



TOWN OF BRUNSWICK
PLANNING BOARD
BRUNSWICK STATION
16 STATION AVENUE, BRUNSWICK, ME
04011
ROOM 217

PLANNING BOARD
AGENDA

Tuesday, April 23, 2013
7:00 P.M.

- 1. Case #VRB 13-004 – 22 Cleaveland Street** – The Planning Board will review and take action on a Certificate of Appropriateness application submitted by Bowdoin College to demolish a combined structure at 22 Cleaveland Street/78 Federal Street (Map U8, Lot 095).
- 2. Other Business**
- 3. Minutes**

It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.

Bowdoin College

March 14, 2013
(Hand Delivered)

Anna Breinich, Director of Planning & Development
Town of Brunswick
28 Federal Street
Brunswick, ME 04011

**RE: 22 Cleaveland Street/78 Federal Street
Map #U8, Lot #95
Demolition & Landscaping Permit Application**

Dear Anna:

Please find enclosed our application for a Certificate of Appropriateness for the demolition and landscaping of the above referenced property. Also included is our Check #506047 in the amount of \$75.00. This check is for the \$25.00 Staff Review Fee and the \$50.00 Village Review Board Fee.

We anticipate this application will be reviewed in accordance with the current process for demolition within the Village Review Overlay Zone. In support of this application we have included:

- Completed application form and fee
- A project description
- A copy of the 1983 Pejepscot Historical Society building survey
- Becker Structural Engineers, Inc. Building Evaluation report dated April 2, 2010
- Site plans and development plans
- Interior and exterior photographs of the structure

The materials enclosed support our application to comply with the criteria stipulated in the Town of Brunswick Zoning Ordinance Section 216.10 C:

1. The structure was included in the Federal Street Historic District Inventory – Nomination Form submitted to the National Park Service for historic district consideration in 1975. The Federal Street Historic District was added to the National Register of Historic Places in 1976. Since that time, the significance of the structure has been compromised by the physical joining of the two buildings, poorly constructed additions and renovations, and an overall lack of maintenance and care.
2. The condition of the structure is poor. This was documented at the time Bowdoin College acquired the property in 2007. Since taking ownership, the College has taken steps to secure the building, including removal of the tops of two falling chimneys, removal of the chicken coop, and abatement of the hazardous

Office of Facilities Management

Bowdoin College

- materials. The structure is currently uninhabitable. Please see enclosed report by Becker Structural Engineers, Inc.
3. There is no permitted alternative use of the building that is economically viable due to its substantial deterioration. Instead, the College intends to landscape the premises and, as suggested by Maine Historic Preservation Commission staff, to preserve certain features of the original property as outlined in the attached project description.

We request your assistance in conducting a walk-through of the structure with the Planning Board and Village Review Board prior to the VRB and PB meetings. We hope to begin demolition activities no later than June 03, 2013. If this schedule is not practical or in accordance with the current ordinance timeframes, please let me know.

Please feel free to give me a call, if you have any questions. Thank you for your assistance.

Respectfully,

Don Borkowski
Director of Capital Projects
(207) 725-3947

cc: S.C. Longley (transmittal only)
Kirk Mohny
File

Received: _____
By: _____

VRB Case #: _____

**VILLAGE REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS
APPLICATION**

1. Project Applicant:

Name: DON BORKOWSKI, BOWDOIN COLLEGE
Address: 3800 COLLEGE STATION
BRUNSWICK, ME 04011
Phone Number: 207-725-3947

2. Project Property Owner:

Name: BOWDOIN COLLEGE
Address: 3800 COLLEGE STATION
BRUNSWICK, ME 04011
Phone Number: 207-725-3947

3. Authorized Representative: (If Different Than Applicant)

Name: STEPHEN STIMSON ASSOCIATES
Address: 288 NORFOLK STREET
CAMBRIDGE, MA 02139
Phone Number: 617-376-8960

4. Physical Location of Property Being Affected:

Address: 22 CLEVELAND / 78 FEDERAL ST.

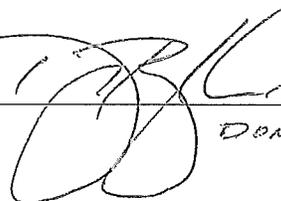
5. Tax Assessor's Map # 08 Lot # 95 of subject property.

6. Underlying Zoning District CU-6

7. Describe the Location and Nature of the Proposed Change, including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change. (use separate sheet if necessary): _____

SEE ATTACHED DESCRIPTION

Applicant's
Signature

 3/11/13
DON BORKOWSKI FOR BOWDOIN COLLEGE

March 14, 2013

Bowdoin College
22 Cleaveland Street/78 Federal Street
Map U8, Lot 95
Zoned CU-6
Purchased May 23, 2007 from Martin Thomas Atkins
Within the Village Review Zone

Project Description:

22 Cleaveland Street is a 1-1/2 story Cape style dwelling with a 2-story, wood frame Greek Revival style dwelling attached (78 Federal Street), containing approximately 3,060 square feet of living space. At an unknown time the buildings were joined. The resulting structure has lost much of the appeal of the original individual buildings. Re-establishment of the separate structures would be difficult at best. Both buildings are listed in the Federal Street Historic District Inventory-Nomination Form. No known architect is listed for either property.

There is an attached barn with full loft, attached porches and several outbuildings. The property is in poor condition, having had little or no maintenance since purchased by the previous owner in 1975. The interior has been modified over the years in no apparent logical pattern and without regard to structural integrity or appearance. This analysis is confirmed by the Becker Structural Engineers, Inc. Building Evaluation report dated April 2, 2010. The property is currently vacant.

Through removal of the existing structure, this project re-envision the 22 Cleaveland Street/78 Federal Street site - located at the corner of Cleaveland and Federal Streets on the Bowdoin College campus - as an extension of the neighboring property which houses the College's Investments Office at 80 Federal Street, a historic home on a single lot. The existing vehicular driveway between the two properties is removed from the Federal Street side, connecting the garden to the office building. Moving the access to Cleaveland Street creates visual integration between the two properties, and respects the contextual settlement patterns that currently exist within this historic neighborhood.

The existing structure in disrepair is to be transformed into a mosaic of gravel terraces, surrounding a restored lawn area. Reclaimed granite slabs will mark the footprint of the home's original foundation. This design reinforces the series of historic homes and side lawns along the Federal Street corridor, which together form a distinct architectural pattern and procession, south of Brunswick's town center.

22 Cleaveland Street - 78 Federal Street



22 Cleaveland Exterior



Corner 78 Federal and 22 Cleaveland



Exterior 78 Federal



Exterior 78 Federal South



78 Federal Shed



78 Federal and 22 Cleveland Rear Corner

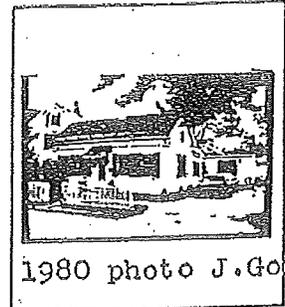
UG-95

HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 22 Cleaveland
County City/Town Street Address and Number

Name of Building/site: Bet. 1836-1838 res. of James Elliott
Common and/or Historic gentleman.

Approximate Date: Ca. 1836 Style: Greek Revival Cape Cod
see also notes #18 Cleaveland



1980 photo J. Goff

Type of Structure:
Residential Commercial Industrial Other

Condition: Good Fair Poor

Endangered: No Yes

Surveyor: J. Goff Organization: Pejepscot Regional Survey Date: 9/8/80; Aug. '83

Rating:

Historic Significance to the Community: Well-preserved early 19th c. Cape Cod house.

(For Additional Information - Use Reverse Side)

22 Cleaveland

- 69:171 Robert D. Dunning to Joseph McKeen \$192 court order includes 4r Cross x 5r Fed. 12/4/1813
155:414 JM to James Elliott \$350 corner prop. JE-x-Federal St. pump, but no bldgs mentioned. 10/5/1836
157:574 JE, gent. \$299 mortgage to JM corner prop. Rev. Mr. Stetson-x-Federal St. 1/2 acre w/ bldgs 6/28/1838
162:452 JE to James R. Barker \$300 corner prop. "house I occupy"-x-Federal St. pump, but no bldgs mentioned 1/19/1839
334:245 JRB to Francis C. Jordan \$1500 w/ bldgs east= occ. JE 6/7/1865
274:550 Robert Bowker \$550 1/2 lot w/ bldgs 7/27/1865 cites 334:245

("Robert Bowker Hrs."=1894 border reference 618:170 for #18 when George E. + Charles L. Bowker buy east part of #18 Cleaveland)

- 1846 map? = J.R. Barker
1871 = R(obert) B(owker)
1910 no #-part of 78 Federal? 78 Federal = G. Bowker

Directories: 1924-1938... Joseph P. Levesque
1940-1953... Mrs. Elise Levesque

HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 78 Federal
 County City/Town Street Address and Number

historic: (front): 1865 res. of Francis C. Jordan
 Name of Building/site: (rear): bet. 1836-1838 res. of James Elliot,
 Common and/or Historic gentleman.



(1980 photo J. Goff)
 front building

Approximate Date: 1865, Style: trans. Greek Revival/Italianate
 bet. 1836-1838 Greek Revival rear building

Type of Structure:
 Residential Commercial Industrial Other:

Condition: Good Fair Poor

Endangered: No Yes

Surveyor: J. Goff Organization: Pejscot Regional Survey Date:

Rating:

Historic Significance to the Community:

(For Additional Information - Use Reverse Side)

78 Federal

Maps: 1846 = J.R. Barker
 1871 = R.B. Robert Bowker
 1910 #78 = G. Bowker.

Deeds: 155:414 Joseph McKeen to James Elliot \$350 SW cor Cross + Federal so. = W.R. Field
 west = occ James Elliot. well rights. 10/5/1836
 157: 574 JE, gent. to JM \$299 1/2 acre w/ bldgs 6/28/1838
 171:193 JM to James R. Barker \$1 w/ bldgs 6/2/1841 cites 155:414 by name + date
 334:244-245 JRB to Francis C. Jordan \$1500 w/ bldgs 6/7/1865
 334:272 FCJ to Cyrus F. Brackett \$1500 6/12/1865. reserves yellow house, joiner's
 shop...
 334:450 CFB to FCJ \$1100 w/ bldgs 7/13/1865 cites 334:245
 334:550 FCJ to Robert Bowker \$550 1/2 lot 7/27/1865. cites 334:245

Newspaper: Brunswick Telegraph 6/16/1865 refers to replacement of main building:
 (original transcribed quote missing)

1917 Directory: #78 = Winfield W. Alexander

78 Federal and 22 Cleaveland Street Building Evaluation Brunswick, Maine

Prepared for:

Bowdoin College
Don Borkowski
3800 College Station
Brunswick, ME 04011

Prepared by:

B E C K E R
structural engineers, inc.

75 York Street
Portland, ME 04101
207-879-1838

April 2, 2010



BECKER

structural engineers, inc.

April 2, 2010

Mr. Don Borkowski
Director of Capital Projects
Bowdoin College
3800 College Station
Brunswick, ME 04011-8429

WO2251: 78 Federal Street/22 Cleaveland Street Building Evaluation,
Brunswick, ME 04011

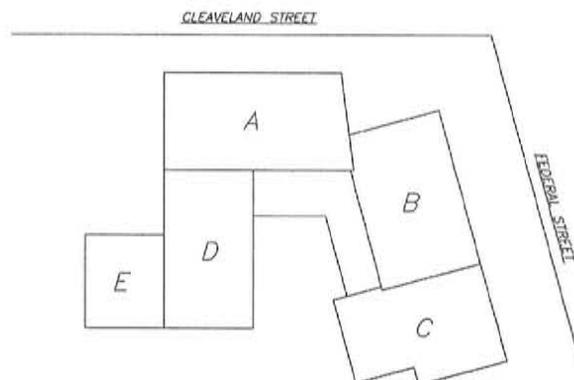
Dear Mr. Borkowski:

At your request, we visited the existing buildings located at 78 Federal Street and 22 Cleaveland Street in Brunswick, Maine on January 22, February 10 and March 2, 2010. The purpose of our visits was to review the existing buildings, and determine the condition and extent of possible remedial work necessary to rehabilitate the structures in order to return them to use as habitable buildings.

