Street structures than the original design through the use of standing seam roofing and parapet walls.

PROJECT DESCRIPTION

As part of the proposed redevelopment, an existing two-story building located on-site will be demolished. In total, the new church building will have a footprint of 8,652s.f. Parking for the proposed church will be provided from street parking along Pleasant Street and public parking located in the vicinity. The applicant has had discussions with the Town Planner and Codes Enforcement Officer regarding parking requirements for the church. A letter summarizing the parking requirements for the previous and proposed structures was prepared indicating to the Town that additional parking is not warranted for this project. The letter is enclosed with this submission.

No traffic permitting is required for the project. New domestic water and fire services will be extended from the municipal water system within Pleasant Street. A new utility pole will be installed along Pleasant Street and three-phase electrical service will be extended underground to the proposed building. The existing building is presently serviced by Maine Natural Gas and no new gas service is required to support the new church addition.

As part of the project two new parallel parking spaces are proposed on Middle Street. These spaces will be public parking and subject to such time restriction as may apply on Middle Street. However, they may benefit members of the church, particularly on Sundays when the restrictions are not applicable. The parking spaces will require the existing sidewalk be relocated onto the church parcel. An easement for the sidewalk will be granted to the Town and recorded in the registry of deeds.

The new church building is designed by Smith Reuter Lull Architects and total project costs are estimated at \$1.8M. No additional permits from the Department of Environmental Protection (DEP) will be required for this project. Construction is anticipated to begin in Summer 2013 and last for approximately 8 months.

Based on the specifics of the project, it is requested that the Board grant waivers for the following application items:



- Class A Soil Survey. The project is located on soils suitable for the proposed use. The site is served by municipal water and sewer, so no wells or subsurface disposal systems will be required, which may necessitate a soils survey.
- Profile, cross-section dimensions, curve radii of existing streets. No changes proposed to Pleasant or Middle Streets.
- Profile of water and sewer service lines. Only service connections are proposed to existing water and sewer mains.

PERFORMANCE STANDARDS

To facilitate your review of our proposal, the following standards are summarized in accordance with *CHAPTER 5: DEVELOPMENT REVIEW PLAN STANDARDS* of the Ordinance.

501 PRESERVATION OF NATURAL FEATURES AND NET SITE AREA:

There are no existing features on the site that would be considered of natural, scenic, or historic character to the Town. Due to the proximity of the existing trees to the location of the previous building, all of the trees located on the site were removed as part of the church building demolition. Landscaping for the site will consist mostly of perennials and shrubs to be planted around the building foundation and walkways. The existing street tree will be replaced by trees that can grow without interference with the overhead utilities.

502 FLOOD HAZARD AREA:

The project area is located in Zone C (Areas of Minimal Flooding) of the Flood Insurance Rate Maps (FIRMs) for Cumberland County, Maine. The project area is located on Panel 15 of 35 (Community Panel 2300420015B, Effective June 3, 1986). An excerpt of the applicable FIRM is enclosed. As the site is being redeveloped, the proposed building will be constructed within the approximate limits of the previous building and at grades similar to or higher than previous grades.

503 STEEP SLOPES AND EMBANKMENTS:

There are no steep slopes or embankments greater than 25% located on the property.

504 STORM WATER MANAGEMENT:

The project is located within the watershed of the Water Street Tributary, which is classified by the DEP as an urban impaired stream. As the project is a redevelopment of existing impervious area and will not result in more than an acre of disturbed area or 20,000 s.f. of new impervious area, no permits from the DEP are required. Runoff from the proposed development will be directed to the existing drainage system within Middle Street. As understood from discussion with Town staff, the drainage system within Pleasant Street has known capacity problems and any additional flow to the system is discouraged.



As part of the project, a storm drain catch basin will be installed on the abutting parcel to the west to provide drainage of the gravel parking area behind the building. This work will be provided, in part, as consideration for parking being allowed by the abutter for church staff during the weekdays.

505 GROUNDWATER:

The project will be serviced by public sewer and water. The proposed building will be constructed with a shallow foundation including an underdrain to dewater the areas immediately adjacent to the exterior footing. There are no adverse impacts to groundwater anticipated from this development.

506 EROSION AND SEDIMENTATION:

The disturbed areas of the site will be isolated through the use of silt fencing and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

507 SEWAGE DISPOSAL:

The proposed building will be serviced by an existing sewer service that previously served the church building. A letter from the Brunswick Sewer District, indicating their ability to serve the project, has previously been submitted to the town.

508 WATER SYSTEM:

The water service for the proposed building will be provided from a 1-1/2" domestic service and 6" fire service to be extended from the existing 12" water main within Pleasant Street. A letter has been sent to the Brunswick-Topsham Water District requesting their ability to serve the project. Upon receipt of a response letter, a copy will be forwarded to the town for review.

509 COMMUNITY FACILITIES IMPACT ANALYSIS:

The proposed project consists of a reconstruction of a church and represents a demand for community facilities which is consistent with the demand of the previous building. The project is consequently anticipated to have a minimal impact on community facilities. The church takes pride in recycling and composting to the greatest extent possible. They collect solid waste and store it in covered trash cans. No dumpster enclosure is proposed. The church recognizes they are not eligible for curbside waste pick up and will continue to dispose of solid waste privately as they have done for decades.



510 DEVELOPMENT IMPACT FEES:

As the project is a redevelopment of an existing church use, it is not anticipated that development impact fees would be required for the project.

511 DEVELOPMENT OF NEW STREETS:

There are no new streets proposed for this project.

512 OFF STREET PARKING:

Parking for the proposed church will be provided from street parking along Pleasant Street and public parking located in the vicinity. The church has parked up to 5 vehicles in a small paved area south of Pennell House for many years. However, the parking area is located partially on the abutting parcel without the benefit of an easement. It was recognized the use of the abutter's land for parking could be rescinded at any time. Additionally, the parking arrangement required vehicles to back out of the paved area across the sidewalk into Middle Street. This maneuver was problematic due to the close proximity of the buildings and landscaping to the sidewalk restricting the visibility of the driver. Given the limitation of the parking area, it was determined the spaces were of minimal value and using the portion of the parcel for building space was preferable. The applicant has previously had discussions with the Town Planner and Codes Enforcement Officer regarding parking for the church. A letter, indicating to the Town that additional parking is not warranted for this project, is enclosed with this submission.

A vehicle loading/unloading area is proposed to be constructed on Middle Street. The loading area is designed to be similar in dimension to two parallel parking spaces; however, they will be only be 6-feet wide instead of the 8-foot width typical for parking. This reduced width is necessary due to the narrow width of the available roadway. The loading area configuration was reviewed by the Town Engineer and Director of Public Works.

The church has had positive discussions with the title company on the west side of the site about using their parking lot both on Sunday's and on a regular basis for parking by the church office staff and minister. The use of the title company parking area will compensate for the loss of the non-conforming spaces south of Pennell House.

513 CURB CUTS:

There are no new proposed curb cuts associated with this project. The project proposes to closed the existing curb cut off Middle Street.

514 OFF STREET LOADING:

Off street loading is not applicable to the land use of the proposed project.



515 APPEARANCE ASSESSMENT:

The intent of the project architect, Smith Reuter Lull Architects, was to provide a new structure with architectural and visual character that integrates the new design with a style that reflects historic materials and methods. The building is intended to be recognizable as a church, however, not to be iconic of a particular denomination. The use of light monitors and photovoltaic panels are intended to help make the building sustainable and reduce the energy demands. The Village Review Board commended the extensive use of shingle siding as a traditional style that has not been widely used in recent architecture. The standing metal seam roof draws upon the elements of the Curtis Memorial Library, providing continuity among the adjacent buildings. Floor plans and elevation views are enclosed for review.

No new site lighting is proposed for the project. The building entrance will be illuminated by lighting in the soffit above the covered entrance.

Landscaping for the site will consist mostly of perennials and shrubs to be planted around the building foundation and walkways. The planting beds will be concentrated at the intersection of Pleasant and Middle Streets. A Landscape Plan is enclosed for reference.

516 BUILDING CONFIGURATION:

The site layout provides the building location by considering both an orientation to Middle Street and the western property line. The front of the building faces toward Middle Street with the sanctuary and steeple for the church located nearest to the intersection of Middle and Pleasant Street. The new church building will be located and orientated similar to the previous church building and will meet all applicable Town Ordinance requirements. The applicant met with the Brunswick Village Review Board and discussed with them the architecture of the new building. The Village Review Board was generally favorable to the design and appearance of the proposed building.

517 PRESERVATION OF HISTORIC RESOURCES:

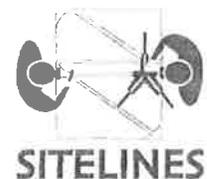
There have been no historic resources previously identified on the site. The existing building and grounds does not have historic significance due to its nature, age, and land use.

518 ACCESS FOR PERSONS WITH DISABILITIES:

The project will comply in all aspects with the requirements of the ADA in regard to access. The church and the library will share ADA spaces located across Middle Street in front of the library. Two loading/unloading spaces proposed on Middle Street will provide access near the building entrance as needed.

519 RECREATIONAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS:

As the project is not a residential development, this section is not applicable.



520 FISCAL CAPACITY:

The project will be funded in part by capital obtained from the property insurance on the previous building that was destroyed by a fire. The remaining funds for the project will be obtained through a capital campaign and fundraising from church members. The current design has been prepared with the assistance of construction managers to ensure the building project can be completed within the budget.

521 PERFORMANCE GUARANTEE:

There will be improvements within the public right-of-way for loading and/or utility needs. A performance guarantee amount will be established with the Director of Public Work and set in escrow as needed.

522 HOME OWNERS/PROPERTY OWNERS ASSOCIATION:

There is no home owners/property owners association proposed by this project.

523 PROTECTED CONSERVATION LAND:

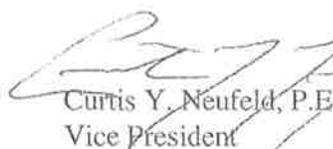
There is no protected conservation land proposed or involved with this project.

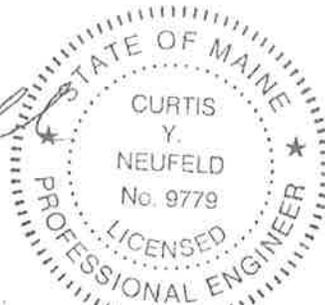
524 NOISE AND DUST:

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP's as published by the Maine Department of Environmental Control, will be utilized to control noise and dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust. The proposed use will occur almost exclusively within the building.

We look forward to meeting with you and the Planning Board at their March 26, 2013 meeting to review and approve the project. Should you have any questions, please call.

Very truly yours,


Curtis Y. Neufeld, P.E.
Vice President



Enclosures

cc: Michael Heath, Unitarian Universalist Church
Noel Smith, Smith Reuter Lull Architects



Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

Attachment A
Application Form & Checklists

A completed copy of the Major Development Review Final Application Form and Site Plan Checklist, Demolition Application Form, and Village Review Board Application is enclosed.

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: Unitarian Universalist Church of Brunswick Reconstruction

2. Project Applicant
 Name: Unitarian Universalist Church of Brunswick, Maine
 Address: P.O. Box 129, 15 Pleasant Street
Brunswick, Maine 04011
 Phone Number: 207-729-8515

3. Authorized Representative
 Name: Sitelines, PA Attn: Curtis Y. Neufeld, P.E.
 Address: 8 Cumberland Street
Brunswick, Maine 04011
 Phone Number: 207-725-1200 xt 18

4. List of Design Consultants. Indicate the registration number, address and phone number Of any engineer, surveyor, architect, landscape architect or planner used:

1. Engineer: Sitelines, P.A. Attn: Curtis Y. Neufeld, P.E. #9779
2. Architect: Smith Reuter Lull Architects, 179 Lisbon St, Lewiston, ME (207-786-5623) - Attn: Noel Smith, AIA
3. Surveyor: Sitelines, P.A. Attn: Bruce Martinson, PLS #2137

5. Physical location of property being affected: 15 Pleasant Street & 5 Middle Street

6. Lot Size: 12,064 s.f. (0.28 acres)

7. Zoning District: TC1 (Town Center, Maine Street)

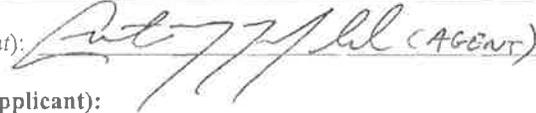
8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? Owner of the Property

9. Assessor's Tax Map U-13 Lot Number 73 & 74 of subject property.

10. Brief Description of proposed: The applicant proposes to construct a single-story 8,652 s.f. footprint building and utility service modifications. The building is intended to replace the previous church building located on the site that was damaged by fire.

11. Describe Specific Physical Improvements to be Done: A single-story 8,652 s.f. church building and utility service modifications.

Owner Signature: _____

Applicant Signature (if different):  (AGENT)

- Required Attachments (by Applicant):**
- Final Plan Check List
 - Final Plan Requirements for Open Space Developments (if applicable)
 - Request for Waivers (if applicable)
 - Required Copies of Final Plan

- Required Attachment (by Planning and Development Department):**
- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development		X				
Scale, date, north point, area, number of lots (if subdivision)		x				
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.		X				
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.		X				
Existing zoning district and overlay designation.		x				
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.		x				
Names of current owner(s) of subject parcel and abutting parcels.		x				
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.				X		Waiver Requested
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.			X			
Existing and proposed easements associated with the development.		x				
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.		X				
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.		X				No water bodies, wetlands, streams railroads or ditches exist on parcel.

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.		X			
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.				X	Waiver Requested (see narrative)
Topography with counter intervals of not more than 2 feet.		X			
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.				X	Waiver Requested (see narrative)
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.		X			
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.			X		No Site Lighting proposed
Existing locations and proposed locations, widths and profiles of sidewalks.		X			Waiver requested for profiles.
Location map.		X			
Approximate locations and dimensions of proposed parking areas.		X			
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.			X		No Open Spaces Proposed
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.		X			
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.			X		
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.			X		
Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.			X		

For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the number of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.			X			
Building envelopes showing acceptable locations for principal and accessory structures.		X				

FINAL PLAN/SUPPORTING DOCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.		X				
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.		X				
Draft performance guarantee or conditional agreement.			X			Not anticipated
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.			X			No State or Federal Permits required
Any additional studies required by the Planning Board, which are deemed necessary in accordance with this Ordinance.			X			None anticipated
Storm water management program for the proposed project prepared by a professional engineer.		X				
A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District made available at the Brunswick Department of Planning and Development.			X			

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.		X				
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.		X				A letter has been sent to the Water District
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.		X				
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.		X				
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.		X				
Where a septic system is to be used, evidence of soil suitability.			X			
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.		X				
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.		X				
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.		X				
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.		X				
The size and proposed location of water supply and sewage disposal systems.		X				
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.			X			



BUILDING/DEMOLITION PERMIT APPLICATION

CODES ENFORCEMENT OFFICE

28 FEDERAL STREET
BRUNSWICK, MAINE 04011
(207) 725-6651 FAX (207) 725-6663

Town of Brunswick

For Office Use	
Appl #	_____
Date	_____
Fee	_____
MAP	_____
LOT	_____
Village Rev	_____
Appr By	_____
Permit #	_____

LOCATION OF CONSTRUCTION 15 Pleasant St.	PROPOSED USE: PAST USE:	ESTIMATED COST \$30,000
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APPLICANT NAME: Smith Reuter Lull Architects Noel Smith ADDRESS: 179 Lisbon St. CITY, STATE, & ZIP: Lewiston, ME 04240 TELEPHONE: 786-5623 MAIL PERMIT TO: <input type="checkbox"/> APPLICANT <input checked="" type="checkbox"/> CONTRACTOR <input checked="" type="checkbox"/> OWNER	OWNER <input type="checkbox"/> SAME AS APPLICANT NAME: _____ ADDRESS: UU Church Brunswick 15 Pleasant St. CITY, STATE & ZIP: Brunswick, ME TELEPHONE: 729-8515
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DIMENSIONS OF NEW CONSTRUCTION	
LENGTH _____ FT WIDTH _____ FT	1 ST FLOOR SQ FT _____
HEIGHT _____ FT # OF STORIES _____	2 ND FLOOR SQ FT _____
CEILING HEIGHT _____	GARAGE SQ FT _____
# OF NEW BEDROOMS _____	DECKS/PORCHES _____
TOTAL # OF BEDROOMS _____	OTHER _____
TOTAL AREA OF PROJECT _____	

PROPOSED CONSTRUCTION ACTIVITY	
<input type="checkbox"/> NEW STRUCTURE	DESCRIPTION OF PROJECT _____
<input type="checkbox"/> ADDITION/ ALTERATION	
<input type="checkbox"/> POOL	<input type="checkbox"/> IN GROUND DIMENSIONS _____ <input type="checkbox"/> ABOVE GROUND WATER DEPTH _____ POOL HEIGHT _____
<input checked="" type="checkbox"/> DEMOLITION	SQUARE FOOTAGE <u>1847</u> MUST SUBMIT COPY OF D.E.P. FORM, <i>ASBESTOS BUILDING DEMOLITION NOTIFICATION</i> Owner has proof of abatement
<input type="checkbox"/> MOBILE HOME	MAKE _____ YEAR MANUFACTURED _____ MODEL _____ # BEDROOMS _____ SERIAL # _____ # BATHROOMS _____ SIZE _____ CURRENT LOCATION _____ PROPOSED LOCATION _____

CONTRACTOR <input type="checkbox"/> SAME AS APPLICANT NAME: Langford & Low ADDRESS: 248 Warren Ave PO Box 662 CITY, STATE, & ZIP: Portland, ME 04104 TELEPHONE: 797-7336	PROPERTY LINE SETBACKS FRONT _____ LEFT _____ RIGHT _____ BACK _____	WATER SETBACKS WETLAND _____ TIDAL _____ RIVER _____ STREAM _____ POND _____
--	---	--

I certify that the information contained in this application and any related submissions to be true and accurate to the best of my knowledge. I understand that I am responsible for compliance with all applicable town, state and federal regulations and that failure to comply may result in the imposition of fines, legal fees, and the abatement of any violations to include abandonment of use and occupancy and corrective action such as the removal or modification of improvements if setbacks or other requirements have not been met and satisfied. I understand that this is an application and that I shall not begin any improvements until the appropriate permit (s) is/are issued nor will I make use of the improvements without first having obtained an occupancy permit. I further understand that any associated plumbing, electrical, and heating work to be undertaken in connection with this request requires separate permits. In addition, I understand that if this project involves the creation of a new lot, a subdivision, as defined in Title 30-MRSA, Section 4401(4), as amended, has not been created without first obtaining the required approvals



 SIGNATURE OF OWNER / APPLICANT

2.21.2013

 DATE

BUILDING PERMIT FEE SCHEDULE

Minimum Fee for all Building Permits.....	\$45.00
One / Two Family Dwellings	
Now Construction and Additions	
Enclosed structures including garages, sheds, hen houses	35 cents/sq ft
Open Structures including decks, carports, pools.....	20 cents/sq ft
Alterations and Renovations.....	\$6.00 per \$1000
All Uses other than One/Two Family Structures	
New Construction.....	40 cents/sq ft
Alterations and Renovations.....	\$9.00 per \$1000
Foundation Only.....	4 cents/sq ft
Demolition.....	\$50.00

DOCUMENTATION REQUIREMENTS

Floor Plans of new construction

- Include floor plan of existing structure as well as new construction for alterations and additions
- Detail removal of all partitions and sizing of any new structural beams
- Detail any new walls or permanent partitions

Gross Sections with material description and framing details

- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Insulation types & values for the thermal envelope

Window and Door Schedules (Indicate windows that meet egress requirements of 5.7 sq ft clear openable area, clear openable width of 20", and clear openable height of 24")

- U-Factor rating for each window

Foundation Plan indicating soil type, footer dimensions, and foundation wall dimensions

Deck Construction including: pier layout, framing, fasteners, guards stair dimensions

Plot Plan including:

- Shape and dimension of the lot
- Footprint of existing and proposed structure with distance from actual property lines
- Other structures including decks, porches, sheds, pools, and garages
- Location and dimensions of parking areas and driveways

Sewer Impact fee Receipt or New Septic Design (when required)

****** ALL DRAWINGS MUST BE TO SCALE OR HAVE DETAILED DIMENSIONS ******

Received: _____
By: _____

VRB Case #: _____

VILLAGE REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS
APPLICATION

1. Project Applicant: Smith Reuter Lull Architects

Name: _____ Noel Smith
Address: _____ 179 Lisbon St.
_____ Lewiston, ME 04240
Phone Number: _____ 786-5623

2. Project Property Owner:

Name: _____ UU Church Brunswick
Address: _____ 15 Pleasant St.
_____ Brunswick, ME
Phone Number: _____ 729-8515

3. Authorized Representative: (If Different Than Applicant)

Name: _____
Address: _____
Phone Number: _____

4. Physical Location of Property Being Affected:

Address: 15 Pleasant St.

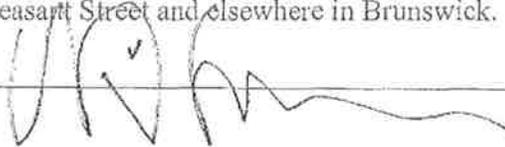
5. Tax Assessor's Map # U-13 Lot # 73 & 74 of subject property.

6. Underlying Zoning District TC 1

7. Describe the Location and Nature of the Proposed Change, including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change. (use separate sheet if necessary): _____

This is a re-submittal of this project due to changes necessary to meet the owner's budget restrictions. A full description of the project history is included elsewhere in this full application. The design team feels that the new design actually relates better to adjoining structures, especially the Brunswick Library, than the previous design. Although the overall use of materials and pallet are the same (wood shingle siding and wood trim, ribbed metal roofing) the forms and use of the metal in particular relate closely to the library. And the general massing with the Iconic portion fronting Pleasant Street and support facilities trailing behind, do as well. We believe the new Unitarian Universalist Church of Brunswick will take its place easily among the other churches on Pleasant Street and elsewhere in Brunswick.

Applicant's
Signature



Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

Attachment B
Right, Title, and Interest

A copy of the current deeds are included with this attachment. Also included is a copy of the Unitarian Universalist Church Of Brunswick incorporation certificate.

Know all Men by these Presents

That UNITARIAN UNIVERSALIST ASSOCIATION

a corporation organized and existing under the laws of the State of
Commonwealth of Massachusetts
and located at Boston

in the County of Suffolk and State of Commonwealth of MA

in consideration of one dollar and other goods and valuable considerations

paid by UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK, a religious society existing
under the laws of the State of Maine, situated in Brunswick, County of Cumberland
and State of Maine

the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain,
sell and convey, and forever quit-claim unto the said UNITARIAN UNIVERSALIST CHURCH
OF BRUNSWICK,

its successors heirs and assigns forever,

A certain lot or parcel of land situated in the Town of Brunswick, County
of Cumberland and State of Maine, bounded and described as follows, viz:

Commencing at an iron bolt in the south side of Pleasant Street (said
bolt being the northwest corner of the Church lot) and running thence westerly
sixty-nine (69') feet on the South line of Pleasant Street to a bolt at the
corner of Pleasant and Middle Streets; thence southerly along the east side of
Middle Street one hundred sixty-two and sixty-five one hundredths (162.65')
feet to a stake; thence easterly and parallel with Pleasant Street, sixty
nine (69') feet to a stake; thence northerly and parallel with Middle Street
one hundred sixty two and sixty-five one hundredths (162.65') feet to the
bound first named; the same containing twenty-six one hundredths (.26) of an
acre and being Lot Number 2 on George L. Bose, Plan of May 25, 1881.

Reference is hereby made to Book 6140, Page 180.

The purpose of this deed is to release whatever rights the Grantor herein
may have under the terms, conditions, reservations, provisions and restrictions
set forth in deed of Unitarian Universalist Association to Unitarian Universalist
Church of Brunswick dated March 18, 1983 and recorded in the Cumberland County
Registry of Deeds in Book 6140, Page 182.

Further reference is made to Book 6140, Page 179 and Book 6140, Page 180.

Church

We, HENRY M. BARIBEAU and ELIZABETH H. BARIBEAU, of Brunswick, County of Cumberland and State of Maine, (being married), for consideration paid, grant to UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK, A Maine Corporation having a place of business in Brunswick, County of Cumberland and State of Maine,

Pennell House

with Warranty Covenants the land in Brunswick, Cumberland County, State of Maine.

A certain lot or parcel of land, with the buildings thereon, situated in Brunswick, County of Cumberland and State of Maine, conveyed by Clarence L. Hitchcock to William S. Harrington by Warranty Deed dated April 24, 1928, recorded in Cumberland County Registry of Deeds in Book 1290, Page 239, and in said Deed bounded and described as follows:

North half

"A certain lot or parcel of land, with the buildings thereon, situated on the easterly side of Middle Street, so-called, in said Brunswick, being the northerly half of the dwelling house there being, together with the land on which it stands, bounded as follows:

BEGINNING on the easterly line of said Middle Street, at a point opposite the center of said dwelling house and running easterly, on a line through the center of said house, to land of Wilfred H. Thibault; thence northerly by last named land to land of the Universalist Church; thence by last named land to said Middle Street, and thence by said street, southerly to the place of beginning, together with a right of way, on the land lying southerly of said dwelling house from said street to a proposed garage to be erected by the grantee herein and Frank W. Grover, to be used in common with said Grover."

