



TOWN OF BRUNSWICK

PLANNING BOARD

28 FEDERAL STREET
BRUNSWICK, ME 04011

TOWN OF BRUNSWICK

PLANNING BOARD

AGENDA

COUNCIL CHAMBERS

1ST FLOOR, 85 UNION STREET

TUESDAY, MARCH 4, 2014 - 7:00 P.M.

1. **Case # 14-007 – Botany Place Subdivision Amendment:** The Planning Board will review and take action on a Subdivision Amendment application, regarding proposed revisions to the phasing (Phases 7-10), condominium layout, utility, stormwater, and recreational space plans. Assessor's Map U19, Lot 2, in the Residential 4 (R4) Meredith Dr. – West McKeen St. Zoning District.
2. **Zoning Ordinance Rewrite Update.**
3. **Other Business.**
4. **Approval of Minutes.**
5. **Adjourn.**

It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
28 FEDERAL STREET
BRUNSWICK, ME 04011

ANNA BREINICH, AICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

MEMORANDUM

TO: Planning Board
FROM: Jeremy Doxsee, Town Planner
DATE: March 4, 2014
RE: Botany Place Condominium Amended Subdivision/Site Plan Approval

Project Name: Botany Place Condominiums
Case Number: 14-007
Tax Map: Map U19, Lot 2
Zoning: Residential 4 Meredith Dr. – West McKeen St. Zoning District
Applicant: Botany Place, LLC, Scott Howard

Staff has reviewed the application and determined that it is complete.

PROJECT SUMMARY

Staff review is based on the following plans, submitted by Sitelines P.A.:

- Sheet C2 entitled "Condominium Plan Amendment to Phase 7-10", revised 2-21-14.
- Sheet 1 entitled "Master Plan", dated 1--26-13.
- Sheet 2 entitled "Site Plan – Phase 7", revised 2-21-14.
- Sheet 3 entitled "Plan and Profile STA 14+50 To 20+00", revised 1-21-14.
- Sheet 4 entitled "General Notes and Details", revised 1-22-14.
- Sheet 5 entitled "Erosion Control Notes and Details", revised 1-22-14.

Staff review also includes the cover letter submitted by Curt Neufeld of Sitelines, PA, dated February 28th, which outlines the proposed changes.

Since approved in April of 2004, and as the phased construction of the Botany Place condominiums has progressed, the applicant has returned to the Town for several amended approvals, which is not uncommon for a project of this size, complexity, and duration. As construction of Phase 6 moves toward completion, the applicant, in response to changing market preferences, is proposing to revise the layout and start of construction for condominium units for Phases 7-10, as follows:

- Phase 7A = units 44, 53-57 Projected start 2014
- Phase 7B = units 58-63 Projected start 2014

- Phase 7C = units 77-84 Projected start 2015
- Phase 8 = units 85-92 Projected start 2019
- Phase 9 = units 64-72 Projected start 2019
- Phase 10A = units 73-76 Projected start 2021
- Phase 10B = units 93-96 Projected start 2021

The changes to the footprints and layouts of the units are intended to replicate the “quad layouts” that were successfully marketed and sold in Phase 6. These changes are driven by changes to the market demand for units that are duplex style and not the townhouse style utilized in prior phases. The revised quad layouts necessitated corresponding changes to the private roads, utility and storm drain locations, as well as the need to reconfigure open space and recreational amenities. However, final grading and utility plans have only been provided for Phase 7. The applicant is requesting that provision of these plans for Phases 8-10 be conditions of approval, prior to issuance of building permits, consistent with the phased approach for landscaping and stormwater plans. With respect to the grading plans, staff notes that several large piles of dirt and fill have been stockpiled within the boundaries of Phases 7-10 for several years. The applicant indicated they would be removed back in 2011; however it has not yet been done. Given that Phases 8-10 are not projected to start until 2019-2021, and that extensive clearing as already been done, thereby making the piles even more visible, the Planning Board should seek assurances from the applicant that they will be removed in the coming months.

Staff Review Committee comments from their February 20th meeting are attached hereto. In addition, the Town Engineer has reviewed these plans, and has indicated that the amended plan appears to remain in compliance as originally approved, but that final review and approval will be required prior to issuance of building permits. Overall, the proposed amendment would result in an additional 4,000 ± s.f. of impervious surface. The applicant has indicated that, with respect to the DEP Site Location Permit, the amendment is within the parameter of the existing permits. Staff is also requesting, as a condition of approval, provision of a street construction phasing plan through project completion.