The extent of our observations was limited to those areas that were visible and readily accessible, with only minor intrusions to access portions of the building structure. No material tests were performed. At the time of our site visits, existing drawings were not available.

General History

The original buildings at the corner of Cleaveland and Federal Streets were probably built in the late 1830s or early 1840s. The cape style building facing Cleaveland Street (Area A) was likely the first to be built, followed by the Federal Street two-story colonial style (Area B). Both are constructed of timber main frames and 4x3 wood studs at approximately 24" to 32" on center. Both are founded on granite and stone rubble foundation walls topped with brick. Basements and crawlspaces had dirt floors except a small area of the Cleaveland Cape which contained a full basement with a concrete slab. The original building "footprint" of the cape was approximately 16' x 30' for about 480 SF on the first floor and 240 SF on the second floor. The colonial is approximately 18' x 27' for 486 SF on each of two levels, with a full attic. Since the initial construction, the buildings have been modified and renovated numerous times. A key plan is shown below.



Additions to the original structure include, but are not limited to the following:

1. Additions to the south and west side of the Cleveland Street Cape. This is an L-shaped one story addition with an attic space.



Original Cleveland Street Cape



Addition to the West and Southwest
(L-shaped)

2. Original building at upper right (Area B). Later addition to the south side (lower left) of the Federal Street colonial is Area C. This addition is a one and one half story with similar construction to the original. There is a small one story expansion with a shed roof at the back of this addition. The shed dormer is a later renovated feature. There is also a small recent one story shed addition to the rear of the original Federal Street colonial.



Original Federal Street building and addition
to the South



One story expansion to the rear

I appeared that the last use of the building was residential occupancy.

Cleveland Street Cape (Area A)

Foundations and First Floor Framing

The original building foundation consists of stone rubble walls below grade with granite face slabs and brick masonry interior back-up walls. The wall thickness could not be determined but it could be assumed to be approximately 24 inches in thickness. A portion of the original building contains a full basement with concrete slab on grade. Portions of the foundation wall are crumbling due to deterioration of the mortar. See Photo 1. The original exterior walls were punched through to accommodate new crawl spaces, leaving floor framing unsupported. The section adjacent to the driveway and approximately 10 feet in depth is a crawlspace over dirt floors with stone rubble walls and brick/granite (Areas D&E). These foundations are in poor condition.

First floor framing of the original building used hand hewn beams, and sawn lumber supported on wood sills bearing on the foundation walls. Interior shaped wood beams supported from the chimney base provided support for interior framing. In general this framing was in fair condition with some noted decay. See Photo 2. Framing connections used mortise and tenon joinery and were in fair condition. Exterior grade around the building is higher than the basement windows causing decay of window frames and moisture infiltration into the building.



Photo 1: Crumbling Foundation Wall.



Photo 2: Decay at support beam

The first floor framing of the additions was poorly supported on interior piers of loose stacked stones or wood posts which do not appear to have footings or project below frost depth. These areas are over dirt crawl spaces and could not be accessed but were observed through access openings in the main foundation wall. The exterior foundation walls are a combination of stone and brick with the southwest addition (Area E) supported on stone and concrete masonry units (CMU). Large gaps between stacked stones and block exist with large openings and obvious indications of animal habitat. Portions of the existing sill plate were unsupported and spanned over gaps in the foundation wall. The floors have been partially re-framed with dimensional lumbers but signs of decay and mold were noted on support beams. It was also noted that the base of the west addition chimney has collapsed.

Conclusion: The first floor framing and foundations of the original building (Area A) are in fair condition needing repair and replacement of deteriorated brick, wood sills, deteriorated wood framing and framing connections. Exterior grade needs to be changed to get windows out of the dirt.

The additions (Area D & E) appear to have been agricultural or utility use structures that were converted to living space. The foundation condition is poor and severely substandard for habitable space. They will need to be completely rebuilt.

Wall, Second Floor and Roof Framing

Limited openings were cut into finishes within the original building to observe framing. Walls appear to be 3X4 studs at 24" to 32" on center with board sheathing. Heavy timber beams frame the center chimney opening. Roof framing appears to be 3X4 rafters at 32" spacing with wide board sheathing.

The wall framing of addition D was 3x4 studs similar to Area A. Area E was framed with modern 2x4 studs at 24" centers. Roof framing of area D was full 3x5 ½" rafters at 32" centers and board sheathing and area E is newer dimensional 2x6 at 24" centers with plywood sheathing. A 5 ½" x 5 ½" timber beam supports roof framing between area D and E to create an open room. This beam is undersized to support the roof load over the span. Area D was built first and Area E added at a much later date. The existing chimney in Area D is in poor structural condition and can not be re-used.

Conclusion: The second floor and wall framing of Area A appear in fair condition. Roof framing and sheathing are in fair condition but severely undersized. Substantial re-framing of the roof will be required in order to carry code stipulated snow loads for a fully insulated structure.

Area D roof framing and sheathing are substandard. Area E roof framing is adequate for the span but wall construction is substandard for habitable space. In all conditions the connectivity between members to ensure load transfer through adequate nailing or timber connectors is in question.

Federal Street Colonial (Area B)

Foundations and First Floor Framing

Foundations consist of granite slabs and boulders. The exterior foundation walls are collapsing and appear to have been undermined by tree roots. A length of wall approximately 15 feet long parallel to Federal Street is without support and has settled significantly. This foundation collapse extends to Area C. A sag in the entire front wall framing is noted.

All of the interior basement posts vary in size and material. Many of the posts are supported on loose unexcavated soil and others are supported on stacked masonry blocks. Some of the posts have shifted and have been shimmed, most likely due to settlement in their unstable bases, see Photo 3. In a few locations beams and floor boards were found to be significantly rotted, and supplementary support has been added. Additionally, beams have been haphazardly cut and notched for plumbing. See Photo 4. Plumbing has been hung with various materials and propped up with 2x wood blocks.



Photo 3



Photo 4: Cut beam and collapsed wall

Conclusion: First floor framing is undersized and too compromised to salvage. The exterior foundation walls need to be replaced as do the interior foundations.

Wall Framing, Elevated Floors and Roof Framing

Second floor framing used timber beams to frame around the chimney and stair opening. Lighter floor members were used as in-fill framing. Wall framing used balloon framed 3x4 studs at 32" on center. There was no visible sign of rot in the floor framing, but floor framing is under capacity for current floor loads. Roof framing is supported on a timber plate. Two main timber frames (6 3/4 x 6 1/4) flanking the chimney support horizontal 4x3 purlins spaced at approximately 36 inches on center. Vertical plank sheathing spans the purlins. The roof framing is extremely undersized, with a very noticeable deflection of all components. The framing and sheathing surrounding the chimney is especially rotted. The attic floor is lightly framed and connections are all mortise and tenon joinery whose condition could not be verified. The chimney itself is in poor condition however, the construction is interesting in that two separate chimneys are connected via an arch arrangement into one chimney mass prior to exiting the roof. Roof shingles need replacement.



Photo 5

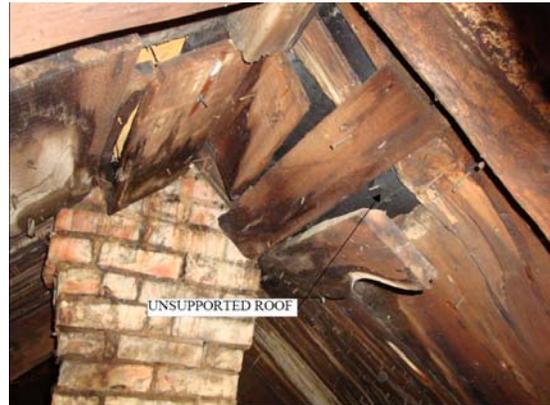


Photo 6

Conclusion: The floor, wall and entire roof structure would need to be heavily reinforced in order to meet current code requirements. Roof sheathing would be replaced around the chimney and elsewhere as needed.

South Addition (Area C)

Foundations and First Floor Framing

The Federal Street foundation is undermined as per Area B. The granite slabs are cracked and settled. The gaps are filled with expanded foam. Below the crack, a large area of soil is missing and a large tree root is protruding through the wall, which most likely is the cause of the undermining. See Photo 7. Large gaps exist between top of foundation and wall framing. The southern addition is founded on brick masonry and stone. It is unclear how deep this foundation extends as the dirt floor of the crawlspace is within 18 inches of the framing. I would assume it does not extend to frost. The top of the foundation wall has loose bricks. The small addition to the rear of Area C (with shed roof) is supported on CMU blocks at the exterior and CMU piers at the interior. These CMU blocks have noticeable settlement with daylight visible from inside. It is highly probable that the masonry walls do not extend below frost and are being moved each season with the freeze-thaw cycle of the winter/spring seasons. Wood shims have been placed at the top of the CMU blocks, to adjust for the settlement. See Photo 8. Additional CMU blocks have been placed beneath the framing to support and stiffen first floor framing.



Photo 7



Photo 8

Conclusion: Area C foundations need to be replaced. First floor framing is in poor condition and would need to be replaced, repaired, modified and leveled to be habitable.

Wall and Roof Framing

Exploratory opening in exterior wall showed wall framing to be 3x4 studs. Spacing is assumed to be 24" to 34" on center. Wall framing is severely displaced downward at location of foundation failure noted above. Wall studs are balloon framed and project above the second floor by approximately 30 inches. An opening was created at the wall-ceiling interface. Wall framing and top plate appeared to be in good condition at this location. Roof framing appears to be 3x5 rafters at 24" to 32" on center. Rafters appear to be in good condition and sheathing appears dry.

Conclusion: The wall and roof structure would need to be reinforced in order to meet current code requirements. Additional connectors will need to be added between components to ensure proper connectivity.

Exterior

The roof shingles at all areas show signs of significant deterioration as does the roof sheathing. See Photo 5. The Federal Street wall of Area C has dropped due to the foundation failure, causing distress in the door and window. See Photo 6.



Photo 5



Photo 6

The shed roof expansions to Area A have rotted siding, framing and sills as well as missing/rotted fascia boards. These additions are of poor quality and have not been maintained. There is significant deterioration of all exterior elements. See Photo 7. The roof of Area D is sagging due to undersized framing and failures around the chimney. See Photo 8.



Photo 7



Photo 8

In general, the exterior of the building is in poor condition. The additions were constructed of low grade material, using substandard construction practices and the materials have not been maintained. The original structures (Area A&B) were constructed of good quality material at the time of their construction which is now 170 years past. The buildings have not been maintained and elements are now deteriorating and in need of significant repairs.

Rehabilitation Cost of Buildings

These buildings can not be occupied without a comprehensive gut rehabilitation which would address and bring to code all building systems and require replacement and reinforcement of a significant portion of the components. Additions and “bump outs” should be demolished and work focused on the remaining Area A and B buildings. Work would include:

1. Abate all hazardous materials within the buildings
2. Demolish existing additions of Area C, D & E as well as foundations.
3. Demolish all interior partition walls, ceilings, finished floors & surfaces.
4. Lift building of Area A and B to demo existing foundations and cast new footings and foundations.
5. Re-set and Plumb (straighten) building.
6. Remove/replace 30% of existing clap board siding with new clapboards.
7. Remove/Replace 25% of existing primary structural members; joists, beams, posts. Reinforce remaining structural members with new (in-kind.) members as required.
8. Replace roof framing of Area B, Reinforce roof framing of Area A.
9. Remove & replace 30% existing roof sheathing, Areas A & B.
10. Install new ½” plywood sheathing over existing roof sheathing. Install new roofing.
11. Replace sub-floor sheathing. Install new floor finishes, all floors.
12. Build new interior partition walls.
13. Install new closed cell spray foam insulation all exterior walls and roofs.
14. Install new gypsum wall board and ceiling, all areas.
15. Install new doors, windows and associated trim.
16. Install new paint; interior & exterior.
17. Install new mechanical systems; plumbing, electric, etc.
18. Install new exterior fire escape (depending on future use).