Being the same premises conveyed to the Grantors herein by deed of Alcide Thibeault and Yvonne St. Pierre dated June 20, 1984 and recorded in the Cumberland County Registry of Deeds in Book 6482 at Page 42.

MAINE REAL ESTATE

RECEIVED
1988 AUG 18 PM 2:43
CUMBERLAND COUNTY
REGISTRY OF DEEDS

XXXXXXXXXXXXXXXXXXXX

joins as grantor and releases all rights by descent and all other rights.

Witness our hands and seals this 1st day of August 1988

Debra E. Steen
Roger A. Harlow
Henry M. BaribEAU
Elizabeth H. BaribEAU

The State of Maine, Cumberland ss. August 1, 1988

Then personally appeared the above named

HENRY M. BARIBEAU and ELIZABETH H. BARIBEAU

SEAL

and acknowledged the foregoing instrument to be their free act and deed,

Before me, *Debra E. Steen*
~~Notary Public~~
Debra E. Steen
My commission expires: 11/10/93

We, HENRY M. BARIBEAU and ELIZABETH H. BARIBEAU, of Brunswick, County of Cumberland and State of Maine, (~~being married~~), for consideration paid, grant to UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK, A Maine Corporation having a place of business in Brunswick, County of Cumberland and State of Maine,

with Warranty Covenants the land in Brunswick, Cumberland County, State of Maine.

A certain lot or parcel of land, with the buildings thereon, situated in Brunswick, County of Cumberland and State of Maine, conveyed by Clarence L. Hitchcock to William S. Harrington by Warranty Deed dated April 24, 1928, recorded in Cumberland County Registry of Deeds in Book 1290, Page 239, and in said Deed bounded and described as follows:

"A certain lot or parcel of land, with the buildings thereon, situated on the easterly side of Middle Street, so-called, in said Brunswick, being the northerly half of the dwelling house there being, together with the land on which it stands, bounded as follows:

BEGINNING on the easterly line of said Middle Street, at a point opposite the center of said dwelling house and running easterly, on a line through the center of said house, to land of Wilfred H. Thibault; thence northerly by last named land to land of the Universalist Church; thence by last named land to said Middle Street, and thence by said street, southerly to the place of beginning, together with a right of way, on the land lying southerly of said dwelling house from said street to a proposed garage to be erected by the grantee herein and Frank W. Grover, to be used in common with said Grover."

Being the same premises conveyed to the Grantors herein by deed of Alcide Thibeault and Yvonne St. Pierre dated June 20, 1984 and recorded in the Cumberland County Registry of Deeds in Book 6482 at Page 42.

MAINE REAL ESTATE

RECORDED

1988 AUG -8 PM 2:43

joins as grantor and releases all rights by descent and all other rights,

xxxxxx

Witness our hands and seals this 1st day of August 1988

Debra C. Stearn
Rogger A. Hurd

Henry M. Baribeau
Elizabeth H. Baribeau

The State of Maine, Cumberland ss. August 1, 1988

Then personally appeared the above named

HENRY M. BARIBEAU and ELIZABETH H. BARIBEAU

SEAL

and acknowledged the foregoing instrument to be their free act and deed,

Before me, Debra C. Stearn
Notary Public

Debra E. Stearn
My commission expires: 1/1/93

Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

Attachment C
Abutting Property Owners

A list of abutting property owners is included in this attachment for reference.

ABUTTING PROPERTY OWNERS

MAP-U13 LOT-52
TERRACE-PLEASANT PLACE LLC
C/O MARGARET GORTON
215 W 90TH ST
APT 14G
NEW YORK, NY 10024

MAP-U13 LOT-53
BOULAY PROPERTIES LLC
32 FEDERAL ST
BRUNSWICK, ME 04011

MAP-U13 LOT-54
TREWORGY FAMILY LIMITED LIABILITY
COMPANY
62 FEDERAL STREET
BRUNSWICK, ME 04011

MAP-U13 LOT-72
PLEASANT (13) ST LLC
13 PLEASANT ST
BRUNSWICK, ME 04011

MAP-U13 LOT-76
OUELLETTE, BEVERLY A
14 EVERETT ST
BRUNSWICK, ME 04011

MAP-U13 LOT-104
BRUNSWICK, TOWN OF
CAPTAIN JOHN CURTIS MEM LIB
23 PLEASANT ST
BRUNSWICK, ME 04011

Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

Attachment D
Supporting Documents

Copies of relevant correspondence and documents pertaining to the project are enclosed. Included are the bid tabulations from the bidding process during 2012 which indicates the project was considerable over the available budget.

State of Maine



Department of the Secretary of State

I, the Secretary of State of Maine, certify that according to the provisions of the Constitution and Laws of the State of Maine, the Department of the Secretary of State is the legal custodian of the Great Seal of the State of Maine which is hereunto affixed and that the paper to which this is attached is a true copy from the records of this Department.

In testimony whereof, I have caused the Great Seal of the State of Maine to be hereunto affixed. Given under my hand at Augusta, Maine, this twenty-first day of February 2013.



A handwritten signature in black ink, appearing to read "Matthew Dunlap", written over a horizontal line.

Matthew Dunlap
Secretary of State

Additional Addresses

Legal Name	Title	Name	Charter #	Status
UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK	Registered Agent		20060119ND	GOOD STANDING
Home Office Address (of foreign entity)		Other Mailing Address	Address in Maine	

Brunswick Sewer District

10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
bsd@brunswicksewer.org

TELEPHONE (207) 729-0148

FAX (207) 729-0149

March 21, 2012

Sitelines, PA
8 Cumberland Street
Brunswick, Maine 04011

Attn: Joseph J. Marden, P.E.

Re: Unitarian Universalist Church of Brunswick - Ability to Serve
15 Pleasant Street/5 Middle Street
Brunswick, Maine

Subj: Willingness and Capacity to Serve

Dear Joseph:

This is to acknowledge receipt of your request of March 16, 2012 requesting a confirmation of the District's willingness and capacity to serve the above referenced project.

It our understanding the developer proposes to construct a 7,895 SF Church in place of an existing church that was destroyed due to an electrical fire. The project's average daily flow (ADF) is anticipated to be the same as the flows from the previous church.

We have reviewed the material provided and conclude that the project as proposed will not adversely affect facilities of the District. We can state for this reason that the necessary willingness and capacity to serve the project exists throughout all affected components of the District's system.

We would point out here that it will be necessary for the project to secure from the District an entrance permit. That permit will be issued on receipt of application by the project and following our review of construction details proposed. The project may be subject to the District's entrance charge program.

Upon review of the Site Layout and Utility Plan provided, I have the following comments:

1. Project sanitary sewer service line will be privately owned and maintained in accordance with provisions of District Rules & Regulations.
2. The project, prior to any sewer facility construction, will require a sanitary sewer entry permit to discharge to District facilities. Entrance charge, if any, is due upon issuance of permit.
3. All sewer-related construction will be performed to District standards.

Brunswick Sewer District

10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
bsd@brunswicksewer.org

TELEPHONE (207) 729-0148

FAX (207) 729-0149

4. All sanitary sewer construction will comply with provisions of the Maine State Plumbing Code.
5. Design and construction of project sanitary sewers will exclude all non-sanitary ground, surface, foundation drain, floor drain, and roof drain waters. Sump pump discharges are not allowed.
6. Horizontal clearance between utility infrastructures will be sufficient to allow future utility maintenance operations without disturbance to adjacent utility infrastructure.

If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

BRUNSWICK SEWER DISTRICT



Robert A. Pontau Jr., PE
Assistant General Manager

CC: Leonard Blanchette, Brunswick Sewer District
Lisa True, Brunswick Sewer District
Wesley Wharff, Brunswick Sewer District
Kris Hultgren, Town Planner, Brunswick, Maine

Curtis Neufeld

From: Rob Pontau [rpontau@brunswicksewer.org]

Sent: Monday, March 11, 2013 7:05 AM

To: Curtis Neufeld

Subject: Re: Unitarian Universalist Church Project

Hi Curt,

The sewer line needs to be 6" under the pavement in the street. Once outside of the pavement, it can be stepped back down to 4". This is so that if a plumber pushes a clog out, it will become free when it becomes under the pavement and the owners will not have to dig up pavement in the future.

No other issues.

Thanks,

Rob

Robert A. Pontau Jr., PE
Assistant General Manager
Brunswick Sewer District
www.brunswicksewer.org



All emails associated with the Brunswick Sewer District are considered public information and are subject to the State of Maine Freedom of Access Act.

On Fri, Mar 8, 2013 at 10:40 AM, Curtis Neufeld <cneufeld@sitelinespa.com> wrote:

Folks,

Attached is the latest utility plan for the UUCB project at Pleasant and Middle in Brunswick. The project is in for review by the town staff and Planning Board.

Can you please take a moment to look it over and provide any feedback?

Thanks.

Curt

Curtis Y. Neufeld

Vice President

Sitelines PA

8 Cumberland Street

Brunswick, ME 04011

(fax) (207) 725-1114

(207) 725-1200 x18

www.sitelinespa.com

Joseph Marden

From: Jamie Garland [jgarland@mainenaturalgas.com]
Sent: Monday, March 26, 2012 8:13 AM
To: jmarden@sitelinespa.com
Cc: Roy Lane
Subject: 15 Pleasant Street
Attachments: I__MNG MAPPING_Maps 2011_Working Maps_Brunswick-Topsham_Brunswicksheets_7087ASBUILT-brunswick Model (1).pdf

Joseph,

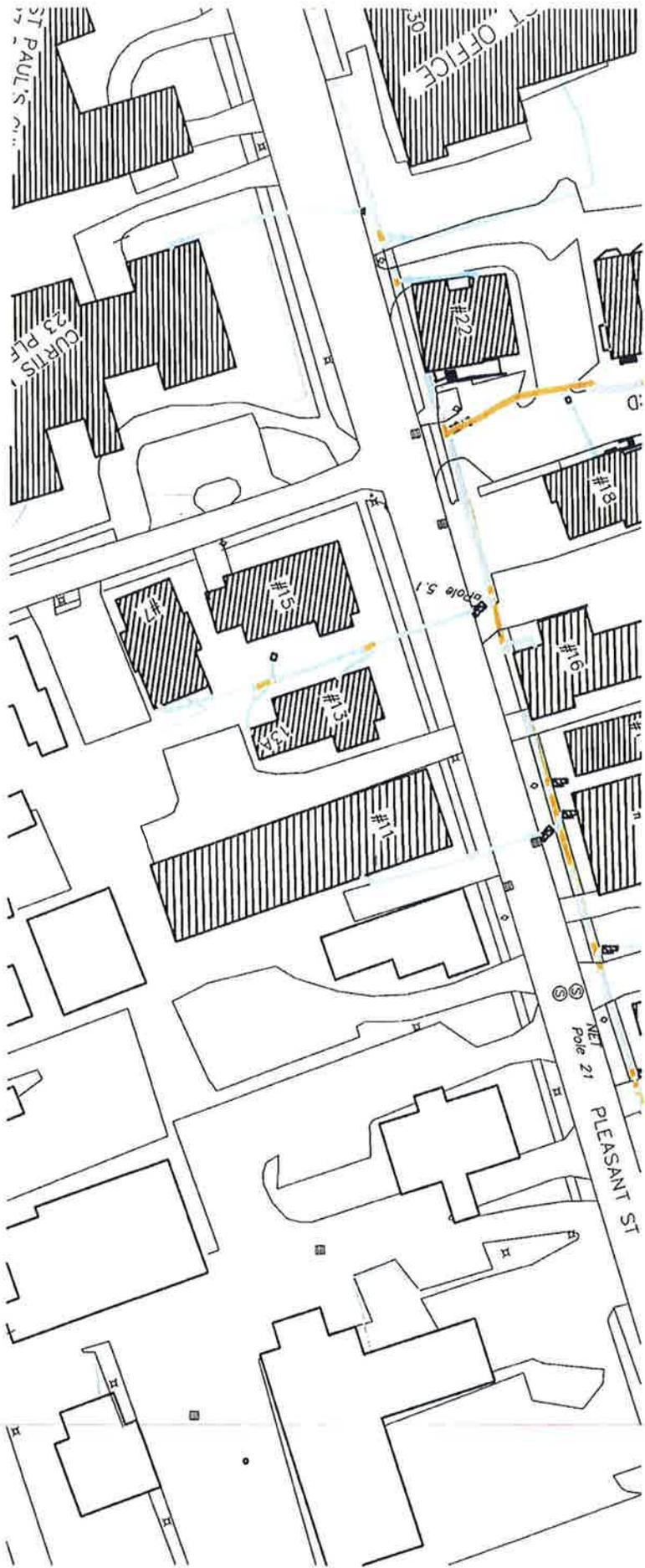
Attached you will find a copy of your record drawing for 15 Pleasant Street. We should be able to reuse the existing service line to the building, however we will need to review the required load prior to confirming this. Once you have this information if you could please forward it to MNG we can confirm the existing service will be adequate.

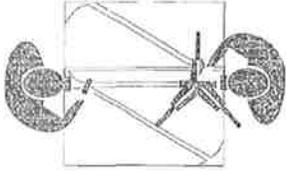
Jamie Garland



Gas Engineer
Office - 207-729-0420 ext 103
Cell - 207-729-2481

Confidentiality Warning: This e-mail contains information intended only for the use of the individual or entity named above. If the reader of this e-mail is not the intended recipient or the employee or agent responsible for delivering it to the intended recipient, any dissemination, publication or copying of this e-mail is strictly prohibited. The sender does not accept any responsibility for any loss, disruption or damage to your data or computer system that may occur while using data contained in, or transmitted with, this e-mail. If you have received this e-mail in error, please immediately notify us by return e-mail. Thank you.-





March 16, 2012

1958-4

Mr. Eric Gagnon
Brunswick and Topsham Water District
PO Box 489
Topsham, ME 04086

RE: Water Service
Proposed Church Reconstruction
15 Pleasant Street & 5 Middle Street, Brunswick, Maine
Tax Map U-13 Lots 73 & 74

Dear Eric:

Enclosed please find a copy of the preliminary Site Utility Plan for the proposed reconstruction of the Unitarian Universalist Church of Brunswick to be located at the intersection of Pleasant and Middle Streets in Brunswick.

As part of the proposed development, the applicant intends to rebuild the church building previously located on the site that was recently demolished due to an electrical fire that badly damaged the structural integrity of the building. An existing two-story building located on-site will remain and will be integrated into the design of the new church building. In total, the new church building, with the existing two-story building, will have a footprint of 7,895 s.f. According to plans received from the water district there are two (2) ¾-inch water services currently serving the existing two-story building. These services are to remain as part of the development. Water service for the proposed church addition will be provided from a 2-inch domestic service and 6-inch fire service to be extended from the existing 12-inch main within Pleasant Street. The ¾-inch water service that was used for the previous church building will be abandoned. Although precise water demands are not available at this time, we anticipate they will be typical of similar size church uses in the area.

Please review the plan and provide any feedback you may have so we can incorporate your comments into the final design. We also request you provide a letter indicating the Brunswick and Topsham Water Districts' "Ability to Serve" the proposed project.

Should you have any questions, please call or contact me via jmarden@sitelinespa.com.

Very truly yours,

Joseph J. Marden, P.E.
Project Engineer

Enclosure

SITELINES, PA

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS
8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

Curtis Neufeld

From: egagnon1979@gmail.com on behalf of Eric Gagnon [egagnon@btwater.org]
Sent: Monday, March 11, 2013 9:53 AM
To: Curtis Neufeld
Subject: Re: Unitarian Universalist Church Project

Looks good.

FYI the 2" service can be polyethylene copper tubing size, PE CTS, instead of copper.

Eric

On Fri, Mar 8, 2013 at 10:40 AM, Curtis Neufeld <cneufeld@sitelinespa.com> wrote:

> Folks,

>

>

>

> Attached is the latest utility plan for the UUCB project at Pleasant
> and Middle in Brunswick. The project is in for review by the town
> staff and Planning Board.

>

>

>

> Can you please take a moment to look it over and provide any feedback?

>

>

> Thanks.

>

>

>

> Curt

>

>

>

> Curtis Y. Neufeld

>

> Vice President

>

> Sitelines PA

>

> 8 Cumberland Street

>

> Brunswick, ME 04011

>

> (fax) (207) 725-1114

>

> (207) 725-1200 x18

>

>

>

> www.sitelinespa.com
>
>

--
Eric Gagnon
Engineering Technician
Brunswick and Topsham Water District
207.729.9956 phone
207.725.6470 fax
www.btwater.org

This message is intended for the use of the addressee only and may contain information that is privileged and confidential. If you are not the intended recipient of this message, be notified that any dissemination or use of this message is strictly prohibited. If you have received this message in error, please delete all copies of the message and its attachments and notify the sender immediately.

Joseph Marden

From: Ken Brilliant [kbrilliant@brunswickme.org]
Sent: Tuesday, April 17, 2012 2:08 PM
To: Joseph Marden
Subject: RE: 1958-UUCB Church Redevelopment

Joe,
DC Emerson and I both looked at it. Site wise seems fine. Jeff just wanted to make sure that the need for a sprinkler system is addressed.

Kenneth A. Brilliant
Fire Chief
Brunswick Fire Dept.
21 Townhall Place
Brunswick, Maine 04011
(207) 725-5541 ext. 11

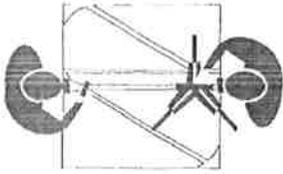
From: Joseph Marden [<mailto:jmarden@sitelinespa.com>]
Sent: Tuesday, April 17, 2012 12:09 PM
To: Ken Brilliant
Subject: 1958-UUCB Church Redevelopment

Chief Brilliant,

Per our conversation earlier today, attached is the Preliminary Site Plan for the redevelopment of the UUCB Church at the corner of Pleasant and Middle Streets in Brunswick. Architectural elevations are still being developed, but development will include a 7,720 s.f. single-story church building. The new church building will incorporate the existing two-story building located on-site. The building will be sprinklered and will be served by a 6" fire water service off the 12" water main located within Pleasant Street. There is a fire hydrant located on the library side of the intersection of Pleasant and Middle Streets. Please review the Site Plan and let me know any comments or questions you may have.

Thanks,

Joseph J. Marden, P.E.
Project Engineer
Sitelines PA
8 Cumberland Street
Brunswick, ME 04011
t (207) 725-1200 xt 12
f (207) 725-1114
www.sitelinespa.com



May 1, 2012

1958-2

Mr. Michael Heath
Chair, Board of Trustees
Unitarian Universalist Church of Brunswick
15 Pleasant Street
Brunswick, ME 04011

**Re: Designation of Agent Authorization
Unitarian Universalist Church Redevelopment**

Dear Mike:

As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for the Unitarian Universalist Church of Brunswick for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the proposed Redevelopment of the church building at 15 Pleasant Street and 5 Middle Street in Brunswick, ME.

Sincerely,


Curtis Y. Neufeld, P.E.
Vice President

The undersigned hereby gives Sitelines, PA the authority to act as agent for Unitarian Universalist Church of Brunswick for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.



May 1, 2012

Michael Heath, Chair, Board of Trustees

Date

SITELINES, PA

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS
8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

TEMPORARY CONSTRUCTION EASEMENT

KNOW ALL PERSONS BY THESE PRESENTS, that Pleasant (13) St, LLC, its heirs, successors and assigns, hereinafter referred to as Grantor(s), does hereby grant to the Unitarian Universalist Church of Brunswick Maine, hereinafter referred to as Grantee, its successors and assigns, a Temporary Construction Easement over, under, and through the following described real estate, for the sum of One Dollar (\$1.00) and/or other valuable consideration, the receipt of which is hereby acknowledged.

TO WIT:

A 10-foot wide strip of land parallel to the common property line extending from Pleasant Street the extent of the common boundary, with additional area for installation of a catch basin, as shown on the attached exhibit.

The above described temporary construction easement is to be used for locating, constructing, improving, grading, landscaping and other necessary work, including the operation of equipment, and the movement of a work force, over, upon and across the described easement, together with the right of ingress and egress.

The Grantee agrees to surrender possession of the premises upon the expiration of this temporary easement or any extension thereof, and to leave the premises in substantially the same or better condition than it was on the date this easement was executed. The Grantee shall incur all costs to restore the premises as noted. However, it is understood that minor grading changes may exist upon completion of the project.

This Temporary Easement shall commence upon the date it was executed and shall expire on _____, 2014.

This Agreement is binding upon the heirs, executors, administrators, successors and assigns of both parties and it is understood that this Agreement cannot be changed or altered in any way except by writing, legally signed by both parties concerned herewith.

TO THESE COVENANTS, the Grantor(s) does hereby consent and agree.

IN WITNESS WHEREOF, the parties above named have hereunto set their hands this day of _____, 2012.

GRANTOR

Printed Name: _____

GRANTEE

Printed Name: _____

ACKNOWLEDGMENT

STATE OF MAINE)
) ss.
COUNTY OF CUMBERLAND)

BE IT REMEMBERED, that on this _____ day of _____, 2013, before me the undersigned, a Notary Public in and for said County and State came _____, who is known to me to be the same person who executed the within instrument of writing, and duly acknowledged the execution of same.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal the day and year last above written.

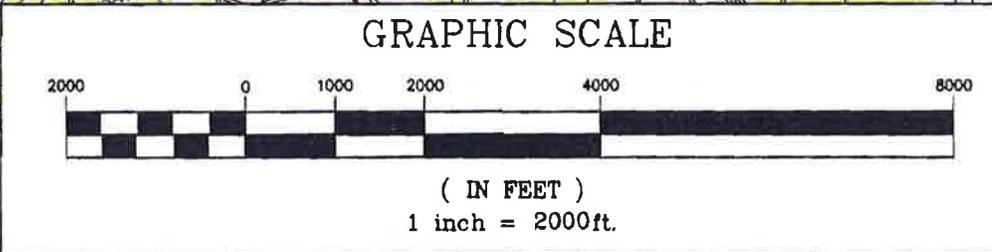
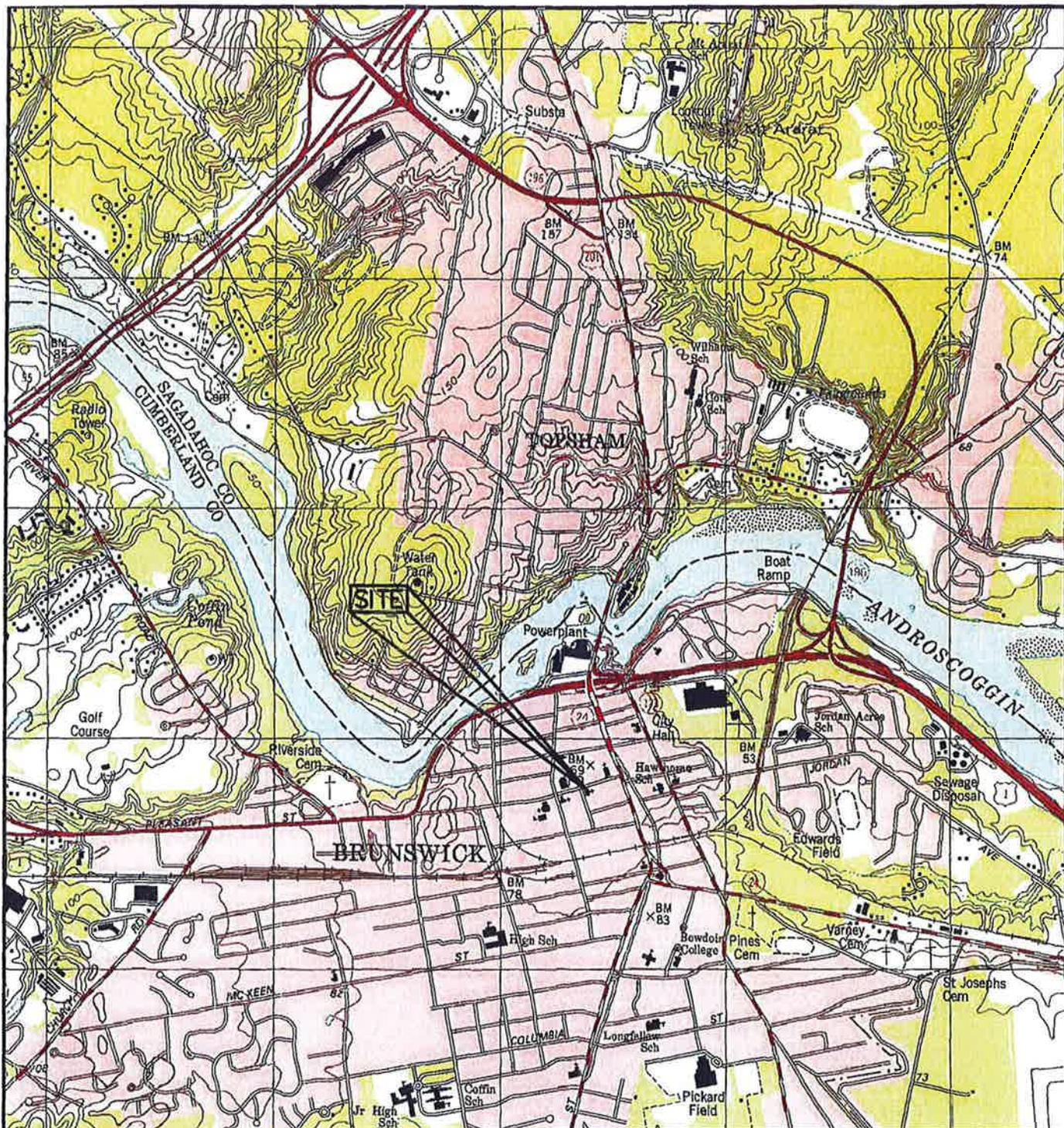
Notary Public

My appointment Expires: _____

Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

Attachment E **Supporting Graphics**

This attachment includes supporting materials and graphics for the application. This includes an excerpt of the FEMA flood rate insurance map (FIRM) and reduced size copies of the zoning map and tax maps. An excerpt of the applicable USGS 7.5 minute quadrangle map is provided for reference.