It is our opinion that the cost to renovate the building would be approximately \$500.00 per square foot or approximately \$863,000.00. In comparison, a new wood framed hi performance building of similar size may cost \$250.00 to \$300.00 per square foot depending on the proposed layout, use and level of finish. This is approximately \$517,000.00. Please note that the opinion of probable cost has been assembled without the benefit of contractor input or a detailed design. The costs presented are based on historic data and information from other projects of a similar nature.

Conclusions and Recommendations

The existing structures located at 22 Cleaveland Street and 78 Federal Street in Brunswick, Maine were originally constructed in approximately 1840. As such, we are sensitive to their historic nature and long standing presence on Federal Street. The buildings are in very poor condition. Numerous shoddy renovations over the years combined with a complete lack of care or maintenance have compromised the overall structural integrity of the buildings.

The cost to remediate these building and bring them into compliance with current Building Codes appears excessive when analyzed from a cost to benefit perspective. As

such we question the economic viability of renovating this structure. After observing the present state of the building and analyzing specific portions of the structural system, and considering the level of renovations necessary, we believe strong consideration should be given to demolishing these buildings.

We trust this report addresses your needs at this time. This letter report is based on our limited site observations and review of existing conditions. It has been prepared to provide an overview of the buildings overall condition and an assessment of its structural system. If the decision is made to renovate the building, a comprehensive design should be provided. This would best be accomplished with a general contractor as part of the team to provide "real time" input on costs and methodology. We would be pleased to provide more specific information regarding renovation of the structure, including construction drawings and specifications.

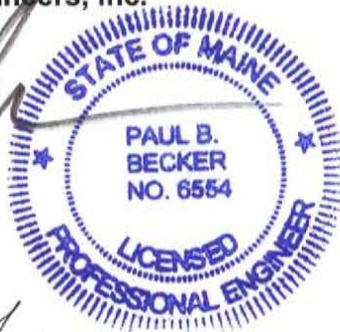
If you have any questions, or require additional information regarding our observations, our conclusions or our recommendations, please do not hesitate to contact us.

Sincerely,

Becker Structural Engineers, Inc.



Paul B. Becker, P.E.
President



Amanda M. Fitzpatrick, E.I.T.
Structural Engineer



Area E



Area D looking north



Area D looking south



Area D chimney top repair/rotted sheathing



Area D foundation
Note animal burrow and loose stones/cm



Area A arched chimney base



Area D beam rot & mold from water leaks



Area D failed chimney base



Area D framing and pipe crawlspace



Area A loose foundation bricks at driveway



Area A Foundation-framing gaps @ Driveway



Area A to D foundation transition
Note loose spalled bricks



Area A rafters @ 32" o.c.
horizontal strapping, lath and plaster



Area B first floor post and brick piers



Area B- abandoned electrical box and
void below foundation



Area B- damaged pier



Area B- Brick Pier, supplemental jack
on blocks, water damaged sheathing



Area B rotted beam



Area C shoring at rotted beam



Area C brick pier on soil mound, unstable



Area C stacked granite pier, unstable



Area C undermined and cracked granite foundation



Area C wood posts without footings



Area C brick and stone foundation salvage beam with notched at floor



Area C CMU blocks as piers



Area C wall shims due to settlement



Area C tree root at undermined area



Area C wall/ roof framing intersection



Area C wall stud notched in top plate



Area B chimney flues joining at top



Area B chimney top and roof framing



Area B purlin connection to frame



Area B roof frame mortise and tenon connection to beam



Area B 29" wide roof sheathing board



Area B purlin & sheathing, note deflection



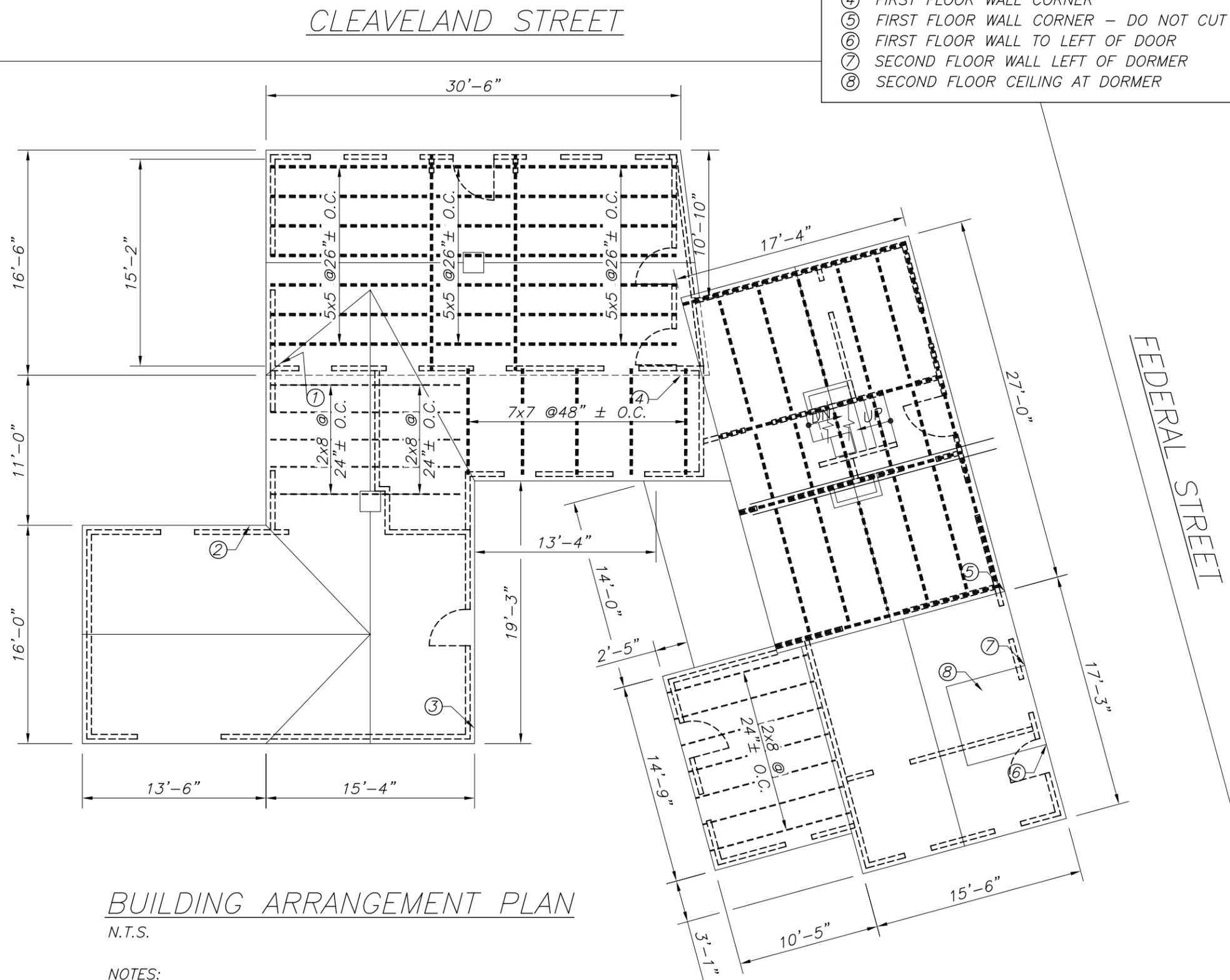
Area B roof frame peg



Area B damage at chimney roof sheathing

LEGEND OF PROPOSED DEMO

- ① FIRST FLOOR WALL CORNER
- ② FIRST FLOOR WALL
- ③ FIRST FLOOR WALL
- ④ FIRST FLOOR WALL CORNER
- ⑤ FIRST FLOOR WALL CORNER – DO NOT CUT WOOD CORNER POST
- ⑥ FIRST FLOOR WALL TO LEFT OF DOOR
- ⑦ SECOND FLOOR WALL LEFT OF DORMER
- ⑧ SECOND FLOOR CEILING AT DORMER



BUILDING ARRANGEMENT PLAN

N.T.S.

NOTES:

- 1. ALL DIMENSIONS ARE APPROXIMATE.
- 2. FIRST FLOOR WALLS ARE SHOWN WITH APPROX FIRST FLOOR FRAMING.

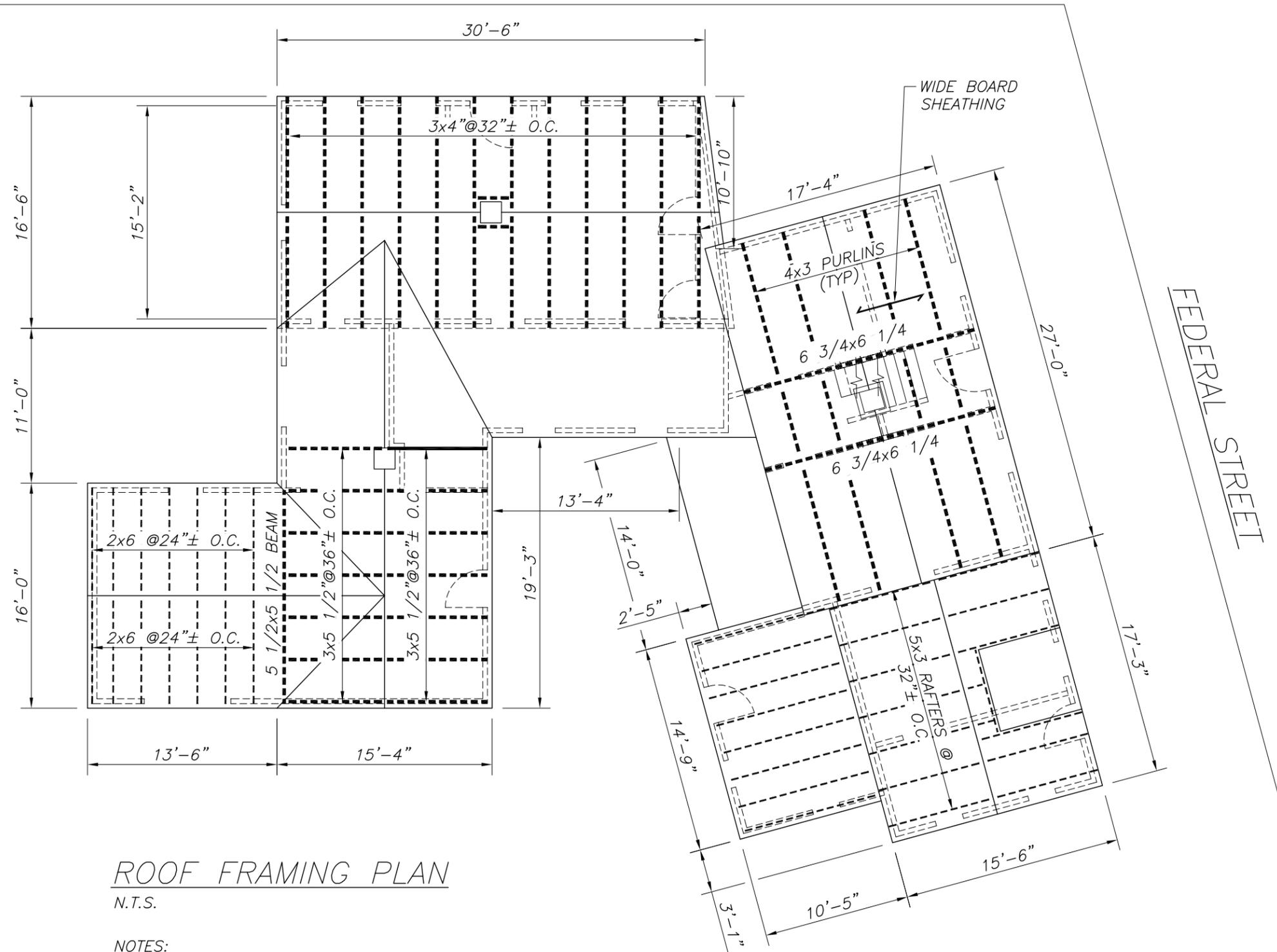
Apprd	
Issued For	
Date	
Rev No	

78 FEDERAL STREET
22 CLEVELAND STREET
BRUNSWICK, MAINE

Designed PBB	Scale N.T.S.
Drawn DSF	Date 4/2/10
Checked PBB	Becker Job Number 2251

S1

CLEVELAND STREET



ROOF FRAMING PLAN

N.T.S.