SHEET: 1 OF 1

SITELINES
ENGINEERS PLANNERS
8 CUMBERLAND ST. BRUNSWICK, ME 04011
(207) 725-1200 FAX 725-1114

USGS LOCATION MAP
UUCB CHURCH RECONSTRUCTION
BRUNSWICK, MAINE

DATE: 03/13/2012
SCALE: 1"=2000'
JOB: 1958
FILE: 1958-USGS



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

FIRM FLOOD INSURANCE RATE MAP

TOWN OF
BRUNSWICK, MAINE
CUMBERLAND COUNTY

PANEL 15 OF 35
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
230042 0015 B

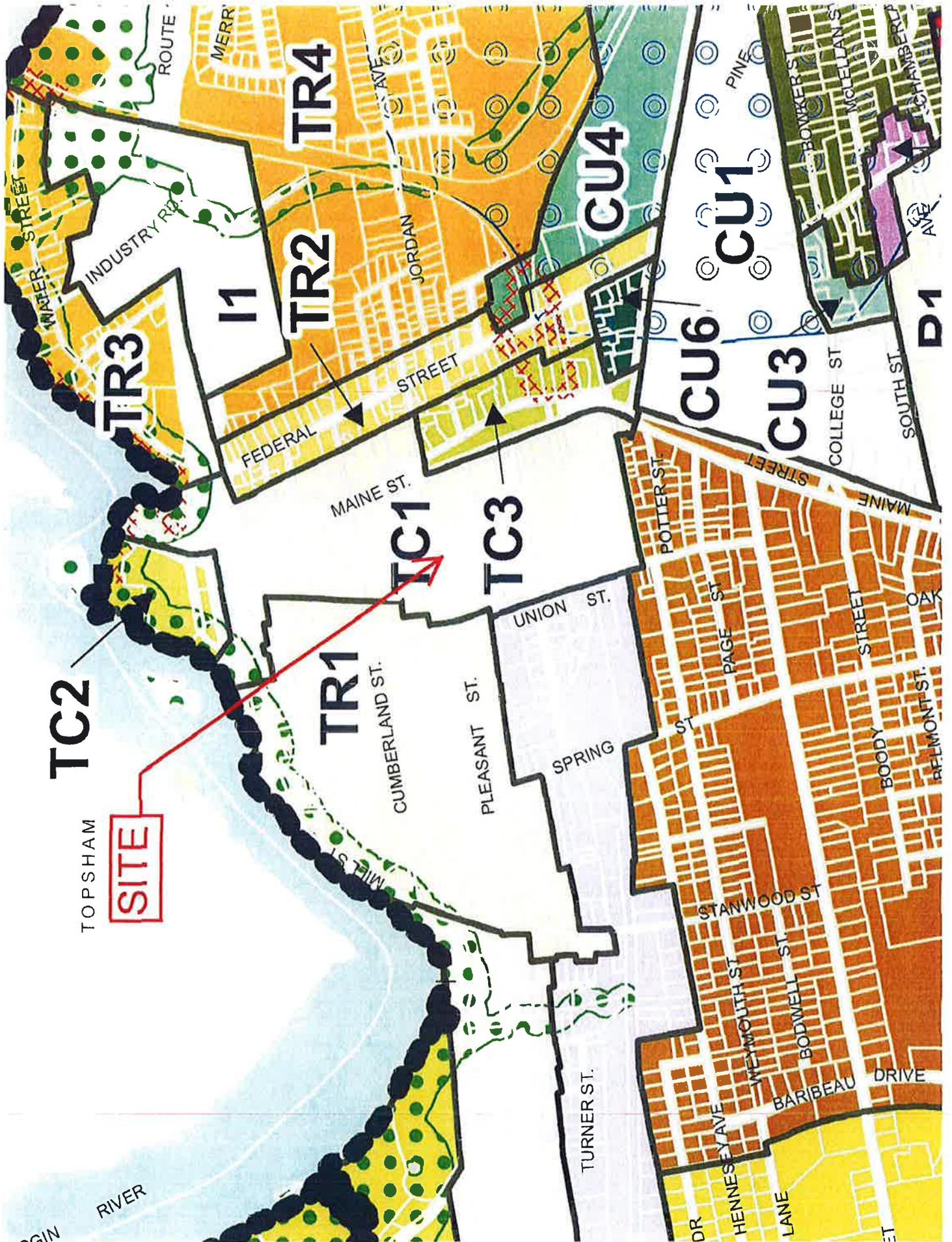
EFFECTIVE DATE:
JANUARY 3, 1986



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov







Legend

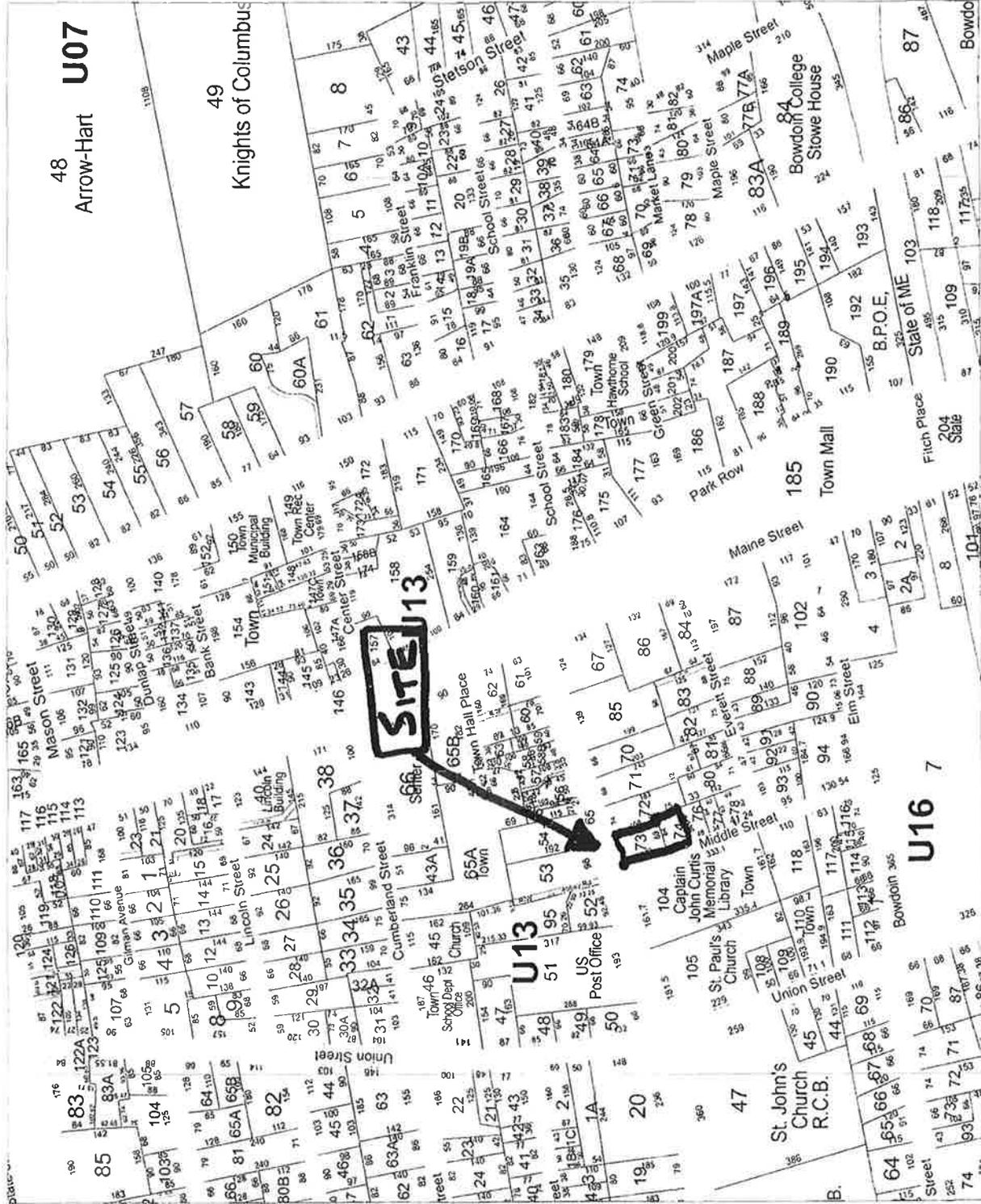
- Public Road
- Private Road
- ROW
- Water
- Hydrography Line
- ROW Property Access
- Other Road
- Town Boundary
- Other Lot Boundary



1 inch = 100 feet

Revised '16, April 2016
Maps Prepared by:
Town of Brunswick

MAP
U-13



48
Arrow-Hart
U07

49
Knights of Columbus

SITE 13

U13

U16

U18

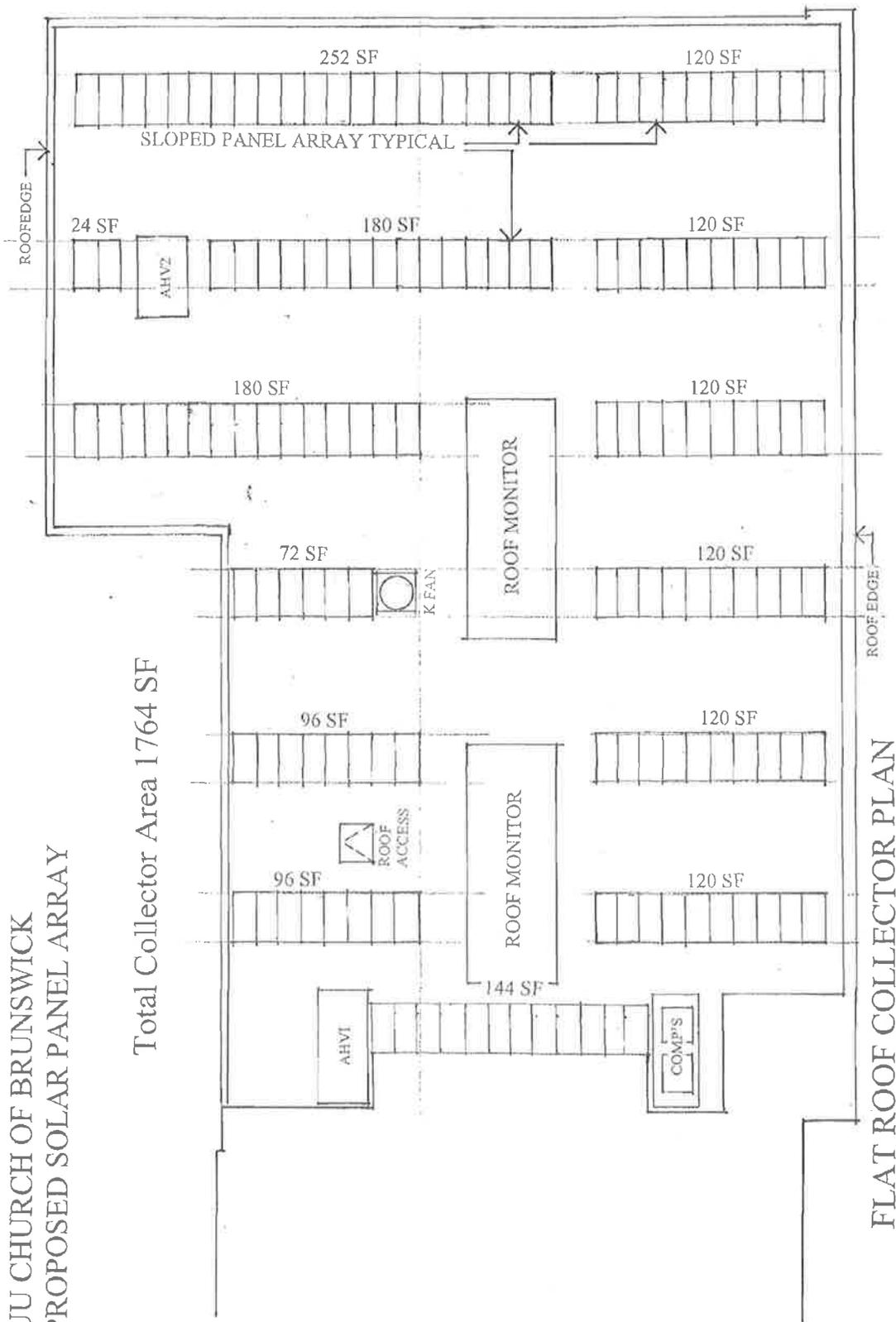
Unitarian Universalist Church of Brunswick Reconstruction
Major Development Review Final Plan Application
March 19, 2013

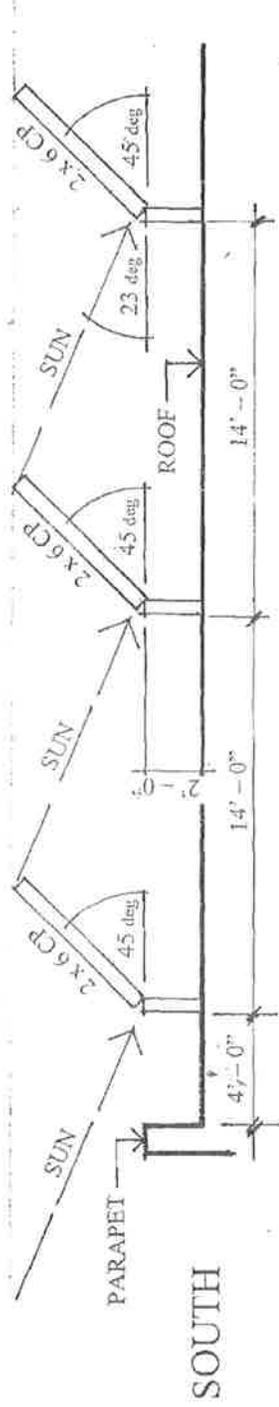
Attachment F
Floor Plan & Elevations

Architectural floor plans and elevations of the proposed good building are enclosed for reference.

UU CHURCH OF BRUNSWICK
PROPOSED SOLAR PANEL ARRAY

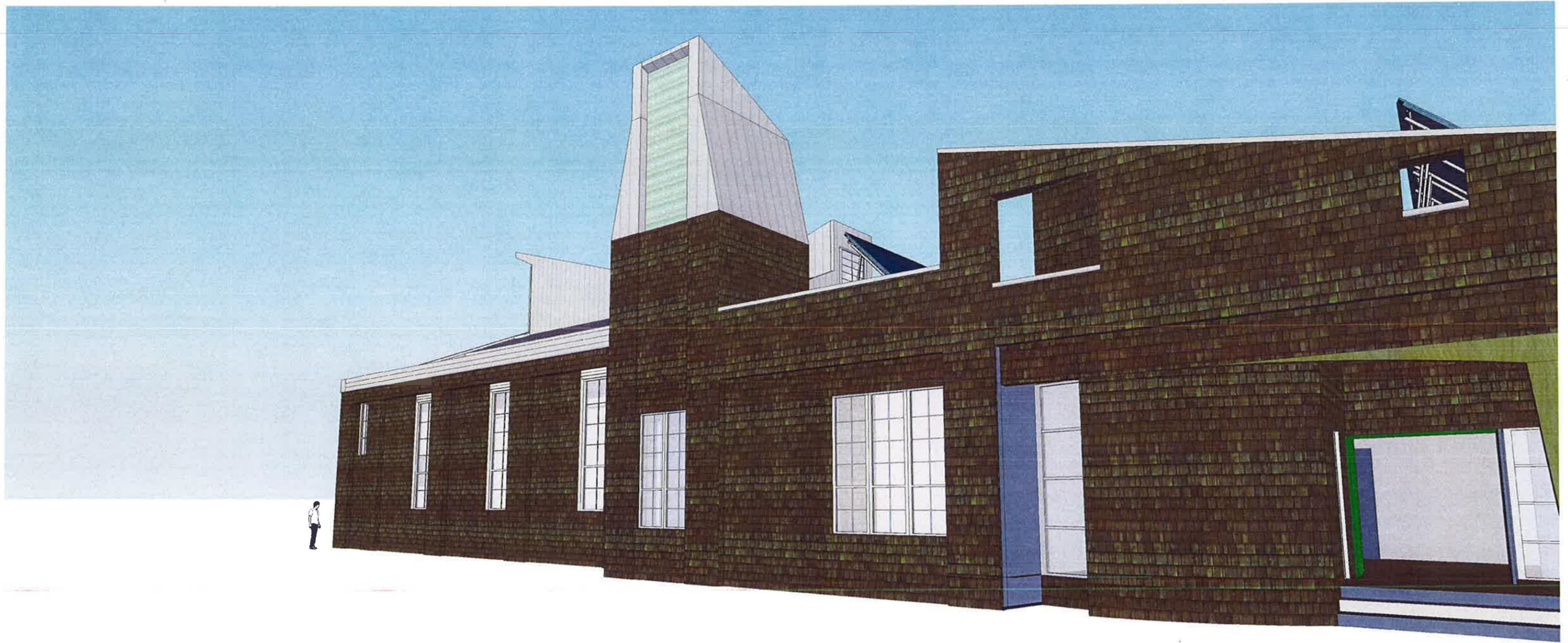
Total Collector Area 1764 SF

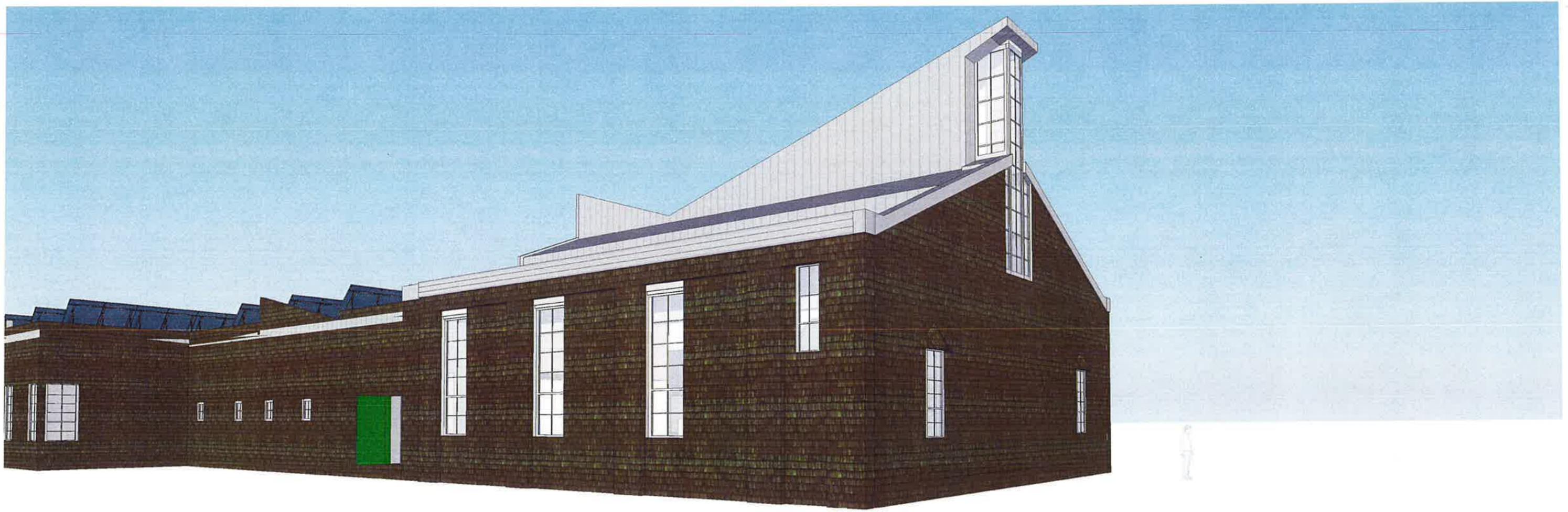




SLOPED PANEL LAYOUT BASIS

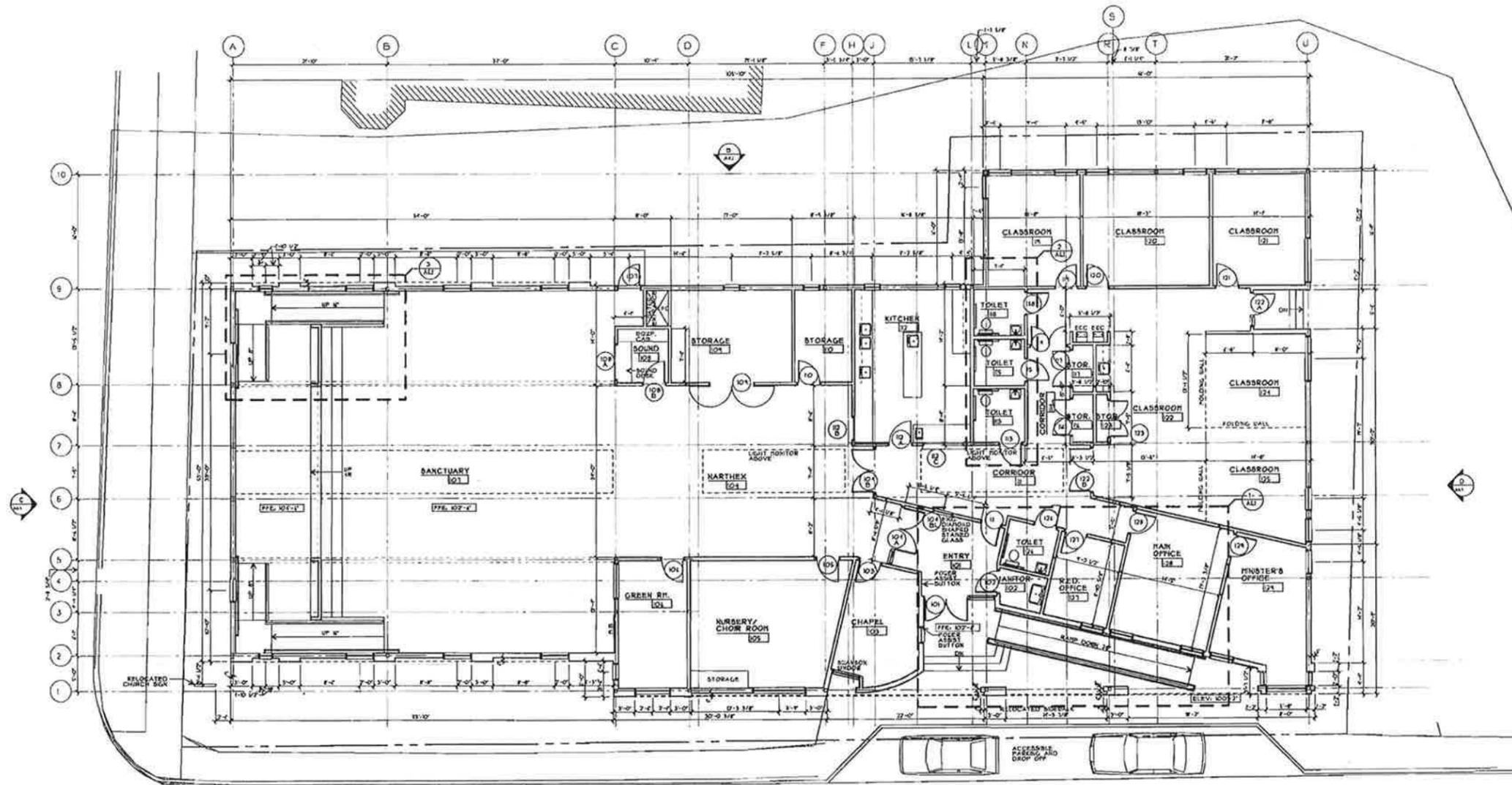
UU CHURCH OF BRUNSWICK
 PROPOSED SOLAR PANEL ARRAY







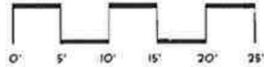
PLEASANT STREET



FIRST FLOOR PLAN

8600 SQUARE FEET 1/8" = 1'-0"

GRAPHIC SCALE



MIDDLE STREET

GENERAL NOTE:
 ALL DIMENSIONS SHOWN IN THIS PLAN ARE APPROXIMATE AND SHOULD BE USED TO COORDINATE LOCATION WITH OTHER AND PROVIDE BLOCKING.

UU Church of Brunswick
 15 PLEASANT STREET
 BRUNSWICK, MAINE



SMITH REUTER L.L.C.
 ARCHITECTS
 179 Lisbon St.
 Lewiston, ME 04240
 207.786.5623 voice/fax
 822 Grover Hill Rd.
 Bethel, ME 04217
 207.824.7237 voice/fax
 info@smithreuter.com

FIRST FLOOR PLAN

161-2
2/13/13

A1.2



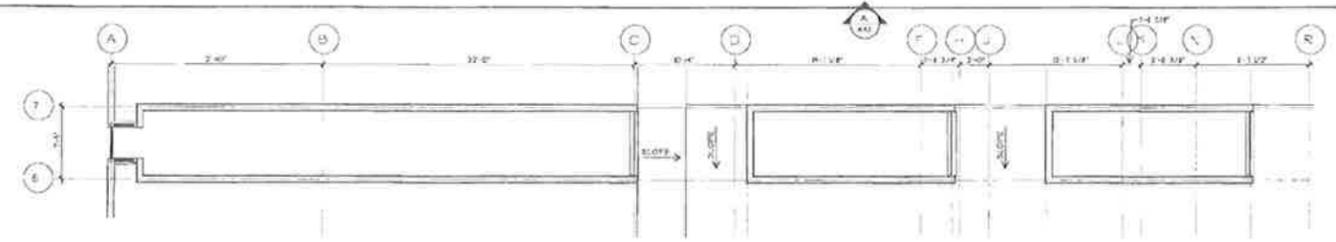
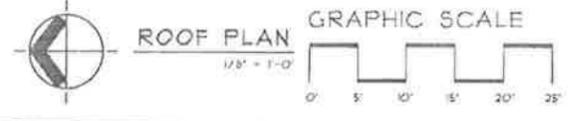
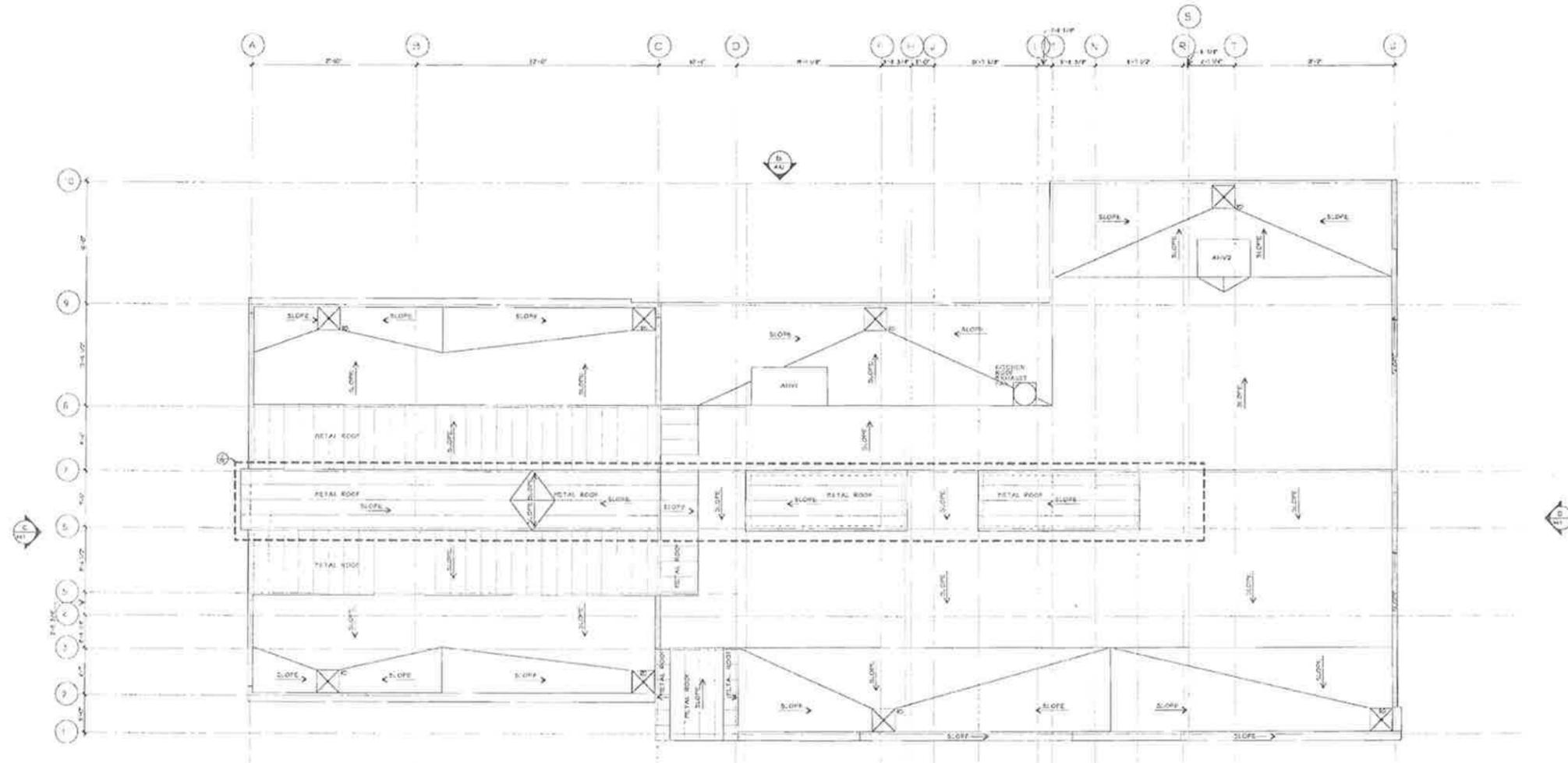
UU Church of Brunswick
 15 PLEASANT STREET
 BRUNSWICK, MAINE



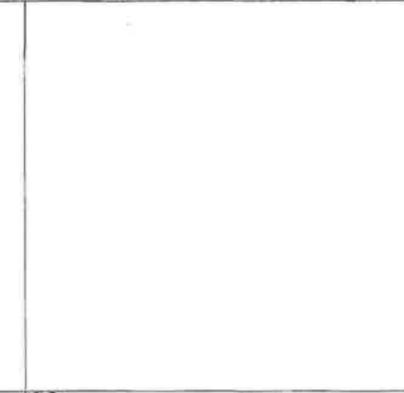
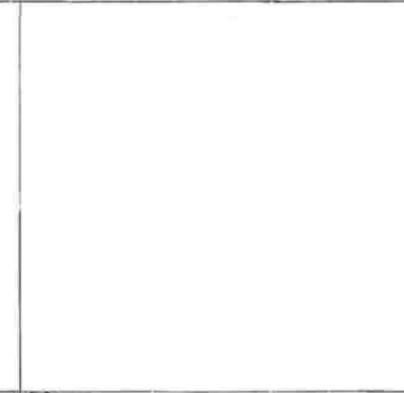
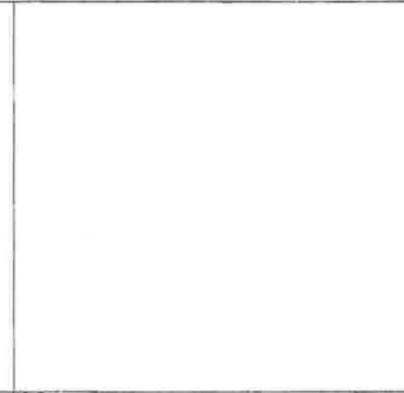
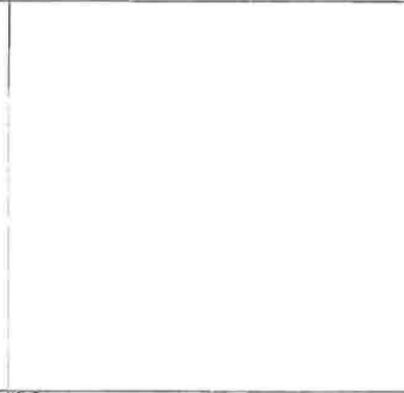
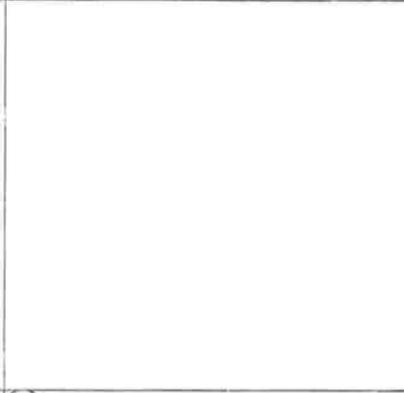
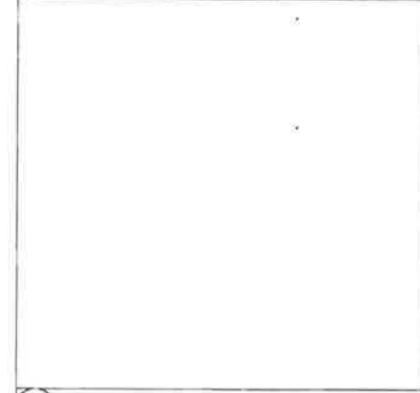
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 207.786.5623 voice/fax

822 Grover Hill Rd.
 Bethel, ME 04217
 207.824.7237 voice/fax
 info@smithreiter.com

FIRST FLOOR
 REFLECTED CEILING PLAN



1
AS1 ROOF PLAN DETAIL 1/8" = 1'-0"



1
AS1 DETAIL 1/4" = 1'-0"

2
AS1 DETAIL 1" = 1'-0"

3
AS1 DETAIL 1 1/2" = 1'-0"

4
AS1 DETAIL 1 1/2" = 1'-0"

5
AS1 DETAIL 1 1/2" = 1'-0"

6
AS1 DETAIL 1 1/2" = 1'-0"

UU Church of Brunswick
15 PLEASANT STREET
BRUNSWICK, MAINE

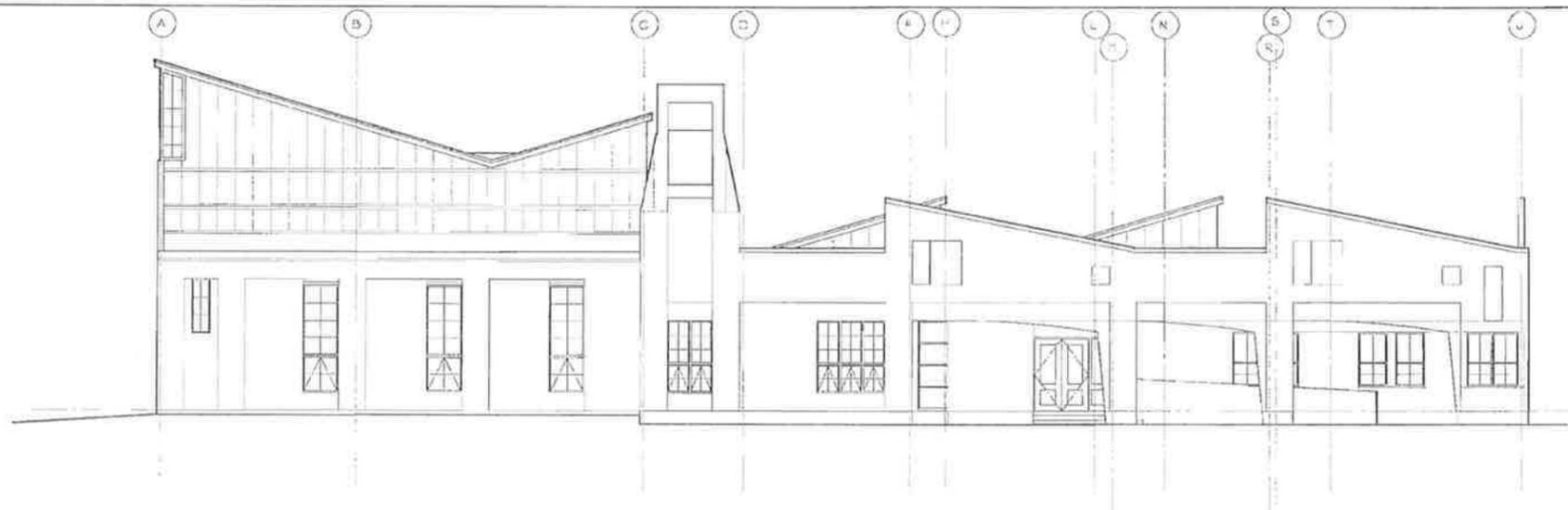
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207.786.5623 voice/fax
822 Grover Hill Rd.
Bethel, ME 04217
207.824.7237 voice/fax
info@smithreuter.com

ROOF PLAN AND DETAILS

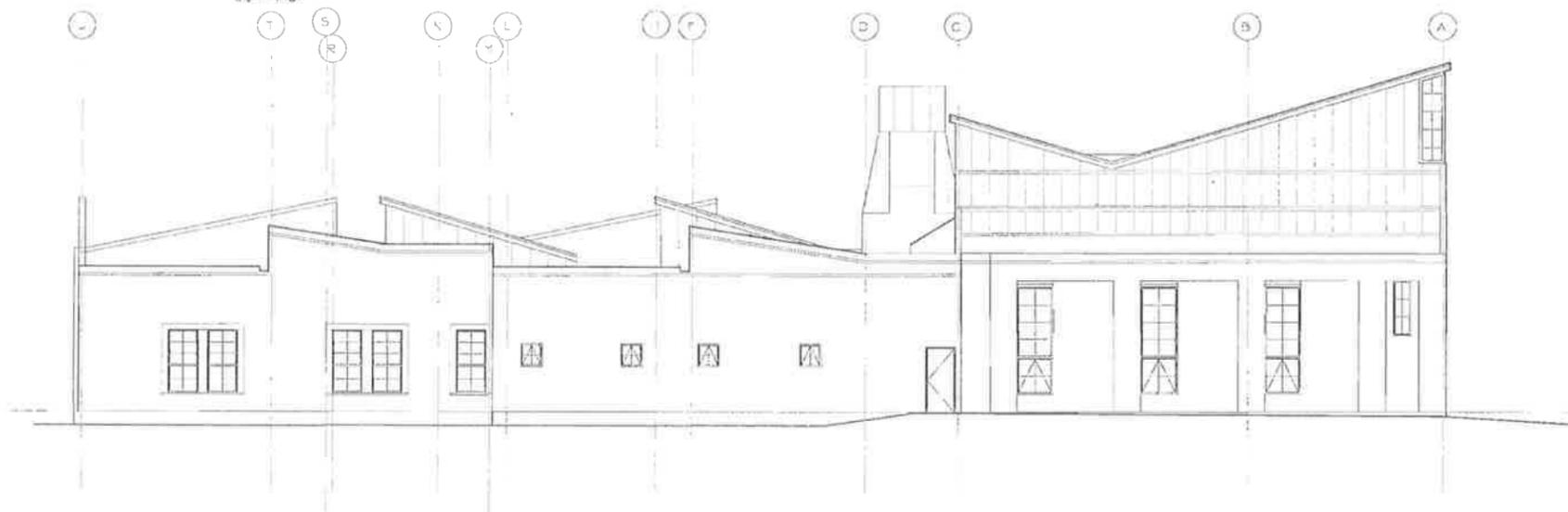
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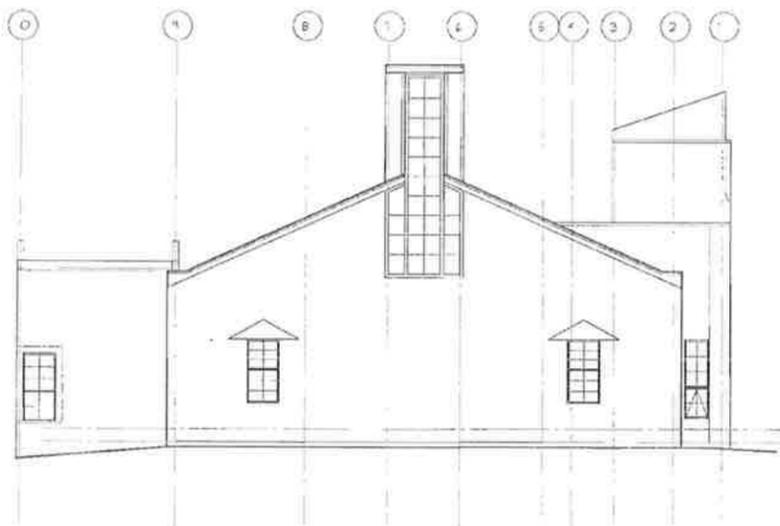
A3.1



Ⓐ MIDDLE STREET (WEST) ELEVATION
1/8" = 1'-0"



Ⓑ EAST ELEVATION
1/8" = 1'-0"



Ⓒ PLEASANT STREET (NORTH) ELEVATION
1/8" = 1'-0"

Ⓓ SOUTH ELEVATION
1/8" = 1'-0"

UU Church of Brunswick
15 PLEASANT STREET
BRUNSWICK, MAINE



SMITH REUTER JUDD
ARCHITECTS

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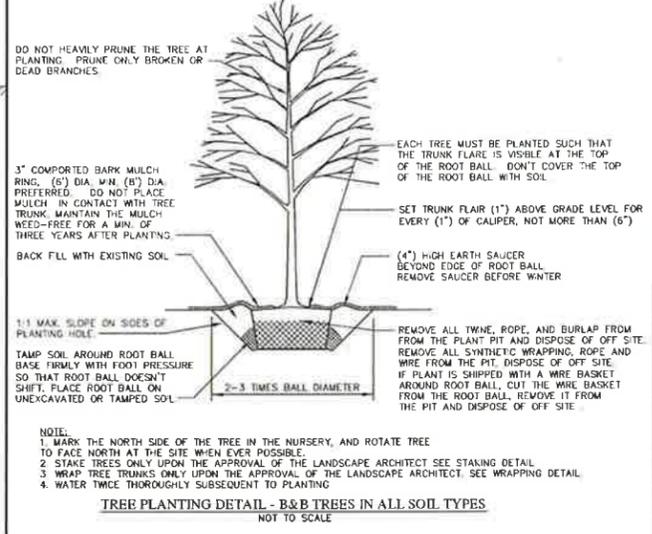
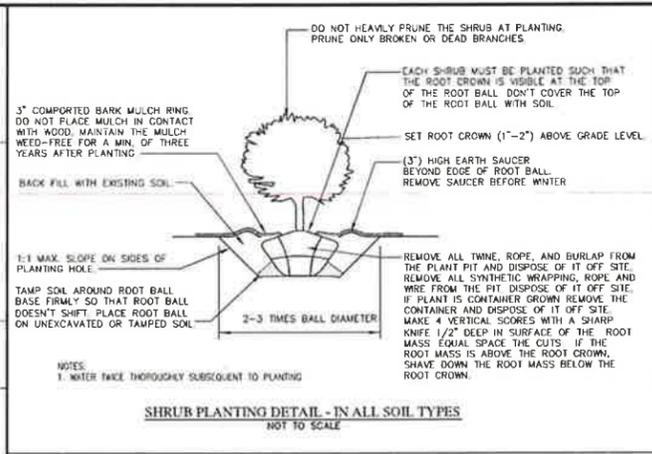
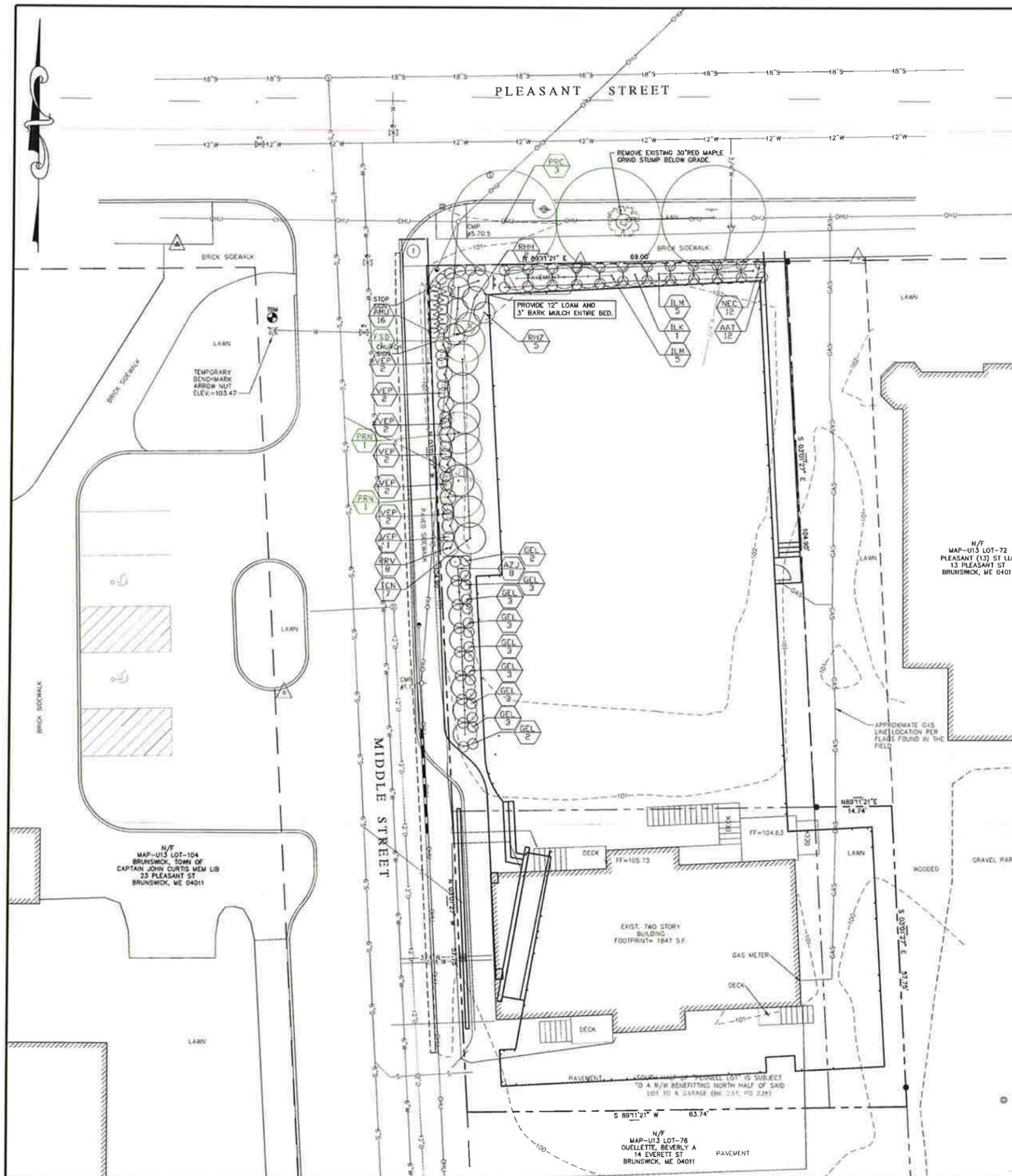
info@smidreuter.com

EXTERIOR ELEVATIONS

161-2

2/13/15

A4.1



- PLANTING NOTES**
- Composted bark mulch shall be spread on all shrub beds and tree pits 3" deep but not touching the trunk. New shrub beds shall have loam spread to a depth of 12".
 - Plant material shall conform in all ways to the minimum standards set forth in The American Standards for Nursery Stock, published by the American Association of Nurserymen, 210 Southern Building, Washington, D.C. The following sections shall apply: Section 1, Section 2, Section 3, Section 5, and Section 11.
 - No fertilizer shall be applied to new plantings. Only Super-Phosphate may be used to promote rooting.
 - In the first spring subsequent to new plantings, fertilize new trees and shrubs. The fertilizer shall be 20-10-5 Agriponm planting tablets in 21 grain size for trees and 10 grain size for shrubs. Place tablets in soil drills equal spaced at the plant branch drip line. Provide 20 grams of fertilizer for each 1/2 inch of caliper of tree trunk at the base and 20 grams of fertilizer for each 18 inches of shrub height or spread. Rack fill the holes. Repeat the fertilizer application after 24 months.
 - In the spring, fertilize perennials and herbaceous plants. The fertilizer shall be Osmocote-Plus 15-9-12 (6 mos.). Apply at a rate of 1 Tbs. (15 grams) per 2 gallon size or 4 sqft. of plant bed. Incorporate well into the surface mulch.
 - For established lawn areas, fertilize three times per season. Spring fertilizer shall be Scotts Turf Builder with Crabgrass control 30-3-4. Midseason fertilizer shall be Scotts Wrenscote Lawn Food 22-3-14. Apply fertilizers at a rate of 3 pounds per 1,000 sqft. or as required by soil testing. Only apply to turf area. Lawn areas may be limed in the fall with pelletized ground limestone at a rate of 50 pounds per 1,000 sqft. or at rate determined by soil testing.
 - Any substitute for plant material species or size must be consulted with and approved by the Landscape Architect and the. The plant schedule shall have precedence over any conflicts with plant quantities on the plan. Notify the Landscape Architect of any conflict.
 - All grading and construction must be complete before planting can be installed.
 - The Landscape Architect shall approve plant spacing prior to planting. The Landscape Contractor shall notify the project Landscape Architect 7 days prior to layout and installation.
 - Installation of plant material and lawns shall be in accordance with part 1, 2, 3 and 4 of the Maine Nurserymen's Association Landscape Contract Specifications, Dec 1989. Evergreen trees 8' and taller must be staked.