NOTES:

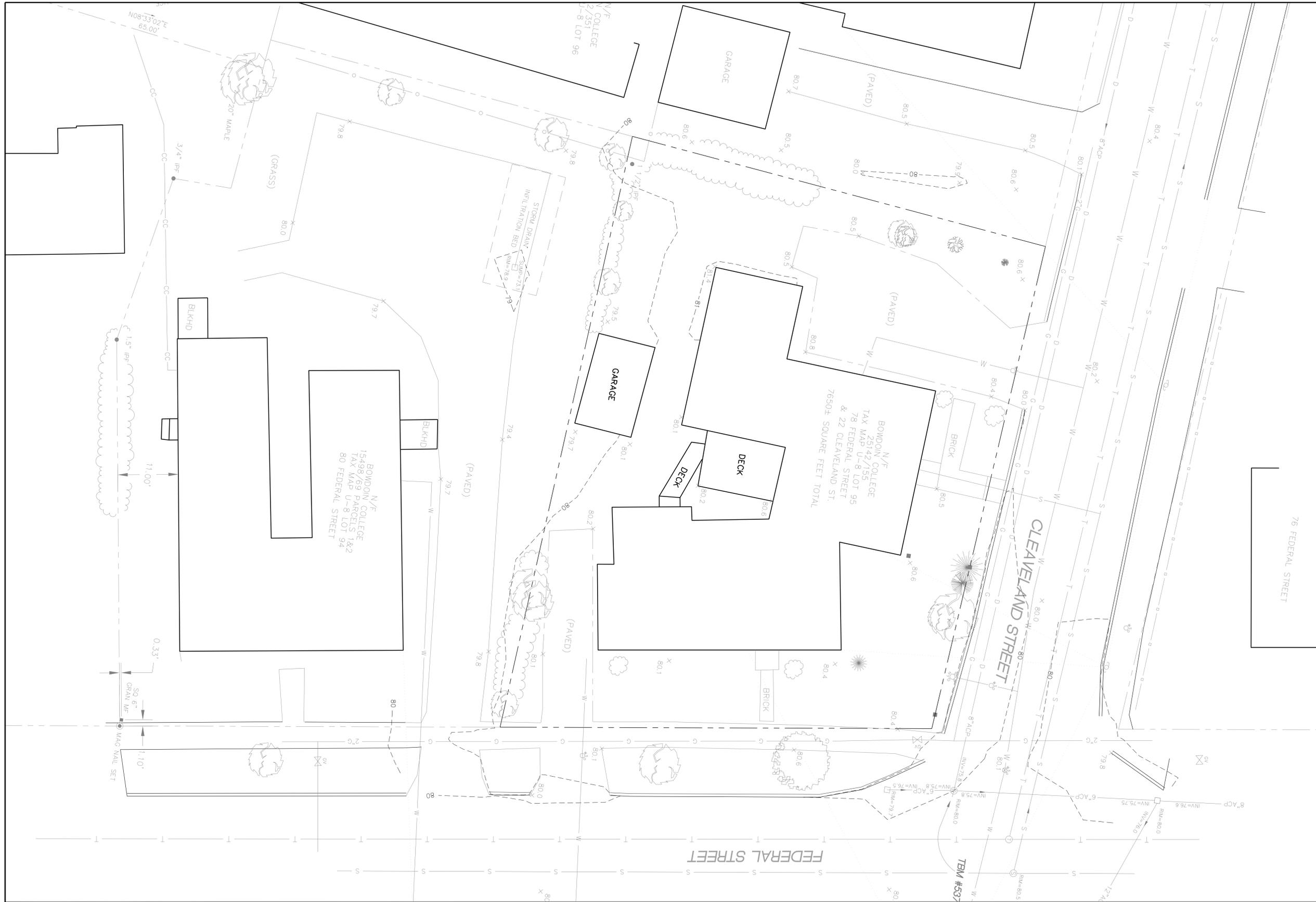
1. ALL DIMENSIONS ARE APPROXIMATE.
2. FIRST FLOOR WALLS ARE SHOWN BELOW.

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Rev No	Date	Issued For	App'd

78 FEDERAL STREET
22 CLEVELAND STREET
BRUNSWICK, MAINE

Designed PBB	Scale N.T.S.
Drawn DSF	Date 4/2/10
Checked PBB	Becker Job Number 2251



DEMOLITION NOTES

1. Call DIGSAFE (1-888-344-7233) to locate existing utilities prior to any excavation. Protect existing utilities to remain throughout the construction process, and repair any damage done to these at no cost to the Owner.
2. The limit of work line will be established with silt and tree protection fencing. This material shall be used to protect trees, shrubs and other plantings as indicated on plan. Fencing is to be kept in good repair throughout the construction process.
3. Utilities noted on drawing are illustrative and represent approximate locations of trenching. As built drawings will be required, supplied by General Contractor upon completion of each phase of project as it occurs.
4. Strip topsoil from construction access areas. Stockpile offsite for reuse. Add 6" of gravel to stabilize parking and drive surfaces.
5. All granite slabs and pavers from house foundation and building site to be carefully excavated and stockpiled for re-use on-site.
6. All brick from building site to be carefully excavated and stockpiled for re-use on the walkways.

STEPHEN STIMSON ASSOCIATES LANDSCAPE ARCHITECTS

189 MAIN ST 28 FALMOUTH MA 02540 T 508 548 8119 F 508 548 7718
 288 NORFOLK STREET CAMBRIDGE MA 02139 T 617 876 8960 F 617 876 8906
 WWW.STEPHENSTIMSON.COM

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1	12.10.12	FOR PRICING	9		

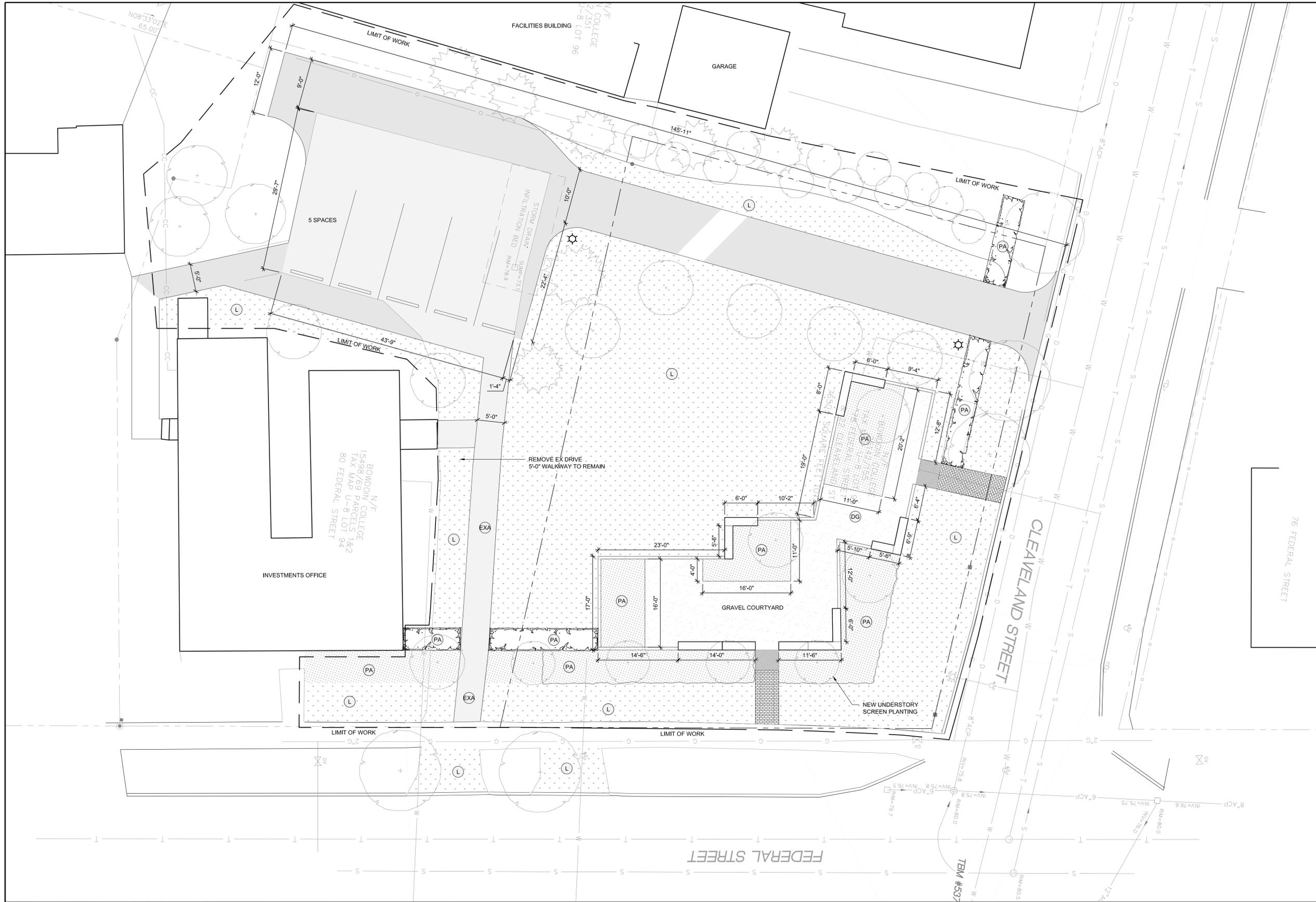
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 REVIEWED BY
 SS

78 FEDERAL ST
 BOWDOIN COLLEGE
 BRUNSWICK, ME

CONSTRUCTION DOCUMENTS

EXISTING CONDITIONS PLAN

L1.0



LAYOUT NOTES

1. Locate, protect, and maintain bench marks, monuments, control points, and project engineering reference points. Re-establish disturbed or destroyed items at Contractor's expense.
2. Examine the areas and conditions under which site work is performed. Report any discrepancies with the plan to the Landscape Architect. Do not proceed with the work until unsatisfactory conditions are corrected.
3. Report discrepancies in drawings or specifications to the Landscape Architect for clarifications and adjustments before commencing work. Any deviations or changes from these drawings without written acceptance of the Landscape Architect shall obsolesce the Landscape Architect of any and all responsibility of said deviation and change.
4. Written dimensions take precedence over scaled dimensions.
5. Dimensions indicated on plans are for horizontal control and are accurate if measured on a level line. Measure horizontal control dimensions on a level line, not parallel with ground slope.
6. All dimensions taken from vertical surfaces, i.e. curbs & walls, are understood to be measured from the face of the vertical element unless otherwise specified.
7. All angles assumed to be 90° unless otherwise specified.