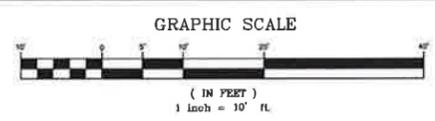
Date: May 2, 2012

PLANT SCHEDULE

ID NO.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
Trees:				
FSD	Fagus sylvatica 'Dawyc Purple'	Columbar Purple Beech	1	2'
PRC	Prunus 'Accolade'	Ornamental Cherry	3	2'
PRN	Prunus x 'Crimson Point'	Columbar Purple Cherry	2	2'
123	SAMPLE	SAMPLE	1	1
Shrubs:				
AZJ	Azalea schlippenbachii	Royal Azalea	8	2-2.5'
LK	Ilex x meserveae 'Castle Spire'	Blue Holly	1	#5
LM	Ilex x meserveae 'Castle Wall'	Blue Holly	10	#5
RHD	Rhododendron 'Agla'	Agla Rhododendron	3	#5
RHZ	Rhododendron 'Bubblegum'	Bubblegum Rhododendron	5	#5
RRV	Rosa 'Oso Easy Paprika'	Orange Oso Easy Rose	8	no. 1 rose
TCN	Taxus cuspidata 'Nigra'	Dark Spreading Japanese Yew	7	2-2.5'
123	SAMPLE	SAMPLE	1	1
Perennials:				
AAT	Astilbe chinensis 'Purpurkarze'	Purple Cande Astilbe	12	1 Galton
AMU	Amsonia tabernaemontana 'Blue Ice'	Blue Ice Blue Star	16	1 Galton
GEL	Ceranium cantabrigense 'Bicolor'	Bicolor Cranesbill	25	1 Galton
NEC	Nepeta subsp. 'Sill'	Japanese Catmint	12	1 Galton
VEP	Veronica spicata 'Goodness Grows'	Speedwell	13	1 Galton
123	SAMPLE	SAMPLE	1	1

2. 3-19-12 REVISED PER STAFF COMMENTS CYN
1. 2-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



PROGRESS PRINT
NOT FOR CONSTRUCTION



LANDSCAPE PLAN

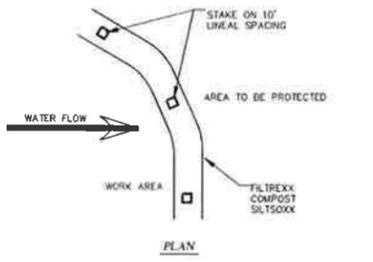
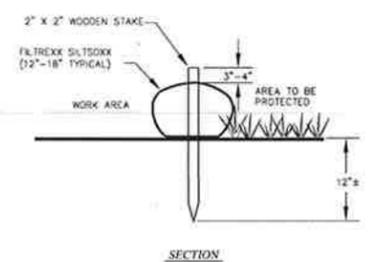
UNITARIAN UNIVERSALIST CHURCH
REDEVELOPMENT PROJECT

UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK
1 MIDDLE STREET, BRUNSWICK, MAINE 04011

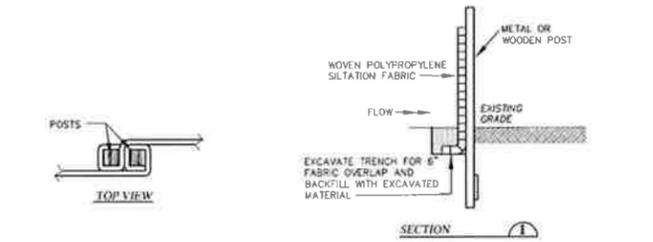
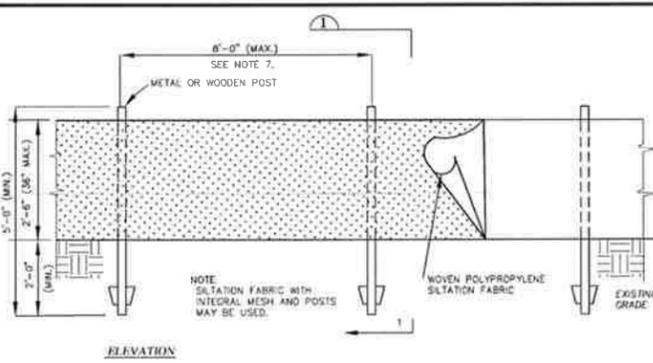
SITELINES, PA
ENGINEERS - PLANNERS - SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: BWM SCALE: 1"=10'
DRN BY: RPL JOB #: 1958
CHD BY: CYN SS:
DATE: 03-12-12 FILE: ACAD-1858 LANDSCAPE PLAN

SHEET:
L 1



- NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILT/COMPOST/SILT/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILT/COMPOST IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.



- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) ANCHOR OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC INTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 5. JOIN SECTION AS SHOWN IN TOP VIEW.
 6. BARRIER SHALL BE WIRAP SILT FENCE (100K) OR APPROVED EQUIVALENT.
 7. A STONE "FILLET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEYED IN.

- EROSION AND SEDIMENTATION NOTES:**
1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.
- GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:**
- EROSION/SEDIMENTATION CONTROL DEVICES:**
- THE FOLLOWING EROSION/SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.
1. SEDIMENT BARRIER: SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
 2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
 3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
 4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
 5. STRAW AND HAY MULCH: USED TO COVER DENuded AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
 6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

- TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:**
- PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:
1. SEDIMENT BARRIER ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS, THE SEDIMENT BARRIER WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
 2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
 3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
 - C. STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
 - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF FILE.
 4. ALL DENuded AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 15 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOIL WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
 5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENuded AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
 6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- PERMANENT EROSION CONTROL MEASURES:**
- THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:
1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
 2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP, (NONE ANTICIPATED).

- POST-CONSTRUCTION REVEGETATION:**
- THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.
1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
 2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 130 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFTURF", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQ.FT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 3/4 OZ PER 1,000 SQ.FT. (FLOWERS) ACHILLEA MILEFOLIUM YARROW, AQUILEGIA CANADENSIS COLUMBINE, ASCLEPIAS TUBEROSE BUTTERFLY MILKWEED, ASTER NOVAE-ANGLIAE NEW-ENGLAND ASTER, BAPTISIA AUSTRALIS WILD INDIGO, BOLTONIA ASTEROIDS FALSE ASTER, CHRYSANTHEMUM LEUCANTHEMUM OX-EYE DAISY, DRACOPIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPY, RUBROCKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/2 OZ. EACH PER 1,000 SQ.FT. OR 4 OZ. PER 1,000 SQ.FT. IN COMBINATION
 3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
 - i. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - ii. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5% III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
 - B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
 4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
 - A. ONLY UNFROZEN LOAM SHALL BE USED.
 - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
 - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
 - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
 - E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
 - F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
 5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

- MONITORING SCHEDULE:**
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:
1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
 2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
 3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDING WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

- CONSTRUCTION PHASE:**
- THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.
1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 15 DAYS, SEE ITEM NO. 4.
 2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPES AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
 3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
 - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 - C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF FILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF FILE.
 4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE EITHER:
 - A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
 - B. SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
 5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
 6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.
 7. EXISTING TREES REMOVED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE GROUND AND USED FOR MULCH OR HAULED OFF-SITE TO AN APPROVED FACILITY FOR GRINDING OR OTHER DISPOSAL. STUMPS SHALL ALSO BE GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE TO AN APPROVED FACILITY FOR GRINDING OR OTHER DISPOSAL. BURYING OF STUMPS IS PROHIBITED.

- EROSION CONTROL DURING WINTER CONSTRUCTION:**
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15
 2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
 3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
 4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
 5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SOODED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
 6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DIGTCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
 7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS. SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
 8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
 9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

- SITE INSPECTION AND MAINTENANCE:**
1. WEEKLY INSPECTIONS AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
 3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

2. 3-19-13 REVISED PER STAFF COMMENTS CYN
 1. 02-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

EROSION CONTROL DETAILS & NOTES

PROJECT: UNITARIAN UNIVERSALIST CHURCH REDEVELOPMENT PROJECT

OWNER: UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK
 1 MIDDLE STREET, BRUNSWICK, MAINE 04011

SITELINES, PA
 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 207.725.1200 www.sitelinespa.com

FIELD WK: HWM SCALE: 1"=10'
 DRN BY: RPL JOB #: 1958
 CHD BY: CYN SS:
 DATE: 03-12-12 FILE: 1958-COVERDET

SHEET: **C6**

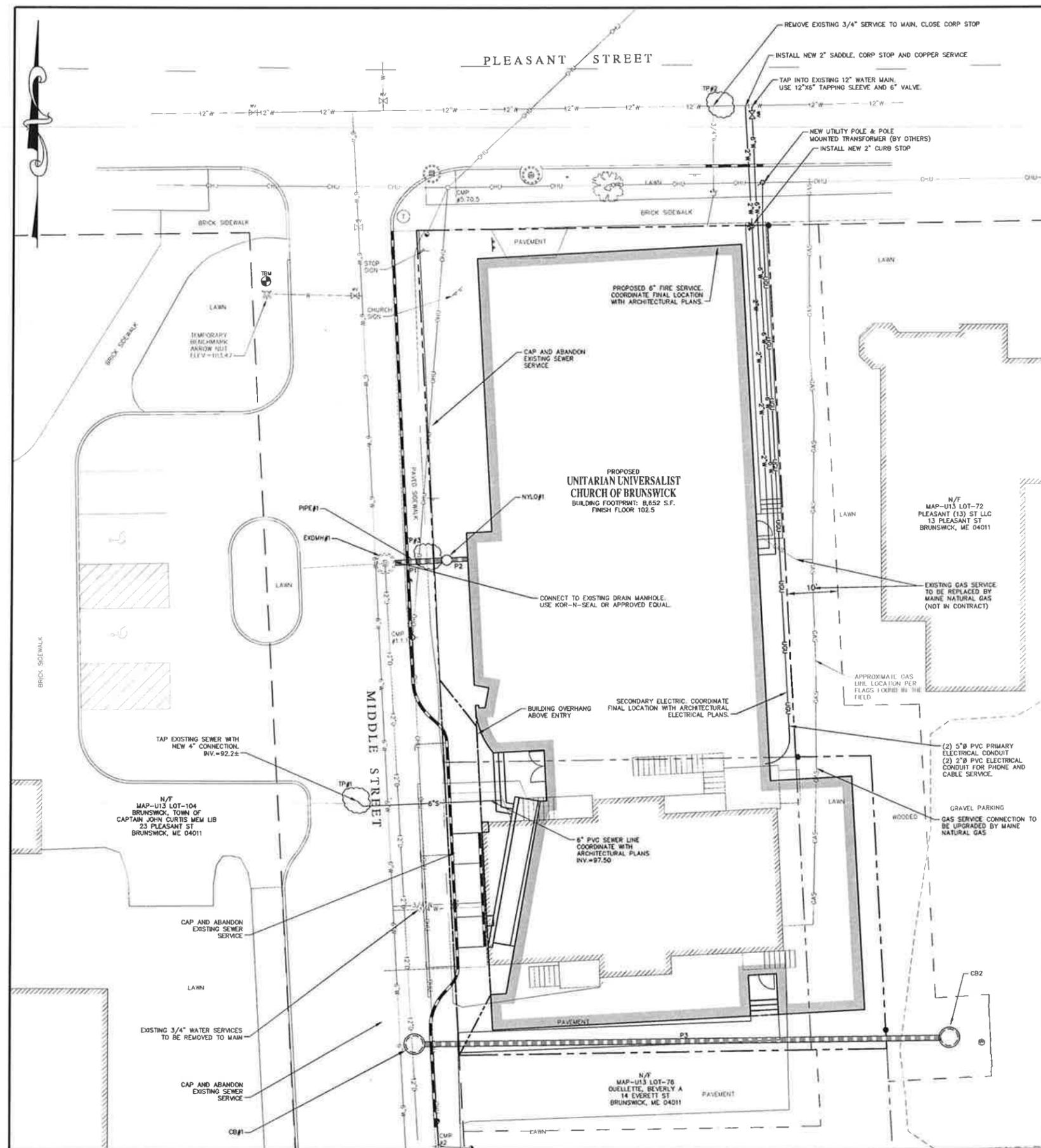
A FILTREXX SILT/COMPOST DETAIL "SEDIMENT BARRIER OPTION"
 N.T.S.

B SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"
 N.T.S.

C TEMPORARY INLET PROTECTION DETAIL
 N.T.S.

**PROGRESS PRINT
 NOT FOR CONSTRUCTION**

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- LAYOUT NOTES:**
1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB.
 2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
 3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
 4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

- UTILITY NOTES:**
1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE AND SEWER STRUCTURES AND PIPING PRIOR TO CONSTRUCTION.
 2. RIM ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE, WITHIN LIMITS OF WORK.
 3. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
 4. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
 5. ABANDONMENT OF EXISTING UTILITIES SHALL CONFORM TO APPLICABLE UTILITY DISTRICT'S STANDARDS.

STORM DRAIN DATA:

EXDM#1
 RM = 100.74
 INV. IN = 96.14 (FROM LIBRARY)
 NEW INV. IN = 96.24 (FROM NYLO#1)
 INV. OUT = 96.14 (TO EXISTING)

NYLO#1
 RM = 101.10 (12" X 12" GRATE)
 INV. IN = 96.40 (10' FROM ROOF DRAIN)
 INV. IN = 96.40 (6' FROM FOUNDATION DRAIN)
 INV. OUT = 96.30 (12' TO EXDM#1)

CB#1
 RM = 102.30
 INV. IN = 96.10 (FROM EXISTING)
 INV. IN = 96.20 (FROM CB#2)
 INV. OUT = 96.10 (TO EXISTING)

CB#2
 RM = 101.10
 INV. OUT = 96.70 (12' TO CB#1)

PIPE DATA

PIPE#1: TYPE=12" HOPE, LENGTH=9', SLOPE=.005 STORM DRAIN
 PIPE#2: TYPE=10" SDR35, LENGTH=58', SLOPE=.005 ROOF DRAIN
 PIPE#3: TYPE=12" HOPE, LENGTH=100', SLOPE=.005 STORM DRAIN

TEST PIT:

TP#1 = TEST PIT SEWER LINE LOCATION AND DEPTH
 TP#2 = TEST PIT WATER LINE LOCATION AND DEPTH
 TP#3 = TEST PIT CONCRETE ENCASED CONDUIT LOCATION AND DEPTH

THERE ARE EXISTING CONCRETE ENCASED CONDUIT UNDER THE BITUMINOUS SIDEWALK ON THE EAST SIDE OF MIDDLE STREET. TEST PIT #3 SHALL BE EXCAVATED TO DETERMINE THE EXACT LOCATION AND DEPTH OF THE TOP AND BOTTOM OF THE CONCRETE AT STORM DRAIN CROSSING. TEST PITS ARE TO BE COMPLETED BEFORE CONSTRUCTION AND ORDERING OF MATERIALS. REPORT INFORMATION TO ENGINEER.

2. 03-19-13 REVISED PER STAFF COMMENTS CYN
1. 02-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

 <p>CALL DIG SAFE UTILITY LOCATION 1-888-344-7233 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES</p>	<p align="center">UTILITY PLAN</p> <p align="center">UNITARIAN UNIVERSALIST CHURCH REDEVELOPMENT PROJECT</p> <p align="center">UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK 1 MIDDLE STREET, BRUNSWICK, MAINE 04011</p>										
	<p align="center">SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com</p>										
<p align="center">GRAPHIC SCALE</p>  <p align="center">(IN FEET) 1 inch = 10' ft.</p>		<table border="1"> <tr> <td>FIELD WK: BWM</td> <td>SCALE: 1"=10'</td> <td rowspan="4">SHEET: C4</td> </tr> <tr> <td>DRN BY: RPL</td> <td>JOB #: 1958</td> </tr> <tr> <td>CHD BY: CYN</td> <td>SS:</td> </tr> <tr> <td>DATE: 03-12-12</td> <td>FILE: 1958SITE</td> </tr> </table>	FIELD WK: BWM	SCALE: 1"=10'	SHEET: C4	DRN BY: RPL	JOB #: 1958	CHD BY: CYN	SS:	DATE: 03-12-12	FILE: 1958SITE
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DATE: 03-12-12	FILE: 1958SITE										
<p align="center">PROGRESS PRINT NOT FOR CONSTRUCTION</p>											

GENERAL NOTES:

1. DRAWINGS ARE BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION FROM MULTIPLE SOURCES BY SITELINES, PA.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. RIM ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
4. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
5. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
6. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO CONSTRUCTION MANAGER FOR RESOLUTION OF THE CONFLICT.
7. ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
8. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, CABLE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
9. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED.
10. ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED LICENSED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
11. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
13. ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
14. THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
15. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
16. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
17. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING.
2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

GRADING AND DRAINAGE NOTES:

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
POLYVINYL CHLORIDE PIPE (PVC)
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS OR SDR 35
2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

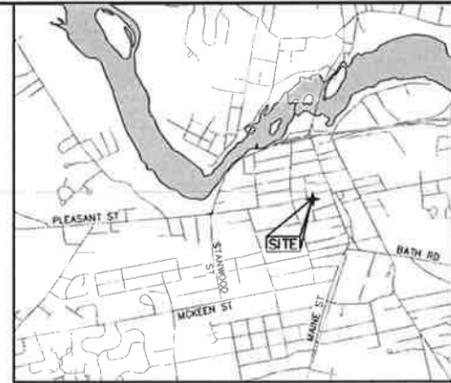
PERMITTING REQUIREMENTS:

AGENCY:	PERMIT:	STATUS:
TOWN OF BRUNSWICK	SITE PLAN APPROVAL BUILDING	PENDING (BY CONTRACTOR)

PREPARED FOR:

UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK

**1 MIDDLE STREET
BRUNSWICK, ME 04011**



LOCATION MAP
NOT TO SCALE

UTILITY CONTACTS

CODE ENFORCEMENT

JEFF HUTCHINSON
TOWN OF BRUNSWICK
28 FEDERAL STREET
BRUNSWICK, MAINE 04011
207-725-6651

ELECTRIC SERVICE

CENTRAL MAINE POWER
PAUL DUPERRE
162 CANCO ROAD
PORTLAND, MAINE 04103
207-828-2882

TELEPHONE SERVICE

FAIRPOINT
JOHN MCLEAN
BATH ROAD (P.O. BOX 360)
BRUNSWICK, MAINE 04011
207-442-8018

CABLE SERVICE

COMCAST CONSTRUCTION OFFICE
336 BATH ROAD
BRUNSWICK, MAINE, 04011
207-729-6660

WATER SERVICE

BRUNSWICK-TOPSHAM WATER DISTRICT
ALAN FRASIER, P.E., SUPERINTENDENT
BOX 580
BRUNSWICK, MAINE 04011
207-729-9956

SANITARY SEWER

BRUNSWICK SEWER DISTRICT
LEONARD BLANCHETTE
10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
207-729-0148

PUBLIC WORKS DEPARTMENT

JOHN FOSTER, P.E.
9 INDUSTRY ROAD
BRUNSWICK, MAINE 04011
207-725-6654

BRUNSWICK FIRE DEPARTMENT

KENNETH BRILLANT, FIRE CHIEF
21 TOWN HALL PLACE
BRUNSWICK, MAINE 04011
207-725-5541

PROJECT TEAM

CIVIL ENGINEER

SITELINES P.A.
ATTN: CURTIS Y. NEUFELD, P.E.
8 CUMBERLAND STREET
BRUNSWICK, MAINE 04011
207-725-1200
WWW.SITELINESPA.COM

SURVEYOR

SITELINES P.A.
ATTN: KEVIN CLARK, PLS
8 CUMBERLAND STREET
BRUNSWICK, MAINE 04011
207-725-1200
WWW.SITELINESPA.COM

ARCHITECT

SMITH REUTER LULL ARCHITECTS
ATTN: NOEL SMITH, AIA
179 LISBON STREET
LEWISTON, MAINE 04240
207-786-5623

EXISTING	LEGEND	PROPOSED
●	IRON MARKER FOUND	○
○	5/8" REBAR TOPPED WITH AN ALUMINUM CAP READING "BRUCE W. MARTINSON - PLS 2137" TO BE SET	○
□	GRANITE MONUMENT SET	□
⊕	CATCH BASIN	⊕
⊙	SEWER MANHOLE	⊙
⊕	FIRE HYDRANT	⊕
⊕	WATER GATE VALVE	⊕
⊕	WATER SHUT-OFF	⊕
⊕	BLOW-OFF/CLEAN-OUT	⊕
—○—	UTILITY POLE	—○—
—○—	UTILITY LINE	—○—
—○—	PROPERTY LINE	—○—
—○—	EASEMENTS	—○—
—○—	SETBACK/BUFFER	—○—
—○—	STORM DRAIN	—○—
—○—	CURB	—○—
—○—	EDGE OF PAVEMENT	—○—
—○—	ROAD CENTERLINE	—○—
—○—	BUILDING	—○—
—○—	STORM DRAIN(SEE PLAN FOR SIZE)	—○—
—○—	SEWER LINE(SEE PLAN FOR SIZE)	—○—
—○—	WATER LINE(SEE PLAN FOR SIZE)	—○—
—○—	UNDERDRAIN(SEE PLAN FOR SIZE)	—○—
—○—	SLOPE ARROW	—○—
—○—	CONTOURS	—○—
—○—	TEMPORARY INLET PROTECTION	—○—
—○—	CLEARING LIMIT	—○—
—○—	TREE LINE	—○—
—○—	SEDIMENT BARRIER	—○—
—○—	PROPOSED PAVEMENT	—○—
—○—	SPOT GRADE	—○—
—○—	GRANITE CURB	—○—

2. 3-19-13 REVISED PER STAFF COMMENTS CYN
1. 02-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

TITLE:	COVER SHEET
PROJECT:	UNITARIAN UNIVERSALIST CHURCH REDEVELOPMENT PROJECT
OWNER:	UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK 1 MIDDLE STREET, BRUNSWICK, MAINE 04011



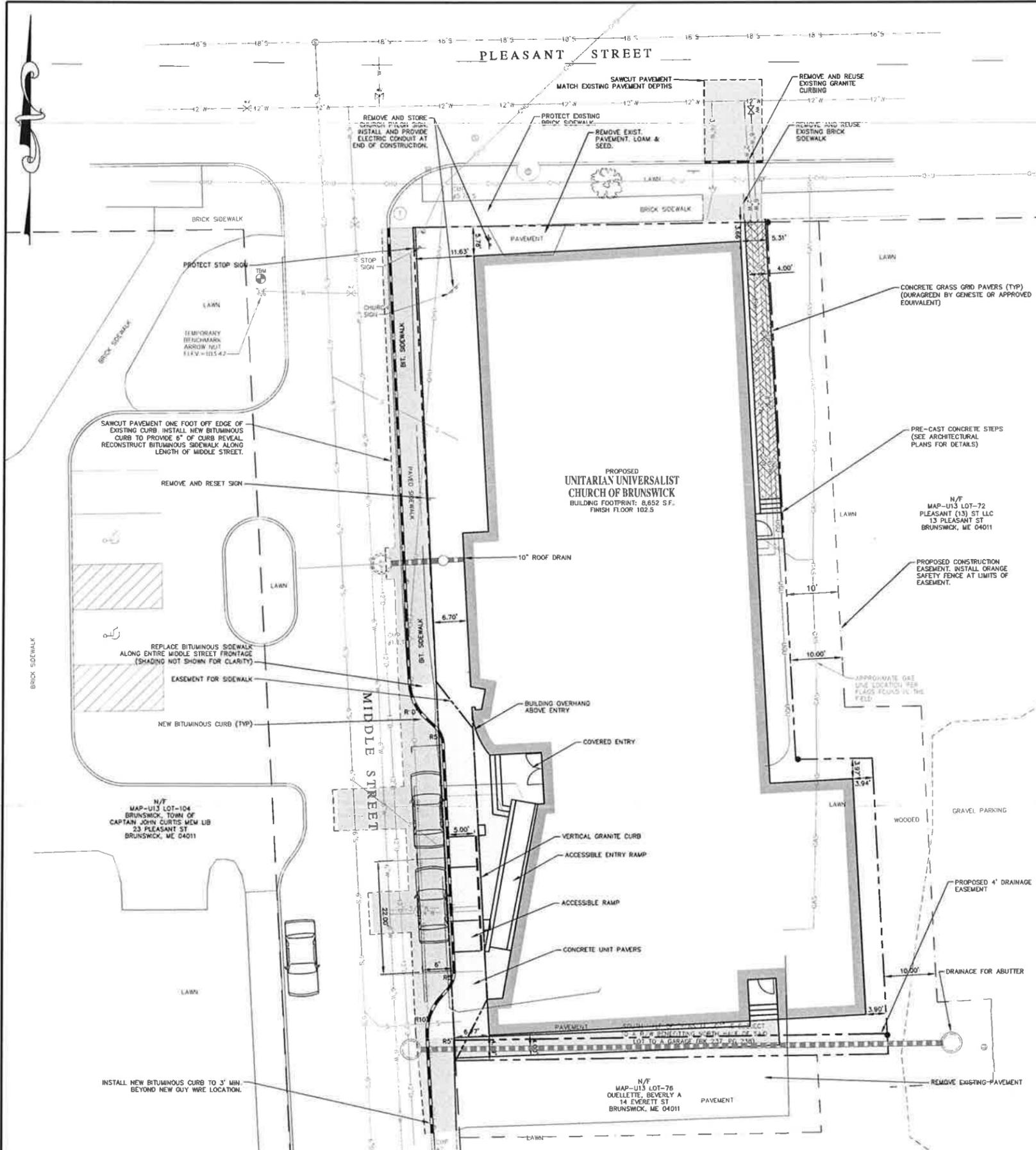
SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS	
8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com	
FIELD WK: BWM	SCALE: 1"=10'
DRN BY: RPL	JOB #: 1938
CHD BY: CYN	SS:
DATE: 03-12-12	FILE: 1938-COVERDET
SHEET: C1	

PLAN SET	
SHEET NUMBER	SHEET TITLE
C1	COVER SHEET
C2	SITE LAYOUT PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	SITE DEVELOPMENT DETAILS
C6	EROSION CONTROL DETAILS & NOTES
L1	LANDSCAPE PLAN

**PROGRESS PRINT
NOT FOR CONSTRUCTION**

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF
AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG,
GRADE OR EXCAVATE FOR THE MARKING
OF UNDERGROUND UTILITIES

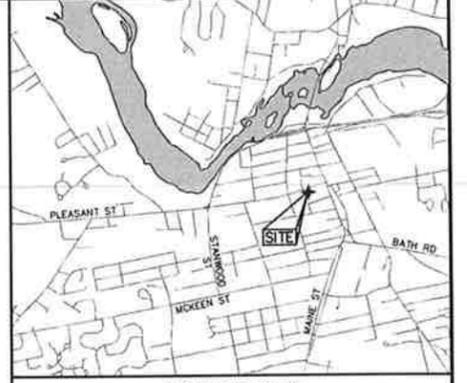
X:\LAND PROJECT\1938\031212\1938COVERDET.DWG, CT COVER SHEET, 1/10/2013 10:01:50 AM, CYN



LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING FOUNDATION.
2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.
5. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
6. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
7. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.