LAYOUT LEGEND

SYM	DESCRIPTION	DTL
	PLANTING AREA, SEE PLANTING PLAN	
	LAWN, SEE PLANTING PLAN	
	LIMIT OF WORK	

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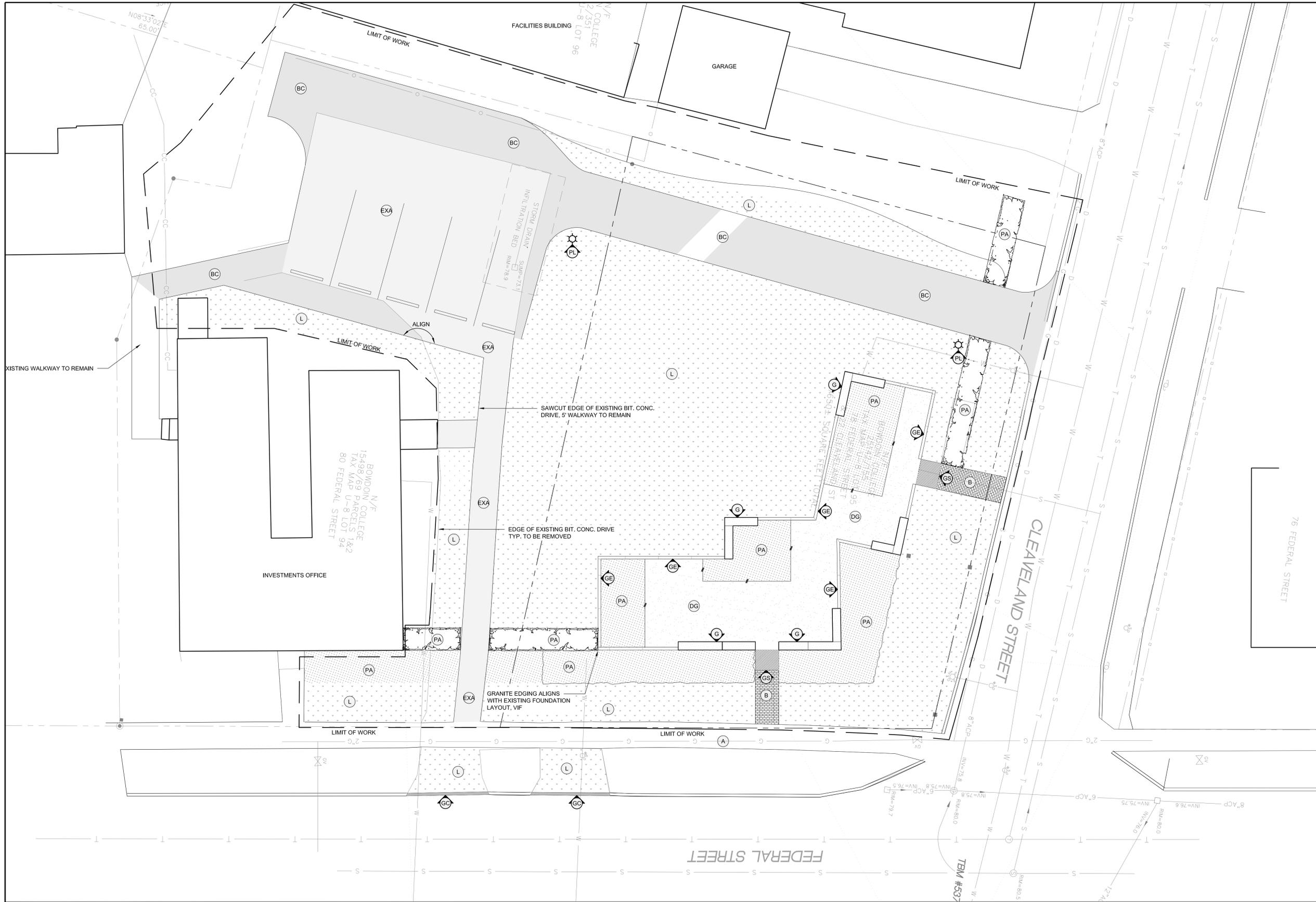
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CONSTRUCTION DOCUMENTS

LAYOUT PLAN

L2.0



MATERIALS LEGEND

SYM	DESCRIPTION	DTL
BC	BITUMINOUS CONCRETE	X L6.0
EXA	EXISTING ASPHALT PAVEMENT TO MAINTAIN	X L6.0
DG	GRANULAR PAVEMENT - PEDESTRIAN	X L6.0
B	RELAID BRICK, DRY LAID	X L6.0
G	18" x 12" x 4', 5', 6'L SALVAGED GRANITE BLOCK RE-USE EX FOUNDATION STONE WHEREVER POSSIBLE	X L6.0
GE	6" W x 6'D SALVAGED GRANITE EDGING, FLUSH, RE-USE EX FOUNDATION WHEREVER POSSIBLE	X L6.0
GC	6" W x 18"D GRANITE CURBING	X L6.0
GS	EXISTING GRANITE STOOP RESET	
WS	PRECAST CONC. WHEELSTOP	X L6.0
PA	PLANTING AREA, SEE PLANTING PLAN	
L	LAWN, SEE PLANTING PLAN	X L6.0
	STEEL EDGING	X L6.0
PL	POLE LIGHT CAMPUS STANDARD	

MATERIALS NOTES

1. Make transitions between changes in paving smooth and gradual with no sharp or abrupt changes unless otherwise shown.
2. Refer to landscape specifications for additional requirements.
3. Contractor to stockpile foundation stone during demolition, LA and client to preview and approve use and location of stone

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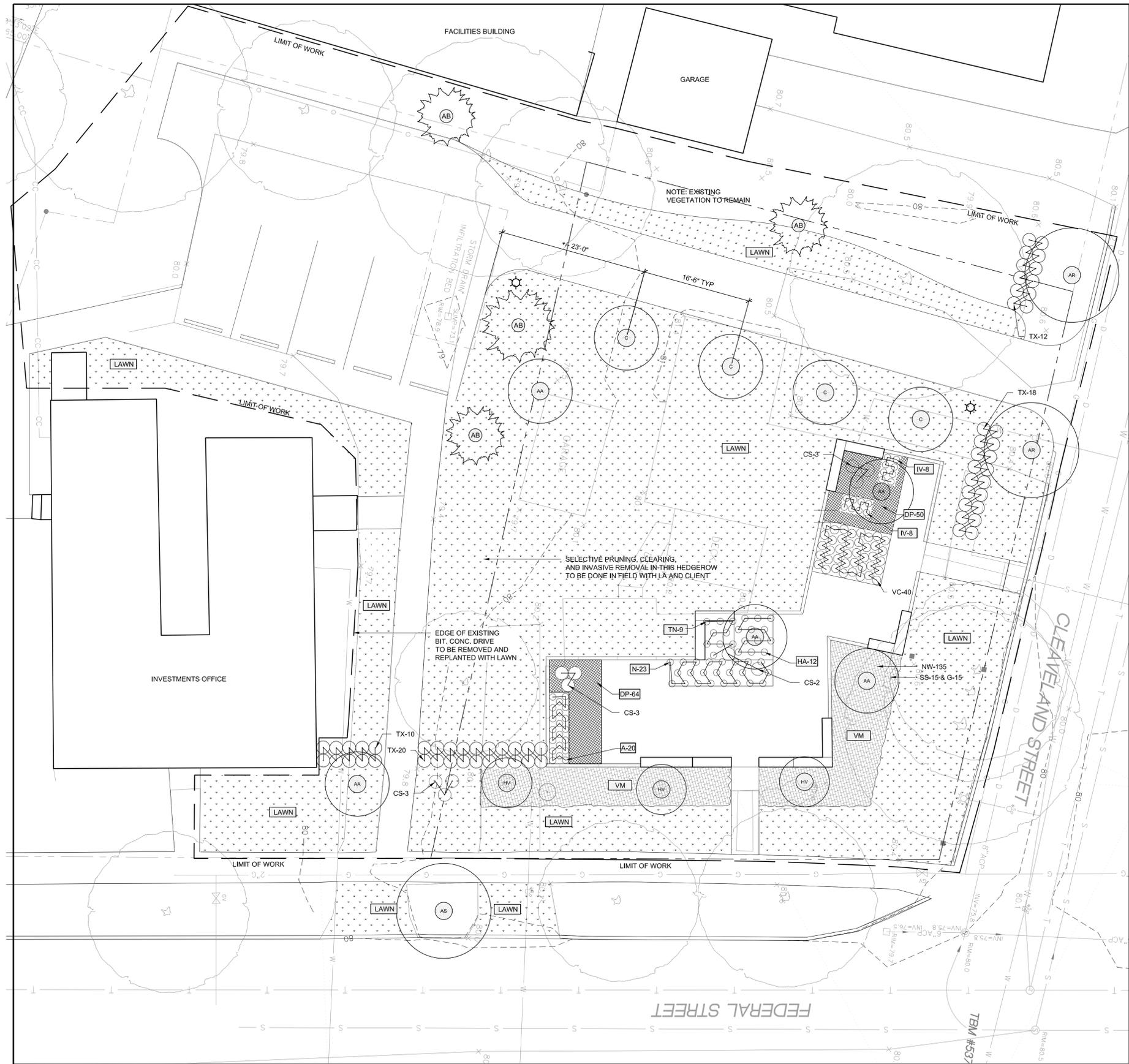
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BOWDOIN COLLEGE
BRUNSWICK, ME

CONSTRUCTION DOCUMENTS

MATERIALS PLAN

L3.0



PLANTING PREPARATION NOTES

TYPE A: TREE PLANTING AREA
 EXCAVATE TO AREA AT 3 TIMES ROOT BALL DIAMETER TO 24" MINUS FG. IMMEDIATELY PRIOR TO PLACING PLANTING SOILS THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM OF 6" UTILIZING THE TEETH OF A BACKHOE OR OTHER SUITABLE EQUIPMENT. COMPACT THE SCARIFIED SUBBASE TO 86-88% COMPACTION. SPREAD ENRICHED SUBSOIL (AS SPECIFIED BELOW) IN NO GREATER THAN 8" LIFT AND COMPACT TO 82-85% MAX DRY DENSITY. THE SURFACE AREA OF EACH LIFT SHALL BE SCARIFIED BY RAKING PRIOR TO NEXT LIFT.
 SPREAD PLANTING MEDIUM (AS SPECIFIED BELOW) WITH A BUCKET OF A BACKHOE OR EQUIVALENT. THE CENTRAL PORTION OF THE PIT SHALL BE COMPRESSED ADEQUATELY TO SUPPORT THE ROOTBALL AND PREVENT SETTLING.

AMENDED SOIL: 12" DEEP PLANTING MEDIUM 12" DEEP HORTICULTURAL SUBSOIL

TYPE B: SHRUB PLANTING AREA
 EXCAVATE TO AREA AT 3 TIMES ROOT BALL TO 18" MINUS FG. IMMEDIATELY PRIOR TO PLACING PLANTING SOILS THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM OF 6" UTILIZING THE TEETH OF A BACKHOE OR OTHER SUITABLE EQUIPMENT. COMPACT THE SCARIFIED SUBBASE TO 86-88% COMPACTION. SPREAD ENRICHED SUBSOIL (AS SPECIFIED BELOW) IN NO GREATER THAN 8" LIFT AND COMPACT TO 82-85% MAX DRY DENSITY. THE SURFACE AREA OF EACH LIFT SHALL BE SCARIFIED BY RAKING PRIOR TO NEXT LIFT.
 SPREAD PLANTING MEDIUM (AS SPECIFIED BELOW) WITH A BUCKET OF A BACKHOE OR EQUIVALENT. THE CENTRAL PORTION OF THE PIT SHALL BE COMPRESSED ADEQUATELY TO SUPPORT THE ROOTBALL AND PREVENT SETTLING.

AMENDED SOIL: 12" DEEP PLANTING MEDIUM 6" DEEP HORTICULTURAL SUBSOIL SPECIFICATIONS FOR SOIL BY LA. FOR PRICING, ASSUME 1.5 PARTS LOAM, 2 PARTS SAND, 1 PART WELL-AGED COMPOST (NON-MANURE BASE)

TYPE C: GROUNDCOVER
 EXCAVATE TO ENTIRE AREA TO 18" MINUS FG. IMMEDIATELY PRIOR TO PLACING PLANTING SOILS THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM OF 6" UTILIZING THE TEETH OF A BACKHOE OR OTHER SUITABLE EQUIPMENT. COMPACT THE SCARIFIED SUBBASE TO 86-88% COMPACTION. SPREAD ENRICHED SUBSOIL (AS SPECIFIED BELOW) IN NO GREATER THAN 8" LIFT AND COMPACT TO 82-85% MAX DRY DENSITY. THE SURFACE AREA OF EACH LIFT SHALL BE SCARIFIED BY RAKING PRIOR TO NEXT LIFT.
 SPREAD PLANTING MEDIUM (AS SPECIFIED BELOW) WITH A BUCKET OF A BACKHOE OR EQUIVALENT. THE CENTRAL PORTION OF THE PIT SHALL BE COMPRESSED ADEQUATELY TO SUPPORT THE ROOTBALL AND PREVENT SETTLING.

AMENDED SOIL: 10" DEEP PLANTING MEDIUM SPECIFICATIONS FOR SOIL BY LA. FOR PRICING, ASSUME 1.5 PARTS LOAM, 2 PARTS SAND, 1 PART WELL-AGED COMPOST (NON-MANURE BASE)

PLANTING PREPARATION NOTES CONT'D

TYPE D: LAWN AREA
 EXCAVATE TO ENTIRE AREA TO 6" MINUS FG. IMMEDIATELY PRIOR TO PLACING PLANTING SOILS THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM OF 12" UTILIZING THE TEETH OF A BACKHOE OR OTHER SUITABLE EQUIPMENT. COMPACT THE SCARIFIED SUBBASE TO 86-88% COMPACTION. SPREAD ENRICHED SUBSOIL (AS SPECIFIED BELOW) WITH WIDE TRACK BULLDOZER SIZE D-5 OR SMALLER. COMPRESS WITH A MINIMUM OF TWO PASSES TO A DENSITY OF 86-88% MAX DRY DENSITY. NO VIBRATORY COMPACTION OF SUBGRADE OR PLANTING MEDIUM SHALL TAKE PLACE. NO RUBBER TIRE EQUIPMENT OR HEAVY EQUIPMENT EXCEPT SMALL BULLDOZER SHALL PASS OVER SOILS AFTER THEY HAVE BEEN LOOSENEED OR PLANTING MEDIUM IS SPREAD.

AMENDED SOIL: 8" DEEP PLANTING MEDIUM

NOTE: PLACE AND SPREAD PLANTING MIXTURE TO A DEPTH GREATER THAN REQUIRED TO ACCOUNT FOR SETTLING. REMOVE STIFF CLODS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL AND STONES GREATER THAN 1" DIAMETER

SPECIFICATIONS FOR SOIL BY LA. FOR PRICING, ASSUME 1 PART LOAM, 1 PART SAND, 1 PART WELL-AGED COMPOST (NON-MANURE BASE)

NOTE: CONTRACTOR TO UTILIZE EXISTING ON SITE STOCKPILED SOIL TO THE FULLEST EXTENT. SUBMIT SAMPLES FOR STANDARD SOIL TEST WITH ORGANIC CONTENT TO UMAINE OR EQUIV. TESTING AGENCY FOR EACH TYPE OF PLANTING. AMEND WITH WELL-AGED LEAF COMPOST AS REQUIRED TO BALANCE ORGANIC CONTENT.

APPROVED COMPOST AND SOIL SUPPLIER:
 REED CUSTOM SOILS
 888.475.5526

ADDITIONAL PLANTING NOTES:

1. Planting contractor shall visit site prior to submitting bid to become completely familiar with site conditions.
2. No planting will be installed until all grading and construction has been completed in immediate area.
3. Contractor to verify all utilities on property and to protect all utilities during excavation for plants.
4. If there is a discrepancy between the number of plants shown on the plan and the number of plants shown in plant list, the number of plants shown on plan will take precedence.
5. All container material to be grown in container a minimum of 6 months.
6. All material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurseryman.
7. Contractor shall repair all damage to property from planting operations at no cost to the owner.
8. Contractor shall guarantee new plant material through one calendar year from time of provisional acceptance.
9. The Landscape Architect will tag all plants at the nursery and inspect them after delivery to the site. All plant materials shall be inspected by the Landscape Architect on site prior to installation.
10. All proposed plants shall be located carefully as shown on the plans and the placements shall be approved by Landscape Architect before the plants are installed.
11. Spacing of plants is to be based on measurements taken parallel to the ground plane.
12. All disturbed areas not to be paved or planted shall be loamed and seeded as shown. See specifications for seed mix.
13. Staking and guying shall be determined by the Landscape Architect on a tree by tree basis. For pricing purposes, provide a per tree unit cost for staking and guying. If staking and guying is required, remove tree wrap, stakes, and guy wires at end of first growing season.
14. For tree planting in lawn areas, any disturbed lawn shall be loamed and seeded as necessary.
15. Landscape Architect to flag trees to be protected on site.

PLANTS LIST

SYMB	LATIN NAME	COMMON NAME	SIZE	QUANTITY	NOTES
TREES + UNDERSTORY					
AB	Abies balsamea	Balsam Fir	8-10'	4	B+B
C	Crataegus 'Winter King'	Hawthorn	2-2.5" cal.	4	B+B
AR	Acer rubrum 'Red Sunset'	Red Maple	2.5-3" cal.	2	B+B
AS	Acer saccharum 'Green Mnt.'	Sugar Maple	3-3.5" cal.	1	B+B
AA	Amelanchier arborea 'Laevis'	Serviceberry	7'-8'H	5	B+B
CS	Cornus sericea 'Arctic Fire'	Redosier Dogwood	2-3'	11	Container grown
HV	Hamamelis virginiana	Witchhazel	6'-7'H	3	B+B
SHRUBS					
TX	Taxus x media 'Everlow'	Everlow Yew	18-24"H	60	24" O.C. double row
VC	Vaccinium angustifolium	Low Bush Blueberry	1 gal	40	18" O.C.
GROUNDCOVERS					
VM	Vinca minor	Myrtle	flats	2,290	6" O.C.
FERNS					
DP	Dennstedtia punctilubula	Hay-scented Fern	1 gal	114	18" O.C.
TN	Thelypteris noveboracensis	New York Fern	1 gal	9	24" O.C.
PERENNIALS					
AH	Anemone x hyb. 'Hon. Jobert'	Hon. Jobert Anemone	gal	10	24" O.C.
A	Astilbe	Astilbe	1 gal	20	24" O.C.
IV	Iris versicolor	Blue Flag Iris	1 gal	16	18" O.C.
HA	Heuchera americana 'Pistache'	Cora bells	1 gal	12	24" O.C.
N	Nepeta 'Six Hills Giant'	Nepeta	1 gal	23	24" O.C.
LAWN					
	No-mow fescue seed	No-mow fescue seed	seed		Full coverage

- NOTE:**
1. ALL PLANTING AREAS TO BE IRRIGATED FOR ESTABLISHMENT. NEW IRRIGATION SYSTEM TO TIE INTO BOWDOIN EXISTING SYSTEM + CLOCK. IF POSSIBLE, VER. WITH FACILITIES MGMT.
 2. ALL IRRIGATION SHALL BE SPRAY HEADS OR POP-UPS, VER. WITH FACILITIES MGMT.
 3. MOISTURE SENSORS SHALL BE INSTALLED IN ROOT BALLS OF 30% OF SPECIMEN TREES, VER. WITH FACILITIES MGMT.

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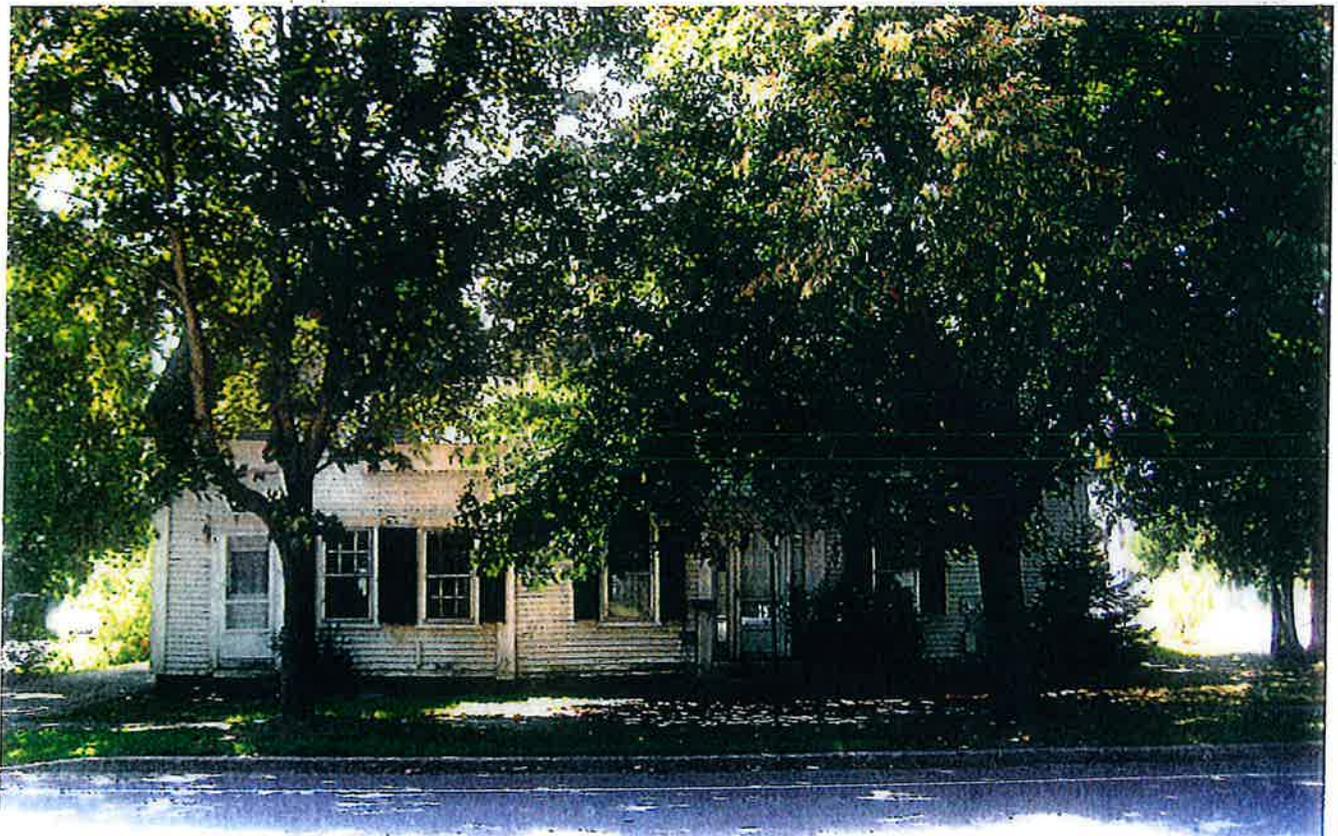
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PLANTING PLAN L5.0