SEE SHEET C3 FOR DRAINAGE AND GRADING INFORMATION
SEE SHEET C4 FOR UTILITY AND STORM DRAIN INFORMATION



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

1. TITLE REFERENCE FOR SURVEYED PARCEL:
BK 6140, PG 182
BK 6414, PG 337
BK 9715, PG 199
BK 542, PG 59
2. PLAN REFERENCE(S):
a) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY PREPARED FOR UNITARIAN UNIVERSALIST CHURCH", DATED 04-09-1987, BY COASTAL & WOODLAND, RECORDED IN PB 184, PG 12.
b) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY PLUS SELECTED TOPOGRAPHY FOR TOWN OF BRUNSWICK" (LIBRARY LOTS), DATED 10-09-1995, BY R.M. SPIVEY, RECORDED IN PB 195, PG 440.
c) PLAN ENTITLED, "PLAN OF LAND ... FOR SOOONY VACUUM OIL CO. INC.", DATED NOVEMBER, 1945, BY POOLER, RECORDED IN PB 31, PG 49.
d) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY PREPARED FOR UNITARIAN UNIVERSALIST CHURCH", DATED 04-09-1987, BY COASTAL & WOODLAND, RECORDED IN PB 184, PG 12.
3. AREA INFORMATION:
12,064 SQ. FT. OR 0.277 ACRES±
4. TAX MAP REFERENCE:
TAX MAP U-13, LOT 73 & 74.
5. BASIS OF BEARINGS:
BEARINGS ARE MAGNETIC (2011) AND ARE BASED ON HAND COMPASS BEARINGS ALONG RANDOM TRAVERSE LINES.
6. ROAD INFORMATION:
PLEASANT STREET RIGHT-OF-WAY LINE LOCATION IS BASED ON EVIDENCE FOUND (LAYOUT RECORDED IN CLERK'S RECORDS VOL. 11, PG 77).
MIDDLE STREET R/W WIDTH IS 33 FT PER LAYOUT IN VOL. 4, PG 422, LOCATION IS BASED ON EVIDENCE FOUND.
7. ZONING INFORMATION:
ORDINANCE STANDARDS:
ZONE: TC (TOWN CENTER, MAINE STREET)
MINIMUM LOT SIZE: NA
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH: NA
2.) YARD DEPTHS
A) FRONT = 0'
B) REAR = 0'
C) SIDE = 0'
3.) MAXIMUM BUILDING HEIGHT = 40'
4.) MAXIMUM BUILDING FOOTPRINT = 30,000 S.F.
5.) MAXIMUM IMPERVIOUS = 100%
8. THE PROJECT PARCEL IS NOT LOCATED WITHIN THE 100-YEAR FLOOD ZONE (REF. FIRM COMMUNITY PANEL NUMBER 230042-0015-B)

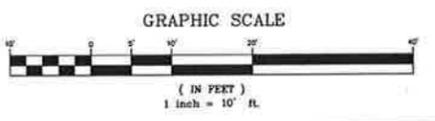
APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

DATE: _____

CHAIRMAN: _____

2. 03-19-13 REVISED PER STAFF COMMENTS CYN
1. 02-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



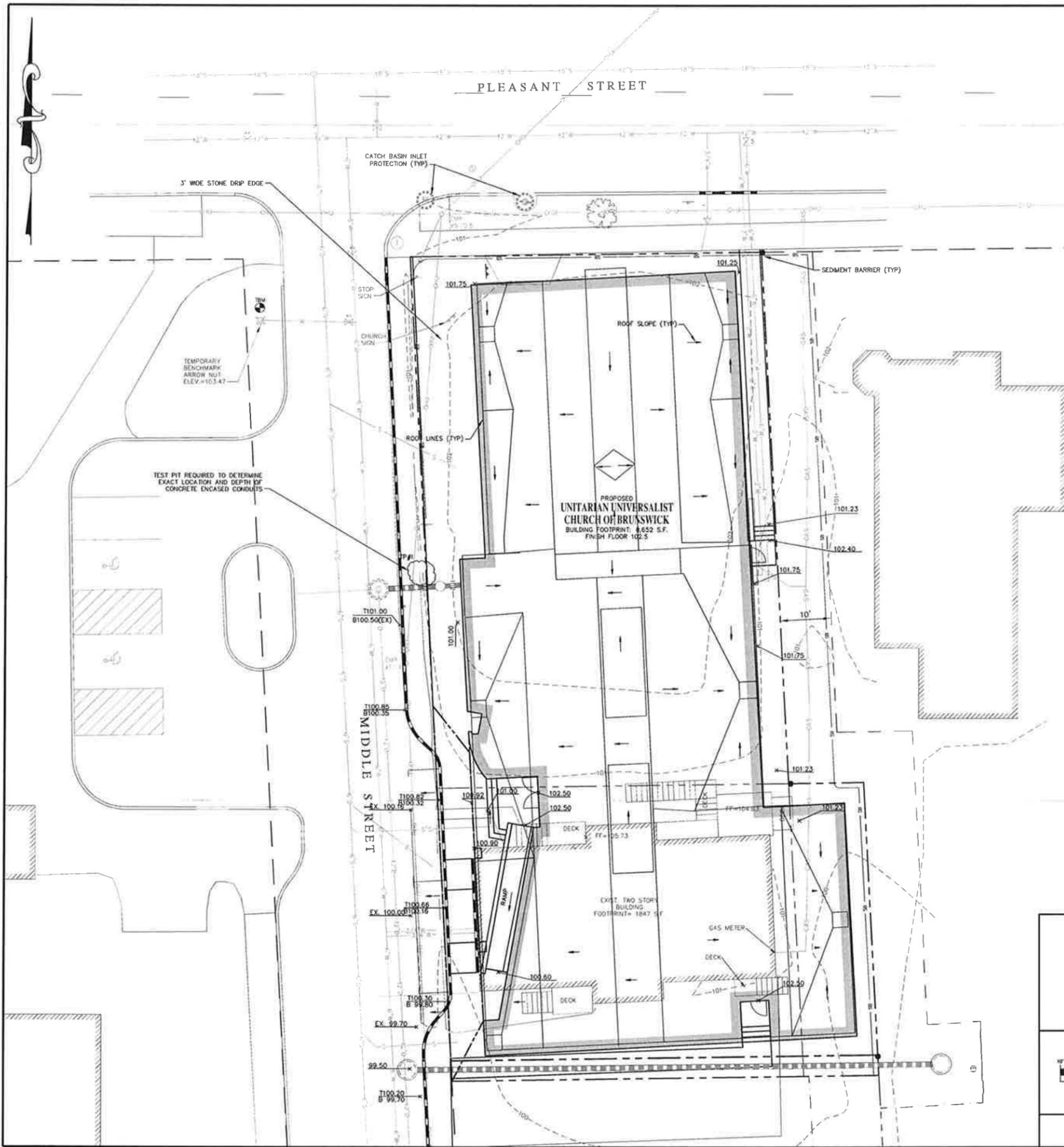
PROGRESS PRINT
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8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: BWM SCALE: 1"=10'
DRN BY: RPL JOB #: 1958
CHD BY: CYN SS:
DATE: 05-12-12 FILE: 1958SITE

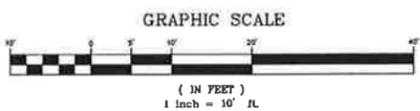
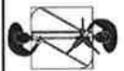
SHEET:
C2



- GRADING AND DRAINAGE NOTES:**
1. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING EFFORTS OR WITHOUT DELAY UPON THEIR COMPLETION, DEPENDENT UPON THE SITUATION.
 2. ALL FILL SLOPES SHALL BE A MINIMUM OF 3:1 HORIZONTAL TO VERTICAL UNLESS OTHERWISE NOTED OR DIRECTED.
 3. THE LIMITS OF DISTURBANCE SHALL GENERALLY BE THE MINIMAL EXTENT NECESSARY ONLY TO PERFORM THE WORK SHOWN ON THE DRAWINGS. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF OBJECTS AND AREAS NOT SPECIFICALLY IDENTIFIED FOR MODIFICATION OR REMOVAL.
 4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING IN ACCORDANCE WITH THE DRAWINGS, UNLESS INTENDED FOR OTHER SURFACE COVER.
 5. PROVISIONS SHALL BE MADE TO MANAGE STORMWATER RUNOFF OR RETAIN IT ON-SITE.
 6. WHERE FINAL GRADING HAS BEEN COMPLETED, SURFACE RESTORATION FOR DISTURBED AREAS WILL BE COMPLETED AS SOON AS PRACTICABLE. FOR VEGETATIVE AREAS, VEGETATION WILL BE PROGRESSIVELY ESTABLISHED.
 7. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS
 8. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE STRUCTURES AND PIPING PRIOR TO CONSTRUCTION.
 9. FIN ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.

SEE SHEET C4 FOR STORM DRAIN INFORMATION

2. 03-19-12 REVISED PER STAFF COMMENTS CYN
1. 02-21-13 SUBMITTED TO TOWN OF BRUNSWICK FOR APPROVAL CYN

 <p>CALL DIG SAFE UTILITY LOCATION 1-888-344-7233 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES</p>	<p align="center">GRADING PLAN</p> <p align="center">UNITARIAN UNIVERSALIST CHURCH REDEVELOPMENT PROJECT</p> <p align="center">UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK 1 MIDDLE STREET, BRUNSWICK, MAINE 04011</p>										
	 <p align="center">GRAPHIC SCALE (IN FEET) 1 inch = 10' PL</p>										
<p align="center">PROGRESS PRINT NOT FOR CONSTRUCTION</p>		 <p>SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com</p> <table border="1"> <tr> <td>FIELD WK: BWM</td> <td>SCALE: 1"=10'</td> <td rowspan="4">C3</td> </tr> <tr> <td>DRN BY: RPL</td> <td>JOB #: 1958</td> </tr> <tr> <td>CHD BY: CYN</td> <td>SS:</td> </tr> <tr> <td>DATE: 03-12-12</td> <td>FILE: 1958SITE</td> </tr> </table>	FIELD WK: BWM	SCALE: 1"=10'	C3	DRN BY: RPL	JOB #: 1958	CHD BY: CYN	SS:	DATE: 03-12-12	FILE: 1958SITE
FIELD WK: BWM	SCALE: 1"=10'	C3									
DRN BY: RPL	JOB #: 1958										
CHD BY: CYN	SS:										
DATE: 03-12-12	FILE: 1958SITE										

April 11, 2012

1958-7

Kris Hultgren, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Anticipated Parking Requirements
Unitarian Universalist Church of Brunswick Reconstruction
Tax Map U-13, Lots 73 & 74**

Dear Kris:

On behalf of the Unitarian Universalist Church of Brunswick, Sitelines, PA is submitting this letter to discuss the anticipated parking requirements for the proposed reconstruction of the church building at 15 Pleasant Street. Based on recent discussions with yourself and Town staff, it is understood that there is concern that with the proposed larger footprint church building, additional parking may be warranted. This letter is intended to address those concerns and clarify why additional parking is not warranted for this project.

The previous two-story church building, which was recently demolished due to a fire that compromised its structural integrity, had a footprint of 2,374 s.f. The applicant is proposing to construct a single-story 6,235 s.f. footprint church, which will connect to the existing 1,660 s.f. building located on the site.

The table below compares the sanctuary/narthex, meeting room, kitchen, office and other room areas for the old and new church buildings. Areas such as bathrooms, kitchens, storage rooms, and hallways were not included in the calculations. The old building is based on best available information and taken to be a good representation. The areas have been rounded off to the nearest 5 s.f.

<i>Summary of Usable Building Area (s.f.)</i>			
	Old Building	New Building	Difference
Sanctuary/Narthex	2,060	2,050	-10
Meeting Room	1,255	675	-580
Office/Multi-Use	670	425	-245
Kitchen	265	330	65
Storage	245	560	315
Other	220	345	-245
Total Usable Area	4,715	4,340	-245

Unitarian Universalist Church of Brunswick Reconstruction
Brunswick, Maine
04/11/12
Page 2 of 2

Exhibits indicating what areas were used for the tabulations above have been enclosed with this letter. As shown in the table above, the proposed church reconstruction will result in a decrease in the individual room areas, as well as the overall net usable area. As the church reconstruction will result in less usable building area and no parking issue for the old church was known to exist, additional parking for the building will be not necessary. Parking for the church will be provided from street parking along Pleasant and Middle Streets and public parking located in the vicinity. Accessible parking will be available from those across the street at the Curtis Memorial Library.

We request the information presented be reviewed by town staff and a determination made regarding the parking assessment for the new church facilities. We hope you will concur with the analysis and conclude the previous parking arrangement will meet the needs of the new church. We look forward to discussing the project further with you in the future. Should you have any questions, please call or contact me via cneufeld@sitelinespa.com.

Very truly yours,

Curtis Y. Neufeld, P.E.
Vice President

Enclosures

cc: Michael Heath, Unitarian Universalist Church
Noel Smith, Smith Reuter Lull Architects



SECTION 00 41 13

PROPOSAL FORM
(reissued in Addendum #6)

TO: The Unitarian Universalist Church of Brunswick
15 Pleasant Street, PO Box 129, Brunswick, Maine 04011

A. Having carefully examined the form of contract, general conditions and plans and specifications dated July 20, 2012 Prepared by: Smith Reuter Lull Architects for The Unitarian Universalist Church of Brunswick as well as the premises and conditions affecting the work, we the undersigned propose to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this proposal for the amount of:

Base Bid Two million four hundred seventy-nine thousand Dollars \$ 2,479,612.00
512 hundred twelve %/100

The above amount includes the following allowances:

Item: Water Service Materials and Installation	Allowance \$12,000.00
Plaster Repair	Allowance \$4,000.00

B. Alternate prices as follows:

Alternate No.1: Vegetated roof tray system with PVC roof accessories Add \$ 48,188.00

C. Unit Pricing

Unit Pricing for Brick Repointing	Unit Price \$ <u>18</u> per square foot
Unit Pricing for Concrete Removal	Unit Price \$ <u>425</u> per cubic yard
Unit Pricing for Plaster Repair	Unit Price \$ <u>4.50</u> per square foot

D. This proposal includes the following addenda to the plans and specifications:

Addendum No. <u>1</u> , Dated <u>10 AUG 2012</u>	Addendum No. <u>5</u> , Dated <u>22 AUG 2012</u>
Addendum No. <u>2</u> , Dated <u>13 AUG 2012</u>	Addendum No. <u>6</u> , Dated <u>24 AUG 2012</u>
Addendum No. <u>3</u> , Dated <u>15 AUG 2012</u>	Addendum No. _____, Dated _____
Addendum No. <u>4</u> , Dated <u>17 AUG 2012</u>	Addendum No. _____, Dated _____

E. The undersigned agrees, if awarded the contract, to complete the work on or before May 31, 2013.

This proposal includes the cost of a 100% contract performance bond and a 100% contract payment bond.

Any material or materials not specified in the bidding document but deemed worthy of consideration may be introduced by the bidder in a separate letter attached to this proposal. A cost comparison must be included giving the comparison with the material specified and the reason for the suggested substitution. The basic bid shall be as specified.

SECTION 00 41 13

PROPOSAL FORM
(reissued in Addendum #6)

TO: The Unitarian Universalist Church of Brunswick
15 Pleasant Street, PO Box 129, Brunswick, Maine 04011

A. Having carefully examined the form of contract, general conditions and plans and specifications dated July 20, 2012 Prepared by: Smith Reuter Lull Architects for The Unitarian Universalist Church of Brunswick as well as the premises and conditions affecting the work, we the undersigned propose to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this proposal for the amount of:

Base Bid TWO MILLION FIVE HUNDRED FORTY NINE THOUSAND Dollars \$ 2,549,000

The above amount includes the following allowances:

Item: Water Service Materials and Installation Allowance \$12,000.00
Plaster Repair Allowance \$4,000.00

B. Alternate prices as follows:

Alternate No.1: Vegetated roof tray system with PVC roof accessories Add \$ 47,250

C. Unit Pricing

Unit Pricing for Brick Repointing Unit Price\$ 4 per lineal foot
Unit Pricing for Concrete Removal Unit Price\$ 450 per cubic yard
Unit Pricing for Plaster Repair Unit Price\$ 15 per square foot

D. This proposal includes the following addenda to the plans and specifications:

Addendum No. 1, Dated 8-10-12 Addendum No. 5, Dated 8-22-12
Addendum No. 2, Dated 8-13-12 Addendum No. 6, Dated 8-24-12
Addendum No. 3, Dated 8-15-12 Addendum No. _____, Dated _____
Addendum No. 4, Dated 8-17-12 Addendum No. _____, Dated _____

E. The undersigned agrees, if awarded the contract, to complete the work on or before May 31, 2013.

This proposal includes the cost of a 100% contract performance bond and a 100% contract payment bond.

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PROPOSAL FORM
(reissued in Addendum #6)

TO: The Unitarian Universalist Church of Brunswick
15 Pleasant Street, PO Box 129, Brunswick, Maine 04011

A. Having carefully examined the form of contract, general conditions and plans and specifications dated July 20, 2012 Prepared by: Smith Reuter Lull Architects for The Unitarian Universalist Church of Brunswick as well as the premises and conditions affecting the work, we the undersigned propose to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this proposal for the amount of:

Base Bid two million eight hundred fourteen Dollars \$ 2,814,107.00
one hundred seven dollars

The above amount includes the following allowances:

Item: Water Service Materials and Installation	Allowance \$12,000.00
Plaster Repair	Allowance \$4,000.00

B. Alternate prices as follows:

Alternate No. 1: Vegetated roof tray system with PVC roof accessories Add \$ 51,390.00

C. Unit Pricing

Unit Pricing for Brick Repointing	Unit Price \$ <u>17.00</u> per ^{square foot} lineal foot
Unit Pricing for Concrete Removal	Unit Price \$ <u>180.00</u> per cubic yard
Unit Pricing for Plaster Repair	Unit Price \$ <u>2.50</u> per square foot

D. This proposal includes the following addenda to the plans and specifications:

Addendum No. 1, Dated 08/10/2012 Addendum No. 2, Dated 08/13/2012
Addendum No. 3, Dated 08/15/2012 Addendum No. 4, Dated 08/17/2012
Addendum No. 5, Dated 08/10/2012 Addendum No. 6, Dated 08/24/2012
Addendum No. _____, Dated _____ Addendum No. _____, Dated _____

E. The undersigned agrees, if awarded the contract, to complete the work on or before May 31, 2013.

This proposal includes the cost of a 100% contract performance bond and a 100% contract payment bond.

Any material or materials not specified in the bidding document but deemed worthy of consideration may be introduced by the bidder in a separate letter attached to this proposal. A cost comparison must be included giving the comparison with the material specified and the reason for the suggested substitution. The basic bid shall be as specified.

**Approved Findings of Fact
Unitarian Universalist Church of Brunswick Reconstruction
Certificate of Appropriateness
Village Review Board
Review Date: March 14, 2013**

Project Name: Unitarian Universalist Church of Brunswick Reconstruction

Case Number: VRB -13-003

Tax Map: Map U13 Lot 73 and 74

Applicant: Unitarian Universalist Church of Brunswick
15 Pleasant St
Brunswick, Maine

PROJECT SUMMARY

The Unitarian Universalist Church of Brunswick submitted a new application for a Certificate of Appropriateness to construct a church at 15 Pleasant Street. A Certificate of Appropriateness for the original design of the Church was approved by the Board on May 15, 2012. Since that time, it became clear that costs associated with the approved design, incorporating the Pennell House at 5 Middle Street, exceeded original estimates. The applicant has extensively revised the approved design which now includes demolition of Pennell House.

Per the interim demolition procedures and standards for a Certificate of Appropriateness adopted by Town Council on December 17, 2012, The Village Review Board shall provide a recommendation to the Planning Board on applications for a Certificate of Appropriateness for Demolition. This recommendation shall be provided to Planning Board separate from these findings of fact.

The property is located in the Town Center 1 (TC1) District and Village Review Overlay Zone.

Planning Board will review the Major Review Site Plan application and application for a Certificate of Appropriateness for Demolition upon receipt of the Village Review Board findings of fact and recommendations.

Review Standards from Section 216.9 of the Town of Brunswick Zoning Ordinance

216.9.A. Buildings and Other Structures

- 1.a) *To the greatest practical extent, structures that contribute to the character of the Village Review Zone shall remain unaltered. New*

construction is proposed for the parcel at 15 Pleasant St and 5 Middle Street is proposed for demolition. A separate review and recommendation is provided regarding demolition. *The Board finds the provisions of Section 216.9.A.1.a. are not applicable.*

- 1.b) *Any alteration of existing properties shall be compatible with their historic character, as well as with any surrounding properties.* The design of the new replacement church represents a somewhat compatible alteration of the existing properties surrounding 15 Pleasant Street/5 Middle Street. The proposed design is a one-story structure with interesting roof lines creating a second story feel facing Pleasant Street, which is important to the historic streetscape. The new building will complement the existing historic character of the area. *The Board finds the provision of Section 216.9.A.1.b. is satisfied.*
- 1.c) *New construction shall be compatible with surrounding historic properties.* The design of the new church is somewhat visually compatible with surrounding properties including the library to the west and the post office to the northwest. *The Board finds the provision of Section 216.9.A.1.c. is satisfied.*
- 1.d) *All Certificates of Appropriateness for new construction, alterations or demolition shall be in accordance with applicable requirements of both this ordinance and the US Secretary of Interior's Standards for Rehabilitation of Historic Buildings.* The design of the new church is in accordance with applicable requirements of both this ordinance and the US Secretary of Interior's Standards for Rehabilitation of Historic Buildings with the exception of adequate screening of raised solar panels visible from the Middle Street elevation (Section 216.9.C.7). *The Board finds the provision of Section 216.9.A.1.d. is satisfied conditioned upon adequate screening of the solar panels is provided to the extent that such screening does not interfere with solar gain.*
- 1.e) *The Village Review Board's application of the US Secretary of Interior's Standards will be in accordance with the Board's Design Guidelines.* The Village Review Board's application of the US Secretary of Interior's Standards is in accordance with the Board's Design Guidelines. *The Board finds the provision of Section 216.9.A.1.e. is satisfied.*

**VILLAGE REVIEW BOARD
MARCH 14, 2013**

MEMBERS PRESENT: Chair Emily Swan, Jane Crichton, Betsy Marr, and Brooks Stoddard

STAFF PRESENT: Anna Breinich

A meeting of the Village Review Board was held on Tuesday February 21, 2013 at the Municipal Meeting Facility at Brunswick Station, 16 Station Ave. Chair Emily Swan called the meeting to order at 7:20 P.M.

Case #13-003 – Unitarian Universalist Church of Brunswick – The Board will review and provide a recommendation regarding an application to demolish a 2-story office building located at 5 Middle Street and review and take action on the proposed design of a new church, to be located at 15 Pleasant Street and 5 Middle Street (Tax Map U13, Lots 73 & 74).

Anna Breinich introduced the application for the Unitarian Universalist Church which and stated that the first case the Board will review would be for the demolition of the Pennell House located at 5 Middle Street and stated that after the Board has reached its recommendation, they will then review and take action on the design plan for the proposed design of the new church to be located at 15 Pleasant Street. Anna reminded the Board that the UUC had come before the Board roughly one year ago with a different design that included keeping the Pennell House which the Board approved. However, after cost estimates came in, it was determined that the church would no longer be able to accomplish what they wished for and have come back with a new design which eliminates the Pennell House.

Applicant, Noel Smith with Smith Reuter Lull Architects, began by stating that the church did not expect to be before the Board a second time but due to unforeseen circumstances in funding they have had to make changes. Noel stated that this process has been difficult and has had some disappointing moments. Noel reminded the Board that when the original UUC burned, the church had to decide whether to stay at 15 Pleasant Street or to move to another location; they ultimately decided to stay in Downtown Brunswick. Noel stated that when the original design was reviewed, the church did not know at that time what amount the insurance claim would be or what the potential for fundraising would be, but that they did want to build back to the Pennell House. Noel stated that the original proposed design that they brought to the Board which connected to the Pennell House seemed well received and at that time fundraising was going well. However, when the final insurance estimate came in just under two million and cost estimates started arriving they were five to six hundred thousand over budget; after speaking with several contractors over a few weeks, they were able to bring the numbers down. During this process, Noel stated that they realized that they would need to hire a Construction Manager to obtain better numbers and that they would need to start the design process over again. Noel said that when they asked the contractors why the estimates were so high, the contractors all replied that it was due to the potential risk of the Pennell House; the contractors could not calculate exactly how long or how much money it would take to do what the church wanted without having to spend too much money while keeping the church happy. The contractors also stated that there would be no logical movement in the construction process. Noel stated that the

church hired a Construction Manager and asked the contractors if the \$1.8 million was even obtainable without the Pennell House in a facility big enough to replicate what was there before with the Pennell House. Noel stated that the new design fits, provides better space than with the Pennell House and brings in what the church community wants. Noel stated that they tried to save the Pennell House, but it is not financially possible. He noted that if the Pennell House was going to cost \$500,000 to renovate then the church would need to be constructed for \$1.3 million. Emily Swan clarified that if the Pennell House was going to cost \$500,000 then the church would not have enough to do the project; Noel replied that the lowest bidder came in at \$2.5 million and the others were slightly higher but noted again that the contractors were anxious because the proposed design was a little unusual and because of the uncertainty and risk involved with the Pennell House. Noel stated that the proposed building is more straight forward and similar to what was there before; they have been able to increase the size of the sanctuary a little bit. Noel stated that the golden lining to being at the meeting is that the proposed design works better.

Emily stated that one condition that the Board must satisfy is that the applicant did not contribute significantly to the deterioration of the building being demolished and asked about the study in 2005. Noel Smith replied that the study was a cursory study and not an in depth study. Noel stated that the building for its age, looks like what you would expect; doesn't look like it is falling down, it has been reasonably maintained and it was an old two-family building that has been used for children's religious education and does not meet any code for that use but can be used as such because no work has been done on it. Noel stated that when the study was conducted it was when the church was trying to get a handle on what the general condition of the church that was still in existence and the Pennell House. Studies were done on that site with the existing church and even after doing quite a bit of interior renovation to modify and expand and demolishing Pennell House, the church still would not be able to meet their needs. Noel stated that the Pennell House does not meet any code and once you start spending money to upgrade and incorporate it with a new facility all the codes must be met. Noel stated that a Structural Engineer measured all of the components of the Pennell House, ran the numbers, and it was determined that they would need to strengthen existing members, the basement would need new beams, the roof structure would need to be reframed and noted that this is done before anything is torn up where you may find other problems. Noel again stated that this was a cursory study and also done to see what kind of money would be needed to keep the building going as is. Noel stated that at this time the church was deciding whether to stay at their current location or to move off site; if they moved off site they would have sold the Pennell House. Michael Heath, Board Chair of the UUC, replied that in the process of the congregation making a decision to keep Pennell House or not originally, they had spent a lot of money and effort in past five to six year trying to upgrade Pennell by putting new windows in, roofing, some siding and a new heating system and now with plans for renovation, so much would need to be done to get the house up to code.

Chair Emily Swan opened the public hearing. No public comments, Emily closed the public hearing.

The factors that need to be considered in the Demolition Standards are:

1. *The significance of the structure proposed for demolition as evidenced by the status as listed or eligible for listing on the National Register of Historic Places.*

2. *The condition of the structure provided that the applicant has not contributed significantly to the deterioration of the structure.*
3. *The availability of permitted alternative uses of the structure that would maintain its economic viability*

Emily noted that the only architectural feature was the banister but she did not see anything that would warrant protection; Board members agreed. Emily stated that codes comparison was helpful; the building is not falling apart but the condition is such that it will require a great deal of maintenance and money to keep it up.

MOTION BY JANE CRICHTON TO GRANT A CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION, SECONDED BY BROOKS STODDARD.

Brooks Stoddard commended the due diligence done by the UUC members in trying to keep the Pennell House.

Design Review

Noel Smith presented sketches of the proposed design and reviewed the design features. Noel noted that the light element would be visible from inside the church; the light monitor in back of the church in the sanctuary will let southern light in. He stated that there will be light monitors on the roof, the building would be mostly shingles, it will have some metal on the roof and spine and will relate better to the library across the street. Noel stated that they have discussed solar panels on the roof and will screen them appropriately if they are able to get them. Noel stated that the proposed church will take its place on the street and looks like it belong there and pointed out that the new entrance ramp is under cover and is a little more open and welcoming.

Jane Crichton clarified that the solar panels would not be going up at this time but possibly go up at a later point; Noel reiterated that if it is possible to install solar panels at this point they will but it is not likely due to the cost associated with the panels. Emily Swan asked if they had looked into a grid buyback; Noel replied that at this time, Central Maine Power is not participating in a buyback. Brooks Stoddard replied that this is a great opportunity for the church to think about how green the proposed building can be; a church trying to be as efficient as it can be is commendable. Noel replied that this design is much more energy efficient than the original proposal. Emily asked about the angle of the panels; Noel replied that the angles of the panels are determined by the angle of the roof. Emily stated that she wouldn't mind seeing the solar panels as they could be part of the aesthetic and the Board should help along those buildings that promote alternative energy and various things. Jane asked if the screening will go up initially; Noel replied that it would.

Brooks stated that in the proposed church design they have created a little bit of the late 19th century shingle style and wonders what the massing would be if the shingles went all the way up to the light tower. Brooks pointed out that in the design they created a rhythm going down Middle Street and wonders why they put the windows off the side on the bays; Noel replied that they were trying to do something that used traditional items in a non-traditional way. Betsy Marr stated that the façade faces Pleasant Street and asked if there was any way not to make it so blank; Noel Smith replied that the original design had a round window which cost too much; Noel stated that they are trying to keep the wall blank for projection or hanging of art and pointed out that no one wanted windows put in to see the traffic on Pleasant Street. Emily Swan

replied that she too was concerned that the Pleasant Street side would be too blank. Emily noted that the front door is not too obvious and seems un-dramatic; Noel replied that it may not be so dramatic but that it is friendlier; people can linger undercover a little bit and flow into the building. Emily replied that one thought on the Pleasant Street side might be may be a tree or some natural growth. Anna Breinich replied that there is a landscaping plan that will be reviewed by the Planning Board as part of the site plan application; the plan has already been reviewed by the Town Arborist, Peter Baecher and is similar to the landscaping on the original plan. Noel noted that on the Pleasant Street side and the Middle Street facade, there will be two Unitarian sayings on the wall at eye level. Jane replied that she likes that idea and stated that she thinks this is the best handicapped entrance she has seen. Emily asked what the materials will be on the windows and what they will be divided by; Noel replied that the details have not been determined yet hoping to get Marvin quality and will not be vinyl. Emily replied that she hopes that the Planning staff will look to avoid the fake divided light that goes inside the glass; Noel replied that they are trying to keep the design simple so that they can afford quality materials.

Betsy Marr asked how the flat roof will drain; Noel replied that the roof will drain internally. Betsy suggested green and not white windows. Emily asked if the bell is still going to be there; Noel replied that the bell will be relocated to the tower. Betsy asked if the bell will ring; Michael Heath replied that the bell is in the process of being repaired.

Brooks Stoddard stated that he liked the rendering which showed the library as well as it was very helpful.

Chair Emily Swan opened the meeting to public hearing.

Sylvia Stalker, UUC Minister stated that a year ago the church celebrated their 200th anniversary but are very proud of their history and the proposed design does incorporate parts of their history like the bell, they are building the pulpit out of some of the old pews, some of the mantels from the Pennell House will be incorporated and the Longfellow Bible will have a prominent location within the church. Sylvia stated that it is really important to the congregation that they have a building that is as green as possible and they do understand that having a solid envelope is one of the best things that they can do, in addition to that, after being members of the community for over 200 years, they are leaders within the community and she would rather the solar panels be visible to the public as a model to where they should be going. Sylvia reiterated that the project budget projection may not be able to support solar panels at this time, but they are pursuing them and there may be people in the congregation who may contribute extra just for that project; if they can put them up now they will and again, she would prefer that they not be screened. Betsy Marr replied that screening the panels will almost look like a movie house and that there may be more of a flow without screening; Emily Swan agreed. Anna Breinich replied that there is screening already on the design as mentioned and noted that standard that requires screening heating, ventilation and rooftop units and solar panels would fall under that. Anna reviewed Section 216.9 of the Brunswick Zoning Ordinance, part C.

Kurt Neufeld with Sitelines PA and member of the UUC, pointed out that regarding the screening, for most of the part that would have the solar panels the view will be blocked by buildings and vegetation. He stated that there will be places where the panels will be visible and appreciates that the Board has noticed the work that has gone into this project.

Chair Emily Swan closed the public hearing.

MOTION BY BROOKS STODDARD THAT THE CERTIFICATE OF APPROPRIATENESS APPLICATION IS DEEMED COMPLETE. SECONDED BY JANE CRICHTON, APPROVED UNANIMOUSLY.

MOTION BY BETSY MARR THAT THE BOARD APPROVES THE CERTIFICATE OF APPROPRIATENESS FOR A NEW CHURCH AT 15 PLEASANT STREET AS OUTLINED IN THE APPLICATION WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
2. That the rooftop mechanical units and raised roofline solar panels are adequately screened from the view of any public street to the extent that such screening does not interfere with solar gain.

Discussion regarding National Historic Preservation Month activities.

Emily Swan reviewed that the focus of National Historic Preservation Month had been decided and that it would be a focus on Maine Street since the Maine Street Historic District is being proposed. Emily stated that she had spoken with Sandy Updegraph who is working with the BDA on a redesign of the interior space of the Visitors Center and asked if she would be willing to work with the Board and about having the photos hang there; Sandy and Emily identified a space and they discussed the amount of traffic that goes through there now. Emily stated that this location seems like a good place to go with. Anna Breinich stated that she spoke with one of the volunteers and was told that the larger historic photos will be coming down and will lend its self well. Emily replied that she has emailed Sandy today to confirm the plans and has communicated with the high school art teacher.

- Emily to update the entry form with the theme *Focus on Maine Street*.
- Emily to follow-up with Jennifer Blanchard about possible tour.
- Emily to ask BDA if they would assist in getting Downtown business to display old photographs.
- Emily to speak with Bernie at People Plus about possible involvement.
- Emily to ask the Times Record to run old photos.
- Betsy Marr to ask her sister to assist in photographs.
- Preservation event May 11 with a possible tour at 1:00 P.M.

Staff Approvals

None since last meeting.

Minutes

No minutes were reviewed at this meeting.

Other Business

- April meeting date discussed, possibly April 4th or April 8th.

Adjourned

This meeting was adjourned at 8:55 P.M.

Attest

Tonya D. Jenusaitis
Recording Secretary

**APPROVED MOTIONS
UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK
RECONSTRUCTION
15 PLEASANT ST/5 MIDDLE STREET
CASE NUMBER 13-003**

Motion 1: That the Certificate of Appropriateness application is deemed complete.

Motion 2: That the Board approves the Certificate of Appropriateness for a new church at 15 Pleasant Street as outlined in the application with the following condition:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
2. That the rooftop mechanical units and raised roofline solar panels are adequately screened from the view of any public street to the extent that such screening does not interfere with solar gain.

**Draft Findings of Fact
Unitarian Universalist Church of Brunswick Reconstruction
Certificate of Appropriateness of Demolition of Pennell House
Planning Board
Review Date: March 26, 2013**

Project Name: Unitarian Universalist Church of Brunswick/Demolition of Pennell House

Case Number: 13-009

Tax Map: Map U13 Lot 73 and 74

Applicant: Unitarian Universalist Church of Brunswick
15 Pleasant St
Brunswick, Maine

Motion #1 – That the Certificate of Appropriateness for Demolition application is deemed complete.

PROJECT SUMMARY

The Unitarian Universalist Church of Brunswick (UUCB) submitted a new application for a Certificate of Appropriateness (COA) and site plan to construct a church at 15 Pleasant Street. A Certificate of Appropriateness for the original design of the Church was approved by the Village Review Board on May 15, 2012; followed by Planning Board site plan approval on May 22, 2012. Since that time, it became clear that costs associated with the approved design, incorporating the Pennell House at 5 Middle Street, exceeded original estimates. The applicant has extensively revised the approved design which now includes demolition of Pennell House.

The property is located in the Town Center 1 (TC1) District and Village Review Overlay Zone, Map U13, Lots 73 and 74. The Pennell House is presently vacant but had been by the church for administrative offices and classrooms.

Per the interim demolition procedures and standards for a Certificate of Appropriateness adopted by Town Council on December 17, 2012, the Village Review Board shall provide a recommendation to the Planning Board on applications for a Certificate of Appropriateness for Demolition. This recommendation shall then be provided to Planning Board for their consideration when taking action on the COA.

Village Review Board Recommendation:

The Village Review Board conducted a site visit of the Pennell House on March 8 with the applicant. In accordance with Section 216.10. F. of the Brunswick Zoning Ordinance the Board reviewed the demolition request on March 14, 2013, for 5 Middle Street (Pennell House) and unanimously acted to recommend approval of the request. Their basis for their recommendation is as follows:

1. The structure is not considered to be historically significant.
2. The applicant has not significantly contributed to the deterioration of the structure.
3. The structure is not compliant with existing building codes, requiring substantial upgrades for any reuse thereby eliminating any economic viability for the applicant.

The Board also commented the applicant for attempting to incorporate the structure into the previously approved design of the reconstructed church.

The Village Review Board also approved the new design of the structure in accordance with Section 216.9. The approved findings of fact/COA are attached and are included in this draft Findings of Fact. A draft copy of the meeting minutes is also included for informational purposes.

Review Standards from Section 216.10.F. of the Town of Brunswick Zoning Ordinance

As per Section 216.10.F. (Certificate of Appropriateness for Demolition and Relocation) of the Brunswick Zoning Ordinance, any grant or denial of a COA for demolition shall be based upon the findings the Village Review Board has made for the design of the reconstructed church (based on Section 216.9 and attached), as well as 3 criteria considering the significance of the structure, structural condition and economic viability if reused.

1. *The significance of the structure proposed for demolition, as evidenced by its status as listed or eligible for listing on the National Register of Historic Places:* The structure known as the “Pennell House” was built in 1880. According to the 1980 Pejepscot Historical Survey, the building has no historical significance. Any historic character of the structure has been diminished by the removal of original double-hung windows and replacement with smaller incompatible casement windows. The exterior of the structure lacks any character-defining historic features and the west side has been resided with vinyl siding. The structure is not listed on the National Register for Historic Places and is highly unlikely to be eligible for listing. *The Board finds that the structure is not considered historically significant.*

2. *The condition of the structure provided that the applicant has not contributed significantly to the deterioration of the structure.* The UUCB purchased the “Pennell House” in 1988. No documentation is available to the applicant to establish the structural condition prior to the purchase. A building evaluation for the original church (destroyed by fire in 2011) and Pennell House was completed in 2005. At that time a number of structural deficiencies/recommendations for improvements to Pennell were noted:
 - Deterioration of roof sheathing boards and their replacement was recommended at the time of roof resurfacing;
 - The dismantling of two inactive chimneys noted as being in poor condition;
 - Undersized floor framing with recommendation to upgrade to accommodate current design loads; and
 - Need for a water mitigation system in the basement and concrete slab-on-grade installed as well as completion of other foundation repairs.

As stated during the meeting by the Church’s Board of Trustees Chair and later confirmed by staff, substantial improvements have been completed including the replacements of roofing material, windows, siding on south side of structure and boiler. *The Board finds that the applicant has not contributed significantly to the deterioration of the structure.*

3. The availability of permitted alternative uses of the structure that would maintain its economic viability. As stated in the application, the Pennell House was originally proposed to be incorporate into the design of the reconstructed church. It was noted by the applicant and observed by the Board and staff during the March 8, 2013 Site Walk, that the structure is not fully compliant with existing building or life safety codes which would be required if the building were to be incorporated into the new structure as previously proposed (bids attached) or used for an alternative permitted use. Additional structural analysis by Taylor Engineering indicates that if the original design, including Pennell House, had moved forward, framing failures would be found in the roof and floor. It is obvious that substantial work would be needed. It is also obvious that the UUCB prefers a more workable floor plan than what now exists in the structure. At the request of staff, the UUCB has placed the structure on the market, free to whoever wants to relocate it. It is staff's understanding that no serious interest has been shown. *The Board finds that no permitted alternative uses of the structure are available to the applicant that would maintain its economic viability.*

**DRAFT MOTIONS
UNITARIAN UNIVERSALIST CHURCH OF BRUNSWICK
RECONSTRUCTION
CERTIFICATE OF APPROPRIATENESS OF DEMOLITION OF PENNELL
HOUSE
5 MIDDLE STREET
CASE NUMBER 13-009**

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the Certificate of Appropriateness for Demolition of Pennell House, 5 Middle Street, as part of the reconstruction of the Unitarian Universalist Church of Brunswick at 15 Pleasant Street as outlined in the application with the following condition:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.

**Draft Findings of Fact
Unitarian Universalist Church
Major Development Final Review
Review Date: March 20, 2013**

Project Name: Unitarian Universalist Church of Brunswick
Case Number: 13-009
Tax Map: Map U13, Lots 73 & 74
Zoning: Town Center, Maine Street (TC1) Zone
Applicant: Unitarian Universalist Church of Brunswick
15 Pleasant St
Brunswick, Maine 04011

PROJECT SUMMARY

The Planning Board granted Major Development Review Approval to the Unitarian Universalist Church of Brunswick (UUCB) in September of 2012 for construction of a new church on 15 Pleasant Street. The new church was to be integrated with the existing continuing education building (Pennell House) located at 5 Middle Street. However, due to escalating costs and logistical constraints, the decision was made to not to proceed with the integration of the Pennell House; the project was redesigned for full build-out of 15 Pleasant Street and 5 Middle Street, with the Pennell House either being moved or demolished. After attempts to relocate the Pennell House were unsuccessful, the UUCB initiated an application for demolition. The Demolition Application for a Certificate of Appropriateness (COA) to the Planning Board is under separate cover. Staff notes that the UUCB was granted a COA from the Village Review Board on March 14th in accordance with §216.

In addition to the above, the UUCB is concurrently seeking Final Major Development Review approval for construction of a 8,652 SF building on 15 Pleasant Street and 5 Middle Street (12,064 SF 0.28 acres), which would include the church, office and continuing education space. The applicant has submitted a narrative and accompanying supporting materials, which are attached hereto.

The following waivers have been requested by the applicant:

1. Class A Soil Survey. *The project is located on soils suitable for the proposed use. The site is served by municipal water and sewer, so no wells or subsurface disposal systems will be required, which may necessitate a soils survey.*

2. Profile, cross-section dimensions, curve radii of existing streets. *No changes proposed to Pleasant or Middle Streets.*
3. Profile of water and sewer service lines. *Only service connections are proposed to existing water and sewer mains.*

Staff recommends approval of the requested waiver.

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The property is located in the Town Center (TC1) Zoning District. A religious institution is a permitted use within this district. All dimensional and lot configuration requirements are met. The proposed development complies with all applicable standards of the Town Center 1 Zoning District. *The Board finds that the provisions of Section 411.1 are satisfied.*

411.2 Preservation of Natural Features

There are no existing features on the site that would be considered of natural, scenic, or historic character to the Town. Due to the proximity of the existing trees to the location of the previous building, all of the trees located on the site were removed as part of the church building demolition. Landscaping for the site will consist mostly of perennials and shrubs to be planted around the building foundation and walkways. The existing street tree will be replaced by trees that can grow without interference with the overhead utilities. *The Board finds that the provisions of Section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands and Marine Resources

No water bodies, streams, wetlands or vernal pools are identified on the site. The development will not adversely affect the Mare Brook watershed or the water quality of Casco Bay or its estuaries. *The Board finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

The project area is located in Zone C (Areas of Minimal Flooding) of the Flood Insurance Rate Maps (FIRMs) for Cumberland County, Maine. The project area is located on Panel 15 of 35 (Community Panel 2300420015B, Effective June 3, 1986). The proposed building will be constructed within the approximate limits of the previous building and at grades similar to or higher than previous grades. *The Board finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The project is located within the Water Street tributary which is classified as an Urban Impaired Stream; however, no additional state permitting is required because the project does not include more than 20,000 sf of new impervious surface or more than an acre of disturbed area. The project will connect to the town's existing stormwater system from Middle Street instead of Pleasant Street due to capacity issues with the Pleasant Street system. The new building will have similar stormwater impacts as the previous building.

The project satisfies the recommended stormwater quality standards described in the Storm Water Management for Maine: Best Management Practices, published by the State of Maine Department of Environmental Protection, as amended.

As part of the project, a storm drain catch basin will be installed on the abutting parcel to the east to provide drainage of the gravel parking area behind the building. This work will be provided, in part, as consideration for parking being allowed by the abutter for church staff during the weekdays. A drainage easement with the abutting property owner is required. *The Board finds that the provisions of Section 411.5 are satisfied.*

411.6 Groundwater

The project will be serviced by public sewer and water. No activities are proposed or anticipated that will extract groundwater for commercial purposes. The proposed building will be constructed with a shallow foundation including an underdrain to dewater the areas immediately adjacent to the exterior footing. There are no adverse impacts to groundwater anticipated from this development. *The Board finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

The disturbed areas of the site will be isolated through the use of silt fencing and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The project will be served by the town's sewer system. A letter from the Brunswick Sewer District confirming capacity to serve the project was submitted. *The Board finds that the provisions of Section 411.8 are satisfied.*

411.9 Water Supply

The project will be served by the town's municipal water system. A letter from the Brunswick-Topsham Water District confirming capacity to serve the project was submitted. *The Board finds that the provisions of Section 411.9 are satisfied.*

411.10 Aesthetic, Cultural and Natural Values

The proposed project will not have any undue adverse effect on the scenic or natural beauty of the area, historic sites, or significant wildlife habitat identified by the Maine Department of Environmental Protection and Inland Fisheries & Wildlife or by the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. The Village Review Board issued a COA for the

architectural elevations on March 14, 2013. *The Board finds that the provisions of Section 411.10 are satisfied.*

411.11 Community Impact

The project is a reconstruction of a church and the impacts on community services is anticipated to be similar to the previous church. The Brunswick Sewer District and Brunswick-Topsham Water District have confirmed their capacity to serve the project. The Public Works Director confirmed that no solid waste impact fee is required due to the same use as the previous building. The town's emergency services are able to adequately serve the location and no significant impact on school enrollment is anticipated as a result of the project. Overall, municipal resources are available to service the project. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

Impacts are anticipated to be the same as the previous church use, with peak traffic volumes taking place on Sundays, when most of the other nearby businesses are closed. Given that this is an established use and location, and given the off-peak traffic times, the proposed development is not expected to result in unreasonable public road congestion or unsafe conditions. Proposed on-street parking was eliminated from the plan pursuant to a letter from the Director of Public Works dated March 13, 2013, and attached hereto. Two loading and unload spaces are now shown on the plan. The church will utilize on-street parking along Pleasant Street and nearby public parking lots, consistent with the past practices, which the Town has indicated are grandfathered. *The Board finds that the provisions of Section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The Board finds that the development will accommodate bicyclists and addresses pedestrian access, safety and circulation within the site. *The Board finds that the provisions of Section 411.13 are satisfied conditioned upon the provision of bicycle parking, to the satisfaction of the Director of Planning.*

411.14 Development Patterns

The use of the property will be a church and is located in the town's Growth Area. The surrounding properties are commercial, residential and civic. The project will utilize public water and sewer service. The development is consistent with the surrounding properties on Pleasant St and consistent with the previous use of the lot. As proposed, the development is respectful of Brunswick's historic development pattern and will have no adverse impact on adjacent residential areas. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

The applicant received a COA from the Village Review Board on March 14, 2013. *The Board finds that the provisions of Section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

This project is for the replacement of an existing church; accordingly the Director of Public Works is not requiring a solid waste impact fee. The development will not cause an unreasonable burden on the municipality’s ability to dispose of solid waste. *The Board finds that the provisions of Section 411.16 are satisfied.*

411.17 Recreation Needs

The development will not cause an unreasonable burden on the municipality’s ability to provide recreational services. No recreation impact fee is required for this nonresidential use. *The Board finds that the provisions of Section 411.17 are not applicable.*

411.18 Access for Persons with Disabilities

The development shall comply with the Americans with Disabilities Act as applicable, which will be reviewed as part of the building permit application. *The Board finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The project will be financed in part by payments obtained from the insurance company, with the remaining amount covered through a capital campaign. The church has demonstrated adequate financial and technical capacity to complete and maintain the project. *The Board finds that the provisions of Section 411.19 are satisfied.*

411.20 Noise and Dust

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP’s published by the Maine Department of Environmental Control, will be utilized to control dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

The Unitarian Universalist Church owns the subject properties giving them sufficient right, title and interest to develop the land. *The Board finds that the provisions of Section 411.21 are satisfied.*

411.22 Payment of Application Fees

The applicant has paid all applicable development review application fees. *The Board finds that the provisions of Section 411.22 are satisfied.*

**DRAFT MOTIONS
UNITARIAN UNIVERSALIST CHURCH
CASE NUMBER
12-015**

Motion 1: That the major development review application is deemed complete.