NORTHEAST ELEVATION



EAST ELEVATION



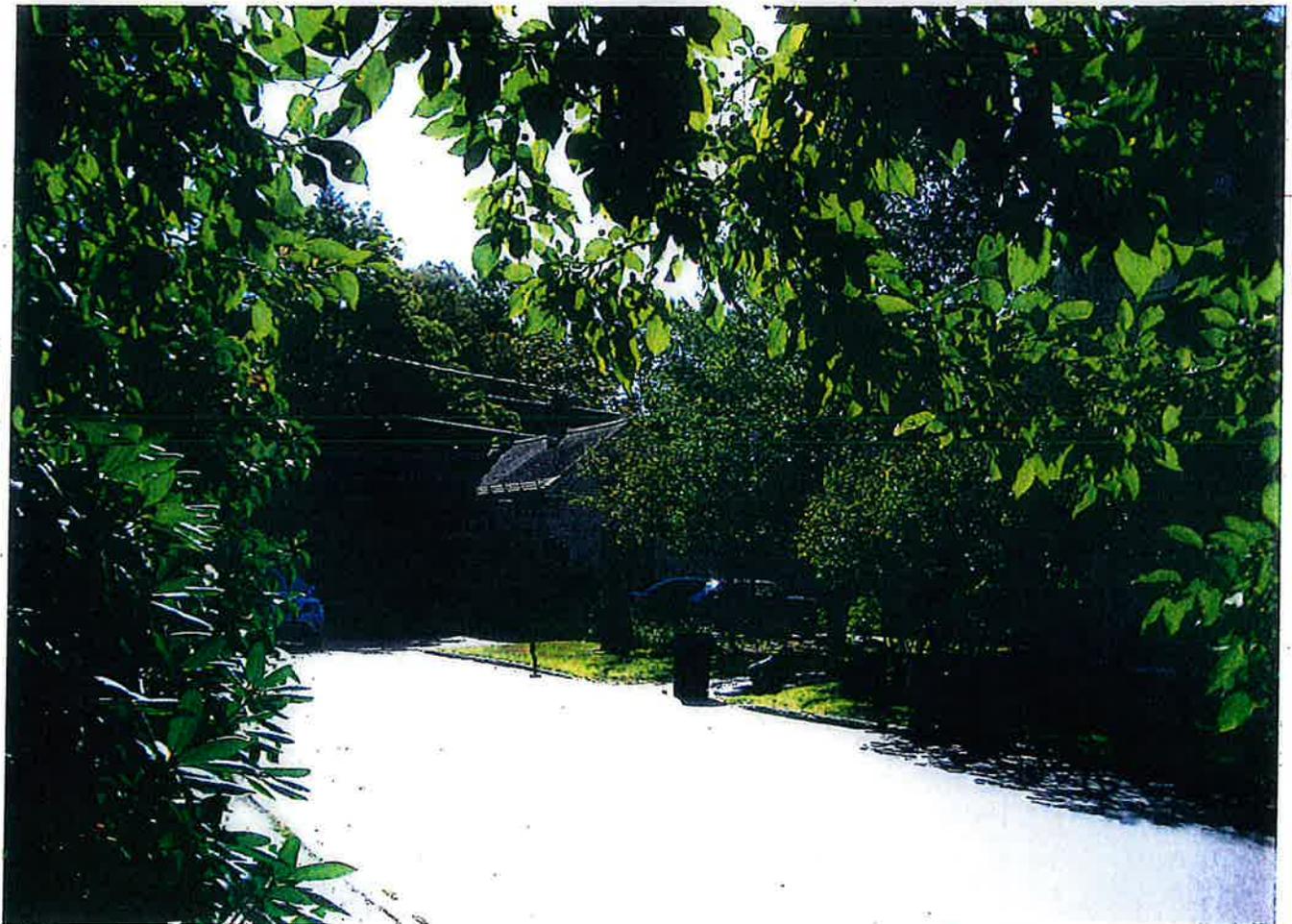
NORTH ELEVATION



NORTH ELEVATION



80 FEDERAL ST. - ADJACENT BUILDING





INTERIOR SAMPLES





INTERIOR SAMPLES



MAINE HISTORIC PRESERVATION COMMISSION
55 CAPITOL STREET
65 STATE HOUSE STATION
AUGUSTA, MAINE
04333

PAUL R. LEPAGE
GOVERNOR

EARLE G. SHETTLEWORTH, JR.
DIRECTOR

April 2, 2013

Anna Breinich, AICP
Director of Planning and Development
Town of Brunswick
28 Federal Street
Brunswick, ME 04011

RE: Demolition of 22 Cleaveland Street/78 Federal Street
Map #U8, Lot #95

Dear Ms. Breinich:

Pursuant to your e-mail of March 27, 2013 to Kirk Mohney of my staff, I am writing to provide you with the Commission's opinion about the impact of the proposed demolition of 22 Cleaveland Street/78 Federal Street on the Federal Street Historic District.

As you know, the Federal Street Historic District is listed in the National Register of Historic Places. The subject property, which is referred to in the nomination form as the J. R. Barker House, is considered to be a contributing resource in the district; that is it contributes to the district's architectural character and historic significance. According to research on file at the Pejepscot Historical Society, the house was built in two phases: the first between 1836-38 resulting in the one-story cape that fronts on Cleaveland Street, and the second in 1865 resulting in the two-story section that faces Federal Street. It appears that an addition was subsequently made to the southerly end of the second story block.

From the exterior, the Barker House appears to retain its historic integrity of design, materials and location. Although somewhat smaller than its neighbors, the scale, massing and siting of the section facing Federal Street maintains the architectural and visual character of the street (the one-story section fronting Cleaveland Street is one of three capes on the street). In contrast to the exterior, and based on an inspection made by Mr. Mohney at the invitation of Don Borkowski of Bowdoin College, the interior of the house has been substantially altered. Furthermore, our inspection confirmed what appears to be the poor structural condition of the building. Ideally, the house would be preserved and given a new

use. However, given its present condition and the estimated cost of rehabilitation, we have no reason to question the College's conclusion that there is no economically viable use for the building.

The demolition of the Barker House will have an impact on the Federal Street Historic District. However, it will not jeopardize the district's National Register status.

If you have any further questions regarding this matter, please do not hesitate to contact Mr. Mohney.

Sincerely,



Earle G. Shettleworth, Jr.
Director

VILLAGE REVIEW BOARD
APRIL 8, 2013

MEMBERS PRESENT: Chair Emily Swan, Vice Chair Brooks Stoddard, Jane Crichton, and Betsy Marr

STAFF PRESENT: Anna Breinich

A meeting of the Village Review Board was held on Monday April 8, 2013 at the Municipal Meeting Facility at Brunswick Station, 16 Station Ave. Chair Emily Swan called the meeting to order at 7:15 P.M.

Case #VRB 13-004 – 22 Cleaveland Street – The Board will review and make a recommendation to the Planning Board regarding a Certificate of Appropriateness for Demolition application submitted by Bowdoin College to demolish a combined structure at 2 Cleaveland Street/78 Federal Street (Map U8, Lot 095). A Site Walk was previously held by the Board on March 22, 2013.

Anna Breinich introduced the application which Bowdoin College submitted for a Certification of Appropriateness for the demolition of 22 Cleaveland Street/78 Federal Street in the Village Review Overlay Zone and the National Register Federal Street Historic District. Anna stated that the buildings are a 1-1/2 story Cape that fronts on Cleveland Street and a Greek Revival style dwelling that fronts on Federal Street. Anna reminded that Board that their role at this meeting is to provide a recommendation based on the demolition criteria of the zoning ordinance that will be forwarded to the Planning Board for demolition approval.

Don Berkowski, Director of Capital Projects for Bowdoin College, reiterated that the property consisted of two separate structures originally and at some time after the acceptance of the Federal Historic Preservation Designation, the structures were joined with the addition of some outbuildings. Don stated that Bowdoin College took ownership of the building in 2007 and noted that it was in disrepair; Bowdoin tried to stabilize the building and prevent further damage. Don stated that at this time they conducted hazardous materials abatement and removed a few of the collapsing chimneys. Don stated that the current plan is to remove the structures and stated that roughly a year ago the College met with Kurt Mooney of the Historic Preservation Society and conducted a walkthrough of the buildings. Kurt agreed with the level of disrepair and asked Bowdoin to pay homage to the buildings in their future plans; Bowdoin believes that their current plan reflects this request. Don stated that once the buildings are removed, they plan to retain the granite perimeter foundation wall around the two structures and possibly etch in stone the address and dates. Bowdoin plans to landscape the area with a gravel courtyard, some low level native plantings and several trees to create a buffer to Rhodes Hall. Don stated that the plan is to keep the area a lawn area that looks as though it belongs with 80 Federal Street; they would replace the existing driveway with a 5 foot path and reorient the parking lot so that vehicles park in the easterly direction with the entrance to the driveway off of Cleveland Street. Don stated that the area will be similarly landscaped as the area of 75 Federal Street.

Emily Swan, referring to the engineering study that was conducted when Bowdoin purchased the house, asked Don Berkowski what Bowdoin's original intention was. Don Berkowski replied that in the beginning they were unsure of exactly what they were going to do with the structure but noted that it was a strategic location. However, once they saw the level of disrepair it was clear that the structure was not viable. Emily noted that in reviewing the engineers report, it appears that buildings C, D & E are in the worst condition with the original structure in fair condition; Emily asked if there was any possibility of saving the oldest building. Don replied that the primary problem with the buildings is the way they were framed and undersized, he noted that the foundation wall has caved in on the Federal Street side and there was no regard to structure when electrical additions or plumbing additions were made. Jane Crichton noted that she was unable to attend the site visit but noticed that there were no pictures of what the structure looked like on the first or second floor included in the application; Don replied that he believed that there were photos in the original application. Jane asked if there were any important pieces such as mantels; Don replied that interior photos were included in the original application and stated that there were not significant fabrics of the original structure. Emily replied that she did not remember any significant pieces. Betsy Marr replied that the house was divided up and there was no semblance of the original structure. Emily asked if the park would be open to the public; Don replied that it will be.

Chair Emily Swan opened the meeting to public hearing.

Claudia Knox stated that what she had to say does not directly apply to this project but rather to the process and referred to her statement as attached.

Andrew Rudalevige, resident of 76 Federal Street, stated the he does not vehemently oppose the demolition request but does not fully support demolition either. Andrew stated that his concern is in regards to future oversight of maintenance and hopes that it will be maintained as nice as the College Presidents house at 75 Federal Street.

Tricia Welsh, resident of 15 Cleveland Street, stated that she does not vehemently oppose the demolition but that she is not excited about it either. Tricia stated that she would really like Bowdoin College to not acquire any more buildings then it plans to use as it dramatically changes the character of the neighborhood. Tricia stated that they lost a house at one end of Cleveland Street to a parking lot and now they will be losing these two houses to a park. Tricia stated that there are only a few houses left where neighbors live as many of the remaining houses are student housing.

Chair Emily Swan closed the public hearing.

Betsy Marr stated that she hopes that Bowdoin intends to landscape per the illustrations provided and noted that other approvals have resulted in less landscaping than originally planned. Don Berkowski replied that they plan to landscape as designed as it is already funded for this project and they have already put out bids.

Emily Swan asked what the outcome was with the neighborhood meetings that Bowdoin had. Katie Longley replied that the meeting was sparsely attended and the main concern was that the

park not have a place for kids to skateboard or that it be a place to just hang out; Katie stated that she has spoken to some of the neighbors about the number of benches and they plan to move slowly and phase them in.

Emily Swan referred to Anna Breinich's letter to the Board dated April 4, 2013 and noted the Basis for demolition criteria to be considered in the Demolition Standards:

1. The significance of the structure proposed for demolition as evidenced by the status as listed or eligible for listing on the National Register of Historic Places.

Board members agreed that these two buildings were contributing structures. This recommendation carried unanimously 4-0

2. The condition of the structure provided that the applicant has not contributed significantly to the deterioration of the structure.

Board members agreed that the buildings are in poor condition. Emily Swan pointed out that in the application it noted that there was no real maintenance by the previous owner. Emily noted that Bowdoin attempted to revitalize the building by doing hazmat abatement, removing the collapsing chimneys and etc. Betsy Marr replied that in reviewing the engineers report she was surprised they are still standing. This recommendation carried unanimously 4-0

3. The availability of permitted alternative uses of the structure that would maintain its economic viability

Emily Swan noted that the engineers recommendation is demolition and to renovate it would cost would be too excessive. Anna Breinich noted that MHPC also concluded that the cost to renovate would be excessive. This recommendation carried unanimously that the Board concurs with the finding of MHPC 4-0

MOTION BY BETSY MARR TO RECOMMEND TO THE PLANNING BOARD THAT THEY APPROVE THE DEMOLITION OF 22 CLEVELAND STREET. SECONDED BY BROOKS STODDARD, APPROVE UNANIMOUSLY.

Jane Crichton stated that demolition comes with extreme regret and she feels that they need to be proactive in preventing deterioration of contributing structures. Brooks Stoddard replied that it is going to create a big hole to the area and feels that changes could have been made earlier to prevent the deterioration; Brooks asked that Bowdoin do a good photographic record the structure.

Historic Preservation Month Event Planning

Emily Swan stated that they are set for the May 18th tour; Emily will get publication materials to Jennifer Blanchard of the Pejepscot Historical Society. Emily stated that the photo contest will be at the Visitors Center and stated that she has been working with Jennifer about pulling together before and after photographs of Maine Street businesses. Discussion on businesses

placing photographs of original storefronts in their buildings; Brooks Stoddard to research location of old photographs.

Staff Approvals Update

- 8 Gilman Avenue: Removal of outer staircase and incorporating staircase inside the building; no exterior work other than to replace doors with windows.
- 80 Maine Street: Anna Breinich noted that the windows on the top floor will look the same across; two double hung and one solid.

Minutes

No minutes were reviewed at this meeting.

Other Business

No other business.

Adjourned

This meeting was adjourned at 7:44 P.M.

Attest

Tonya D. Jenusaitis
Recording Secretary

Village Review Board and Planning Board meetings April 2013

You are working on a new ordinance an important part of which will clarify the standards for ruling on demolition applications. That will be better for applicants. And better for the Village Review Board and the Planning Board. But will it be better for the community?

We can often see these things coming a mile away. The building is empty. It's being neglected. The owner - perchance the college or the church or the Town - wants the land and not the building. But by the time the owner comes forward with a demolition request, it's too late to find an alternative solution. The owner by then is in a hurry.

The owner may offer to salvage, post a 'take it away for free' sign on the building and a notice in the paper. There will be a park, or parking, and maybe we'll like it if we're lucky. All of that is too late and many thousands of dollars too short. And the public interest, the public's irrevocable loss, is not addressed. This problem is NOT going away. The college has 4-5 other buildings it considers a burden - excess inventory that don't earn their keep. The historic fire station at Town Hall Place is at risk from the Town and the Fire Department.

Some of these buildings, those that are still sound, could have a fighting chance if we built in time to put together alternative solutions, a package that might draw a new owner into a transaction that makes financial sense. **How might we use our ordinance to marry the interests of demolition-minded owners with the interests of the preservation-minded public??**

1. We can require owners to file a non-binding notice of intent to apply for demolition a minimum of 18 months prior to the actual application. That would get the public conversation going so that serious people could test real options.
2. We can require owners to escrow the cost of demolition and removal as part of a relocation package to help with moving, or, if all else fails to act as surety for the completion of promised landscaping, parking, or other site improvements.
3. We can offer a two-year tax holiday on the structure in its new location if it is moved to allow time for renovation. We could offer a tax holiday to offset added costs for reusing the building in its original place as part of a renovation and repurposing project. This incentive would defray costs while the building is out of service and make it easier for an owner to acquire funding.

None of this would apply, of course, when fire or calamity motivates the demo application – but those aren't the ones we agonize over anyway. Saving unwanted, neglected, but historically contributing buildings will always be a long shot, and we will fail more often than succeed. But we must build into our ordinance a better chance for success.

Let me be very clear: owners have the right, the obligation for that matter, to pursue their interests. The public has interests too. And they are different. The loss of such buildings is rarely, perhaps never, in the public interest. **The challenge is to marry the interests of owners that want to rid themselves of buildings they don't want, with the public's interest in preserving those buildings.** Time is an enemy – we must build in time. Cost is a factor – we must try to balance the economic equation, to build in incentives. Our new ordinance must reflect the public interest because that, in the past, has not had a place at the table.

**Draft Findings of Fact
Demolition of 22 Cleaveland Street/78 Federal Street
Certificate of Appropriateness for Demolition
Planning Board
Review Date: April 23, 2013**

Project Name: Demolition of 22 Cleaveland Street/78 Federal Street

Case Number: VRB -13-004

Tax Map: Map U8, Lot 95

Applicant: Don Borkowski
Bowdoin College
3800 College Station
Brunswick, Maine

PROJECT SUMMARY

Bowdoin College has submitted an application for a Certification of Appropriateness for the demolition of 22 Cleaveland Street/78 Federal Street. The property is located in the College Use 6 (CU6) District, Village Review Overlay Zone and the National Register Federal Street Historic District. The application contains a completed application form and fee, project description, the 1983 Pejepscot Historical Society building survey form, a building evaluation completed by a structural engineer, interior and exterior photos, and a proposed reuse plan.

As detailed in the application, the property contains a 1 ½ -story Cape style dwelling attached to a 2-story, wood frame Greek Revival style dwelling, totaling approximately 3,060 square feet of living space. The structure has been vacant since being purchased by the College in 2007. In addition to the main structure, a number of additions and outbuildings were constructed by previous owners. The property is in poor condition having little or no maintenance since purchased by the former owners in 1975. Bowdoin College purchased the property in 2007 and immediately took steps to eliminate a safety hazard, a falling chimney. Upon demolition, the structure would be replaced by a “mosaic of gravel terraces surrounding a restored lawn area. Reclaimed granite slabs will mark the footprint of the home’s original foundation.”

Per the interim demolition procedures and standards for a Certificate of Appropriateness adopted by Town Council on December 17, 2012, the Village Review Board shall provide a recommendation to the Planning Board on applications for a Certificate of Appropriateness for Demolition. A site walk through the property was jointly conducted by the Village Review Board and Planning Board on March 22, 2013. Planning Board will review and act on the application for a Certificate of Appropriateness for Demolition

upon receipt of the Village Review Board Findings of Fact and recommendations based on the following criteria pursuant to Section 216.10.F.

1. The structure is not considered to be historically significant.
2. The applicant has not significantly contributed to the deterioration of the structure.
3. The structure is not compliant with existing building codes, requiring substantial upgrades for any reuse thereby eliminating any economic viability for the applicant.

At their meeting on April 8, 2013, the Village Review Board moved and unanimously voted “with extreme regret” to recommend a Certificate of Appropriateness for the demolition be issued by the Planning Board. The property in question is a contributing resource to the Federal Street Historic District but is beyond any economic viability. In addition, it should be noted that the Board concurred with the opinion rendered by the Maine Historic Preservation Commission, which acknowledged that the severe deterioration of the structure had rendered the structure of no economically viable use. The Village Review Board concurred with the proposed reuse of the site as a neighborhood park with tribute to the former structures.

A draft copy of the meeting minutes is also included for informational purposes.

Review Standards from Section 216.9 of the Town of Brunswick Zoning Ordinance

216.9.A. Buildings and Other Structures

- 1.a) *To the greatest practical extent, structures that contribute to the character of the Village Review Zone shall remain unaltered. The structure is considered uninhabitable and beyond repair. Additional comment and recommendation are provided below per Section 216.10.F. regarding demolition. The Board finds the provision of Section 216.9.A.1.a. is not applicable.*
- 1.b) *Any alteration of existing properties shall be compatible with their historic character, as well as with any surrounding properties. The new park will celebrate the former structure by maintaining the original footprint of the main structures and accompanying on-site interpretation. Landscaping and a few benches will surround the site. The new park will complement the existing historic character of the area. The Board finds the provision of Section 216.9.A.1.b. is satisfied.*
- 1.c) *New construction shall be compatible with surrounding historic properties. No new construction is proposed onsite. The Board finds the provision of Section 216.9.A.1.c. is not applicable..*
- 1.d) *All Certificates of Appropriateness for new construction, alterations or demolition shall be in accordance with applicable requirements of both*

this ordinance and the US Secretary of Interior's Standards for Rehabilitation of Historic Buildings. The demolition of the combined structures is due to severe neglect by a previous owner. The structures are no longer economically viable. Additional comment and findings are provided below per Section 216.10.F. regarding demolition. The Board finds the provision of Section 216.9.A.1.d. is satisfied.

- 1.e) *The Village Review Board's application of the US Secretary of Interior's Standards will be in accordance with the Board's Design Guidelines. No new construction is proposed. The Board finds the provision of Section 216.9.A.1.e. is not applicable.*

Review Standards from Section 216.10.F. of the Town of Brunswick Zoning Ordinance

As per Section 216.10.F. (Certificate of Appropriateness for Demolition and Relocation) of the Brunswick Zoning Ordinance, any grant or denial of a COA for demolition shall be based upon the recommendations made by Village Review Board regarding the demolition of 78 Federal Street/22 Cleaveland Street. Such recommendation is based on criteria contained within Section 216.10.F. considering the significance of the structure, structural condition and economic viability if reused. The Village Review Board's recommendation is as follows:

1. The significance of the structure proposed for demolition, as evidenced by its status as listed or eligible for listing on the National Register of Historic Places: 22 Cleaveland Street, the "Cape Style" dwelling was constructed circa 1836. 78 Federal Street, the 2-story Greek Revival style structure was constructed circa 1865 and may have been joined together during initial construction (PHS 1980/83 Historic Preservation Survey). At the time of the survey, the structures were rated as being in good condition. Both structures are listed in the 1976 Federal Street Historic District Inventory- Nomination Form as contributing resources. Since first constructed, the structures have been significantly modified through additions first meant to be used in a non-inhabitable utilitarian nature. These additions were later used as living space without meeting building code standards. The property is now considered to be uninhabitable.

Staff requested an opinion from the Maine Historic Preservation Commission (MHPC) regarding the demolition request. Their attached response confirms that the property is considered to be a contributing resource in the Federal Street Historic District. Based upon their onsite inspection and reviewed of the attached application materials, the MHPC states that "given its present condition and the estimated cost of rehabilitation, [MHPC] has no reason to question the College's conclusion that there is no economically viable use for the building." MHPC furthers states that the demolition "will have an impact on the Federal Street Historic District. However, it will not jeopardize the district's National Register status." Based on this information, the Village Review Board concurred with the opinion of MHPC. *The Planning Board finds that the structure is*

considered historically significant but beyond repair and concurs with the opinion of the MHPC.

2. The condition of the structure provided that the applicant has not contributed significantly to the deterioration of the structure. Bowdoin College purchased the property in 2007. At that time the condition of the structure was poor. Immediate actions taken to secure the building included removal of two falling chimneys, removal of a chicken coop and abatement of hazardous materials. In 2010, Bowdoin College hired a structural engineer to determine structural condition and extent of possible remedial work. The report was provided by the applicant. In summary, it was determined that the buildings could not again be occupied without a comprehensive gut rehabilitation which would address and bring to code all building systems and require replacement and reinforcement of a significant portion of the components. Such work included demolition of all interior walls and existing additions/foundations, removal and replacement of structural members, reset and plumb of structure, lifting of structure, demo of existing foundation and replacement w/new footers and foundation. It was further stated by the engineer that the “numerous shoddy renovations over the years combined with a complete lack of care or maintenance [by the former long-term owner] have compromised the overall structural integrity of the buildings.”

It has been noted by the applicant and observed by the Village Review Board, Planning Board and staff during the March 22, 2013 Site Walk, that the structure is not compliant with existing building or life safety codes and is considered uninhabitable.

Based on the above information, the Village Review Board believes that the applicant has not contributed significantly to the deterioration of the structure. *The Planning Board finds that the applicant has not contributed significantly to the deterioration of the structure.*

3. The availability of permitted alternative uses of the structure that would maintain its economic viability. Per the application, no permitted alternative use of the building is economically viable due to its substantial deterioration as documented within the structural engineer’s report and as appeared during the Board’s site walk. In 2010, the estimated cost to renovate the structure was approximately \$500/square foot or approximately \$863,000. As stated in the engineer’s report, it was highly questionable whether structural renovation was economically viable. Based on this information and direct observations on the Site Walk, the Village Review Board believes it is highly unlikely that a permitted alternative use of the structure could maintain its economic viability. *The Planning Board finds that no permitted alternative uses of the structure are available to the applicant that would maintain its economic viability.*

DRAFT MOTIONS
CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION
OF 22 CLEVELAND STREET/78 FEDERAL STREET
Planning Board
Review Date: April 23, 2013
VRB CASE NUMBER 13-004

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the Certificate of Appropriateness for Demolition of 22 Cleaveland Street/78 Federal Street, as outlined in the application, and with the following condition:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record.

Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.