Motion 2: That the Board waives the following requirements:

1. Section 412.2.B.8 – Name, location and width of paving for proposed roads
2. Section 412.2.B.14 – Location of proposed cross section of sanitary sewers
3. Section 412.2.B.16 – Class A Soil Survey

Motion 3: That the Sketch and Final Plan is approved with the following conditions:

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. Provision of bicycle parking, to the satisfaction of the Director of Planning.
3. Label on the plan that the two on-street parking spaces are for vehicle loading and unloading only.
4. Prior to issuance of a Building Permit, provision of fully executed construction and sidewalk easements.
5. Prior to issuance of a Building Permit, provision of a Street Opening Permit from the Department of Public Works.

* Please note that site plan approvals by the Planning Board shall expire at the end of two years after the date of Final Plan approval unless all construction has been completed by that date (Section 407.4.B of the Brunswick Zoning Ordinance).

Jeremy,

I have reviewed the information provided in the application packet for the UUCB final plan application. I offer the following comments:

- a. The proposed plan is for two to three on-street parking stalls for public use near the relocated church main entrance on Middle Street. The church redesign has basically expanded the building footprint to eliminate any on-site parking that had been there and to put the building façade right at the edge of the sidewalk proposed recess parking area.
- b. The plan proposes an 8 new foot wide parking lane and relocated 5.0 foot wide sidewalk measured from face of the new asphalt curb to the property line/building edge (see rendering for a better idea of what this looks like). I also say face of curb as I had asked Sitelines that the sidewalk to be 5.0 feet wide from back of curb.
- c. The 8 foot takes 1 foot of the existing travel lane as the new curb has been pushed out from the existing curb line to narrow the roadway from 21 feet to 20.0 feet in this recessed area (measuring from the face of curb on the opposite side by the library). In measuring the plan the library only has a 6.0 foot recessed parking lane opposite the church (east) side so if we subtract 8 foot from the overall road width at the two parking lanes on both sides we are left with a 18 foot wide travel lane area or two 9.0 foot lanes for two-way traffic. I find that to be too narrow for two-way traffic and not acceptable. I would note when the library was approved back in 1998 and the recessed parking lane and curb was installed on the west side of Middle Street it was then a one-way street.
- d. The public sidewalk has to be shifted for the recessed lane and the relocated walk is only 5.0 feet wide from curb face to the building façade. We would request a wider sidewalk if this proposed relocation is required as we have an existing narrow road and this area will serve as the main access route to the building. It is going to be problematic for the town to maintain this area, especially in the winter.
- e. My recommendation is either to not have the recessed parking area and rebuild what we have or that the UUCB reduce the recessed lane set back on the church side to 6.0 feet, leave the property line/building face where it is shown now so we have a 7.0 foot wide sidewalk along the entrance area and the recessed lane will be signed for pick-up and drop-off only of passengers, no parking will be allowed. This would provide the UUCB with a needed area to drop off and pick up mobility challenged visitors while only temporarily impacting traffic flow on Middle Street since there would be no parking permitted in the recessed area.
- f. I spoke with Curt Neufeld, Sitelines this afternoon about the above and he was going to consult with his client about how they would like to proceed as regards having only a recessed drop off area and wider sidewalk but my impression was Curt felt it was a viable alternative for them to consider.
- g. On other issues I reviewed with Curt the need for the following:

1. A proposed new catch basin is shown in Middle Street and we require a standard construction detail of this structure to be provided for our review and approval.
2. If the recessed lane is to be provided then I believe it should provide ADA accessibility from the roadway to the sidewalk area. Curt said he had meant to provide that information and we discussed design parameters for the ramp and he said he would submit a plan showing a disabled access route to the new ramp in this area while still maintaining accessibility for the public walking along the sidewalk area. We will need to review and approve this revised curb/sidewalk plan.
3. All work to take place with the public street will require a Street Opening Permit application be filed with our department for our review and approval prior to the start of any such work.

Please consider the above in the final review findings and requirements. Thank you, John

John A. Foster, Town Engineer/Public Works Director
Brunswick Public Works
207.725.6654
jfoster@brunswickme.org

**BRUNSWICK PLANNING BOARD
FEBRUARY 5, 2013**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Dann Lewis, Jeff Peters, Dana Totman, Richard Visser and Steve Walker

STAFF PRESENT: Anna Breinich, Jeremy Doxsee and Town Attorney Pat Scully

A meeting of the Brunswick Planning Board was held on Tuesday, February 5, 2013 at the Municipal Meeting Facility at Brunswick Station, 16 Station Ave. Vice Chair Margaret Wilson called the meeting to order at 7:00 P.M.

WORKSHOP - Case Number: 12-031 Brunswick Landing Subdivision: Applicant has requested a workshop to receive further guidance from the Board so that they may adequately prepare their revised Final Plan submission (**Assessor's Map 40, Lot 2** in the **BNAS Reuse Zoning District**).

Steve Levesque, Executive Director for Maine Regional Redevelopment Authority (MRRA) introduced the project and the history by reviewing his letter to Charles Frizzle, Chair of the Brunswick Planning Board dated February 5, 2013. Steve Levesque stated that since the last Planning Board meeting they have scaled down the number of lots to lots that have or had buildings on them. Margaret Wilson asked if what was in red on the Comparative Plan (Plan B) would still become lots; Pat Scully replied that "to the extent that you approve a plan that recognizes or creates the lots" in blue, you are dividing out the other tracks; by approving the plan it recognizes the lots in orange. Margaret Wilson noted that public roads define lots and Pat Scully reiterated that by approving those in blue, you have separated out the red/orange lots but noted that it does not prevent the red/orange lots from coming back to the Planning Board for subsequent review of development or further subdivision of the red/orange areas. Margaret asked if there was any difference between the original plan and Plan B; Pat replied that the only difference is that the original plan subdivides the orange lots.

Steve Walker, in reference to the letter submitted by Steven Levesque, dated 2/5/13, stated that he is fully behind the comprehensiveness of the EIS, the work that has gone into the Brunswick Master Plan, all the public meetings and other voluntary meetings that they have conducted to do the design the of the project but it is still an EIS and not intended as data for a development review project at this level of detail. Steve Walker apologized if the items he brought forth at the last meeting were surprising and stated that during sketch plan review he did raise issues about the need to field identify streams, the need to identify significant wildlife habitats and address wetland issues. Steve Walker stated that there are still issues which need to be addressed and noted that they are basic requirements per the Brunswick Zoning Ordinance. Steve Walker said that he prefers Plan B as it reflects what was discussed at the last meeting and focuses on the parcels that already have development on them and have limited or no natural resources; the plan allows MRRA the opportunity to move ahead with development. Steve Walker stated that wetlands, streams and basic natural resources still need to be addressed and believes that MRRA could accomplish meeting the requirements of the zoning ordinance by requesting waivers, lot-by-lot development as suggested by the letter by Wright Pierce dated 1/30/13, or adding a

conditioning that when MRRA submits Plan B MRRA address the building envelope concern in those developed lots by showing the front and side setbacks. Steve Walker stated that on lots 2, 7, 10 & 31 there are existing wetlands and NRPZ issues but that MRRA can move forward with Plan B via the following condition

“Prior to submitting final application for development of any of the lots 2, 7, 10, 11, or 31, the applicant shall submit to the planning board a report from a qualified wetland scientist and botanist that includes 1) results of on-site wetland delineation per USACE approved delineation methodology; 2) field determined extent of the Natural Resources Protection Zone where applicable; 3) location of any Significant Wildlife Habitat; and 4) results of an on-site rare plant and rare natural community survey.

The applicant shall submit evidence that findings from on-site investigations on Lots 2, 7, 10, 11, and 31 have been used to determine final locations for future development on the parcels in a manner that most effectively avoids impacts to significant wildlife habitats or rare or irreplaceable natural areas in accordance with 411.2 and 411.10 of the Brunswick Land Use Ordinance .”

Steve stated that if MRRA is confident that the delineations have been completed, per response from Wright Pierce, and acceding to the Town’s requirements, then a letter be submitted with the proposed subdivision plan that states that wetland delineations have been completed on these lots per USACE; if they can’t do that then MRRA will need to come back at time of development and show how the development is going to avoid or minimize such that the Board can rule on 411.2 and 411.10. Steve Walker said that Mike Mullen’s email dated 1/28/13, states that DEP is comfortable with the Town having the capacity to take this on through their ordinance, but in other correspondence it stated that DEP will address these concerns of not having this information at front. Steve Walker stated that when the second phase is presented to the Board, the work should be done up front. Charlie Frizzle replied that he does not believe that anything that has been discussed in any of the meetings indicates that anyone is talking about waiving or neglecting what the Town and State require in terms of environmental reviews and that what the Board is talking about is “when” they will be done; the Town loses nothing if they do what is suggested by the State and reaffirmed in Mike Mullen’s letter. Charlie stated that this is not unlike how they handle other individual lot applications and handled the Moore Development in similar fashion. Steve replied that in the Moore subdivision the Board required each resource investigation up front and the building envelopes were drawn to avoid wetlands and proper setbacks from streams based on the investigations; he disagrees with Charlie and the subdivision process that is being presented. Charlie responded that Steve Walker is correct when it comes to environmental concerns on the Moore property but noted that the Board allowed other concerns to be addressed at a later time.

Margaret Wilson asked MRRA to present the FOST overlay map on the proposed subdivision at the next meeting.

Steve Walker asked if MRRA could address the concerns presented in the Brunswick Area Citizens for a Safe Environment dated 2/1/13; Steve Levesque replied that he did address these concerns in his presentation, ie. land use controls, environmental concern location documentation, property management transfer, and stormwater management plan. Steve Levesque and Steve Walker discussed the stormwater management plan and DEP handling and groundwater plumes in the groundwater and the monitoring wells. Anna Breinich replied that

the draft Findings of Fact provided to the Board in January, 411.6, staff did note that the land use control imposed restricting any groundwater extraction across Brunswick Landing without any approval.

Anna Breinich, stated that, in response to Charlie Frizzles earlier comment, the Board did wait to address the 50 foot buffer along the Route 1 Corridor and the Planning Board made a further restriction that the Planning Board not only address such concern at the site development phase but that every lot being developed along Route 1, regardless of size, must come back to Planning Board for review and approval. Anna agreed with Pat Scully that the red/orange spaces on Plan B are lots whether they are developed now or later and that they will need to meet the same requirements.

Dana Totman stated that he struggles finding the value debating what a lot is and what is not a lot and is focused on what is in blue (Plan B). Dana asked Steve Walker to explain his lot-by-lot suggestion. Steve Walker replied that if you take what is in blue as Phase I and add a subset of 4-6 blue lots that prior to building permit or codes, come back to the Board with the information showing how they designated the potential building envelope to satisfy the standards and for the remaining set building lots when conditions allow for on site visits. Dana replied that he is unsure of how developers will feel with the uncertainty of what they may or may not be allowed to do and is taking what is being proposed in blue, with the exception of lot 9, makes sense and what is in red/orange come back to the Board when it can be divided. Margaret Wilson replied that she believes that the applicant is proposing that the Board consider anything striped, what is in blue is considered Phase I and orange/red as Phase II and if it becomes Alternative A or B, provide guidance on what they will need to bring to the Board, Phase II back.

Jeremy Doxsee asked if the 399 acres in the subdivision was part of the 389 acres of wetlands referred to in Jan Weigmans letter; Jan replied that the cumulative 389 acres being referred to is actual wetlands and not the acreage of what was actually covered. Margaret Wilson asked Jan if the standards met USACE standards for delineations; Jan replied by reviewing the methodology and stated that they went back to areas that were previously identified as wetlands. Steve Walker referred to page 136 of the EIS and pointed out that 20% of the 389 acres have been field delineated and of those most are over the 5 year threshold, and noted that the EIS states that they did not do any more delineations. Steve Walker suggests that MRRA obtain from Ecology and Environment a letter stating that they did conduct all the delineations in the proposed subdivision or, once weather allows, will conduct the delineations on the six lots in Phase I and conduct them ahead of time in Phase II. Anna Breinich referred Appendix A of the original application, methodology.

Charlie Frizzle stated that the applicant needs to leave with some guidance on how to proceed; he still sees no substantive difference between the plans since all lots need to come back to the Board.

Vice Chair Margate Wilson opened the meeting to public comment, hearing none the public comment was closed.

Jeff Peters stated that they should view MRRA as a developer and look at what MRRA has presented to the Board and apply the standards that they would to anyone else and move forward easily. Margaret Wilson asked Steve Levesque if MRRA would prefer that the Board look at the original plan from January of the phased approach; Steve Levesque replied the original plan was based on 41 lots and based on the discussions they have removed some of the more sensitive lots and only focusing on the lots that were already encumbered or had history. Steve Levesque reviewed the plans and gave a history of some of the more sensitive lots.

Richard Visser asked if they could do advantages and disadvantages of each plan. Jeff Peters replied that he wanted to keep things simple and believes that Plan B is the best choice.

Margaret Wilson replied that she believed that they have 3 plans in front of them:

- A. Original Subdivision Plan
- B. Phased plan where the blue would be Phase I and the red/orange would come back to the Board in Phase II
- C. Plan B with further conditions

Pat Scully replied that the difference between the two plans is that one approach is subject to whatever conditions the Board attaches to a certain number of lots and the other approach approve a different number of lots; if the Board approves the phased approach then then the lots in blue can be marketed immediately and those in red/orange could not be marketed until Phase II is approved.

Margaret Wilson asked if members felt that the application for Proposed Plan A was complete; Charlie Frizzle, Dann Lewis, Dana Totman believed it is complete. Margaret Wilson and Steve Walker lean towards Plan B. Charlie stated that the big advantage of Plan A is that it relieves any legal restriction from MRRA from marketing any lot and they would still have to come back to the Board with any environmental detail as required. Richard Visser replied that he leans towards Plan A. Steve Walker reviewed Section 412.2, Final Submission Plans and Requirements and stated that many have not been done or are complete; Charlie replied that they could be covered by a condition.

Other

- Anna Breinich stated that at this time there are three items on the 2/26/13 agenda and a workshop with the Village Review Board.

Minutes

**MOTION BY DANN LEWIS TO APPROVE THE MINUTES OF OCTOBER 23, 2012.
SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.**

Adjourned

This meeting was adjourned at 8:47 P.M.

Attest

Tonya D. Jenusaitis
Recording Secretary

**BRUNSWICK PLANNING BOARD
FEBRUARY 12, 2013**

MEMBERS PRESENT PLANNING BOARD: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Dann Lewis, Dana Totman, and Richard Visser

MEMBER PRESENT VILLAGE REVIEW BOARD: Chair Emily Swan, Jane Crichton, Betsy Marr, and Brooks Stoddard (arrived at 7:03)

STAFF PRESENT: Anna Breinich, Jeremy Doxsee and Town Attorney Pat Scully

A meeting of the Brunswick Planning Board was held on Tuesday, February 12, 2013 at the Municipal Meeting Facility at Brunswick Station, 16 Station Ave. Vice Chair Margaret Wilson called the meeting to order at 7:00 P.M.

WORKSHOP – The Planning Board and the Village Review Board will hold a joint workshop session to discuss potential amendments to the Town Zoning Ordinance, Chapter 2, Section 216, Village Overlay Zone. This workshop will focus on the issue of geographic and substantive jurisdiction of the Village Review Board.

Anna Breinich read her Memo to the Planning and Village Review Boards dated February 7, 2013 and stated that what they would like for an outcome tonight is direction on what option they prefer; staff has a placeholder at the next Town Council meeting to present the same options and get their feedback.

Option 1

Keep Village Review Board jurisdiction as is, both geographic and substantive, including jurisdiction of demolitions, with improved review criteria.

Anna clarified that wherever it states review criteria, it pertains to all review criteria not just demolitions. Margaret Wilson agreed and stated that whatever they decide in terms of jurisdiction, the standards are going to be written in a clearer way.

Option 2

Same as Option 1, but expand the Village Review Board jurisdiction geographically as suggested in the 2008 Comprehensive Plan (include the west side of Maine Street between Pleasant Street and Bath Road/Noble Street).

Anna Breinich stated that the area of Cedar Street will have to be revisited.

Option 3

Same as Option 1, but alter VRB jurisdiction to apply only to the portion of the existing or expanded VRZ that is designated as an historic sub-district.

Anna Breinich stated that there would still be the VRZ either expanded or as is and within that VRZ there are currently 2 Nationally Registered Historic Districts with the potential for

Brunswick Commercial Historic District; this would not include northwest Brunswick neighborhood or Pleasant Street area.

Option 4

Change the Village Review Board's jurisdiction to make it more of an Historic Preservation Review Board with jurisdiction over all MHPC designated contributing properties within the Town's three National Register listed Historic Districts, National Register listed properties, as well as professionally designated local historically significant structures outside the listed Historic Districts. Demolitions, modifications, alterations, additions and new construction involving non-contributing properties within the three Historic Districts would be subject to specific design standards administered by the Planning Department or the Planning Board (in the case of projects otherwise triggering Planning Board jurisdiction).

The focus would be the Historic Districts and historic landmarks. The three Historic Districts include Peneville and possibly 4 if the Commercial District is approved.

Option 5

Same as Option 4, but limited geographically to the existing or expanded Village Review Zone.

Anna Breinich stated that they would stay with the current VRZ and separate out contributing versus non-contributing, historic landmarks, and the most significant 100. Margaret Wilson asked if option 5 included contributing structures not in the VRZ; Pat Scully replied that it does not and option 4 is more town wide.

Margaret Wilson asked Dana Totman if he still had questions on what exactly the charge was or if he was comfortable; Dana replied that clarification would be helpful. Anna Breinich replied that the original charge had asked them to take a look at demolitions in the context of VRB and giving recommendations. Anna stated that in order to take a look at demolitions they also have to look at the type of demolitions which is why they have to also review the issue of jurisdiction. Anna stated that staff is advocating for a review of the overlay because it needs to be done. Anna stated that the direction she was given at the Council Agenda setting meeting, was that the Council Leadership is in support of redoing the entire overlay revision at this time. Anna read from the October 1, 2012 Town Council packet item 103.

This item seeks recommendations on how to improve the process for reviewing demolitions in the Village Review Zone. Chapter 2, Section 216 of the Town Zoning Ordinance designates the Village Review Zone, establishes the Village Review Board, and vests in the Village Review Board the power to grant Certificates of Appropriateness for new construction, additions, alterations, relocations or demolitions. The granting or denial of a Certificate of Appropriateness for demolition is currently based on the criteria in Section 216.9 as well as findings based on factors listed in Section 216.10.C. The Planning Board will be asked to review the Ordinance, taking into account the purposes of the Ordinance, the Comprehensive Plan update, and the history of implementing the Ordinance. The Board will be encouraged to receive comment from the public, the members of the Village Review Board, and Town Planning Department staff in developing recommendations to the Council. The Planning Board will be requested to make a recommendation to the

Town Council no later than November 14. Copies of relative sections of the Zoning Ordinance and Comprehensive Plan are included in your packet.

Suggested Motion:

Motion to request that the Planning Board review and make recommendations to the Council regarding the Town Zoning Ordinance, Chapter 2, Section 216, relating to the review of demolitions in the Village Review Overlay Zone.

Emily Swan stated that she feels the last 3 options do not address what the Comprehensive Plan or the Downtown Master Plan list. She stated that the Comprehensive Plan does mention expanding the geographic limits of the zone as a short term goal and key objective but the other, to explore expanding the authority of the Village Review Board to include the review of activities, involving identifying any structures or site anywhere within the community will be extremely time consuming and will require a lot of work. Emily stated that the focus should be the VRZ. Margaret Wilson, as Comprehensive Plan Chair, replied that the recommendation that Emily pointed out is a key action item recommended by the Village Review Board at the time the Comprehensive Plan was written. Charlie Frizzle pointed out that his suggestion at the last meeting was that however the VRZ is geographically would remain and the Design Guidelines as they currently exist would be enforced within the zone by the Planning Board; he is trying to give both Boards clear jurisdiction and consistency. Richard Visser asked who would be responsible for demolitions; Charlie replied that demolitions would be the responsibility of the Planning Board for non-contributing structures and Village Review Board would be responsible for contributing structures. Pat Scully replied that this is what they were trying to accomplish in Option 5. Margaret Wilson stated that she believes that the Village Review Board does a good job with their charge within the VRZ and would like to expand the area to include those recommended in the Comprehensive Plan but she does not see the need to split responsibility between the two Boards or contributing versus non-contributing; she likes Option 2. Emily Swan stated that at first she was leery of specific standards but she has realized that the problem is that people do not know what is expected of the Village Review Board; Emily likes the ordinance for Keen, New Hampshire. Dana Totman stated that he agrees with Margaret's comments and does not see any reason why they would not expand the zone per the Comprehensive Plan; he prefers Option 2 as it is clearer, cleaner and works well. Richard Visser stated that he prefers Option 2 as well but is worried about the demolition aspect; he suggests that for demolitions, the Village Review Board remain advisory to the Planning Board. Betsy Marr stated that she also agrees with Option 2 and hopes that the issues that have risen in the past in terms of demolitions will not occur. Charlie replied that he would support Option 2, but in terms of demolition, he did not want to make a recommendation on that until they can see what comes out of the standard writing process; members agreed. Anna Breinich and Emily discussed the voluntary landmarks program that has been pushed to the side due to manpower.

Vice chair Margaret Wilson opened the meeting to public comment.

District 4 Town Councilor, John Perrault, stated that both the Planning Board and the Village Review Board have always done a stellar job at doing what they are charged with and understands that they want to make things smoother, more comprehensive and easier to work with especially when it comes to the demolition aspect. John stated that he would like to see that the Village Review Board can report to Codes Enforcement to meet certain standards.

Bob Judd, resident of the Lincoln Street Historic District, stated that there is an importance in the role of education that the Village Review Board and the Planning Board can and should play; there needs to be a serious amount of education about the importance and the value of good communities where people and businesses work and live in harmony and also where a sense of history is maintained. Bob asked that the Boards keep this education in mind since there is so much that the public doesn't know.

Town Council Vice Chair, Margo Knight, and resident of Page Street, stated that at the Leadership Agenda Setting Meeting, that they were not trying to change what the Town Council had decided which was to address the demolition portion of the ordinance as well as meet the June 1st deadline, but she has heard and it is reasonable as they address these issues that maybe they also want to address other issues. She stated that if the Boards cannot address anything other than the demolitions by the due date then that is OK, but that Council did not want to micromanage in a way that would keep more from being done.

District 4 Town Councilor, John Perrault, stated that what he believed the charge was by Town Council was to address the demolition portion of the ordinance and not about expanding the zone.

Vice Chair Margaret Wilson closed the public comment period.

Jeremy Doxsee discussed the different in architecture in the town and Margaret Wilson replied that much of the development was pre-ordinance.

Minutes

MOTION BY DANN LEWIS APPROVED THE MINUTES OF NOVEMBER 6, 2012, SECONDED BY CHARLIE FRIZZLE, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

MOTION BY CHARLIE FRIZZLE TO APPROVE THE MINUTES OF NOVEMBER 27, 2012, SECONDED BY RICHARD VISSER, UNANIMOUSLY AMONG THOSE PRESENT.

Adjourned

This meeting was adjourned at 8:02 P.M.

Attest

Tonya D. Jenusaitis
Recording Secretary