Staff notes that several abutting neighbors attended the SRC meeting and expressed concern regarding tree and vegetative clearing currently under way, stormwater and wetland impacts, and changes to the open space and recreational amenities. The applicant did address these concerns, and appeared to have allayed many of their concerns. Staff acknowledges some ambiguity in the original Findings of Fact about the limits of clearing, but after extensive review, including watching the video of the original April 13, 2004 approval, believes substantial clearing and regrading (and subsequent replanting) is consistent with the approved plan.

The applicant has met with the Director of Parks and Recreation, Tom Farrell, to discuss changes to the recreation and open space amenities. Mr. Farrell has referred the plan to the Recreation Commission for their recommendation, which is tentatively scheduled for their regular meeting on March 19th. The applicant is requesting that the Planning Board take action and list satisfaction of open space and recreational requirements as a condition of approval. Staff agrees that this approach would be consistent with past approvals and amendments.

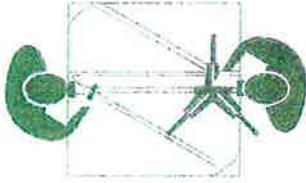
With respect to the Findings of Fact, the original April 13, 2004 Findings of Fact and Conditions of Approval are still in effect, as well as any and all conditions applied in subsequent amendments. This review evaluates changes to Phases 7-10 only, and applies additional conditions to the 2004 Conditions of Approval.

APPROVED MOTIONS
BOTANY PLACE AMENDED SUBDIVISION / SITE PLAN
CASE NUMBER: 14-007

Motion 1: That the amended Subdivision/Site Plan application is deemed complete.

Motion 2: That the amended Subdivision/Site Plan application is approved with the following conditions added to prior conditions currently in place:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant's representatives, reviewing officials and members of the public as reflected in the public record and that any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. Prior to issuance of a building permit for Phase 7, the Recreation Commission issue a finding of equivalence, with respect to changes to the recreation and open space amenities, to the satisfaction of the Director Parks and Recreation.
3. Prior to issuance of a building permit, the applicant shall submit utility, grading, and stormwater plan for Phases 7-10, to the satisfaction of the Town Engineer.
4. Prior to issuance of a building permit, the applicant shall submit a landscaping plan for Phases 7-10, to the satisfaction of the Director of Planning.
5. Prior to issuance of a building permit, the applicant shall submit a street construction phasing plan for Phases 7-10, to the satisfaction of the Director of Planning.



February 28, 2014

992-7

Jeremy Doxsee, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Amendment Application
Botany Place – Phase 7 - 10
Tax Map U-19, Lot 2**

Dear Jeremy,

Enclosed please find ten (10) copies of the Minor Amendment Application Form, revised plans, and supporting documentation for revisions to Phases 7 through 10 of the Botany Place Condominiums. At this time, Botany Place, LLC proposes to revise the layout of the condominium units for Phase 7, including units 44, 53-63, 77-80, and 81-84 as identified on the Master Plan. The units for phases 8, 9 and 10 have also been revised; however, final grading and utility details have not been prepared for this submission. The changes to the layout are driven by changes in the market demand for units that are duplex styles and not townhouse style as many in the original master plan were for the last phases. The revisions to the remaining phases do not change the overall density and a total of 96 units is still intended. The layout and alignment of the private drive service the units has been simplified and better arranged to provide access. The units will face the private drives, reducing the number of curb cuts on Botany Place.

To accommodate the new layout, the green space and gazebo previously shown has been modified. The gazebo has been eliminated and the green space moved approximately 200 feet to the east. The green space is slightly smaller and has been constructed as a Community Park. The park includes a mix of open lawn and planting with granite benches for rest and reflections. Ample landscape beds have been provided (see attached photo). Access to the space is direct from the public sidewalk and non-residents are welcome to enjoy the park. While the park is slightly different and a little smaller than the original vision, it reflects the desires of the residents of Botany Place, who specifically did not want to incur the costs to buy and maintain gazebo (see attached correspondence). It should be noted that a 0.5 acre parcel was added to Botany Place in 2009 that expanded the natural area and refuge in the southeast part of the development. This passive recreational area is accessible by existing and proposed nature trails. As with the park, the trails are available to non-residents. With the addition of this parcel, the overall land area reserved for recreation is larger than the original approved plan. Scott Howard, the developer of Botany Place, has met with Tom Farrell to discuss the changes to the recreational spaces. While Mr. Farrell could not speak for the Recreation Committee as far as the equivalence of the recreational areas as proposed versus originally approved, he acknowledged that the total recreationally area was increased, exceeding the ordinance requirements, and that he was

SITELINES, PA

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS

8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

Mr. Jeremy Doxsee
Botany Gardens Phases 7 - 10
2/28/2014
Page 2

comfortable with an approval being granted with a condition of approval that the Recreation Committee reviews and approves the changes at their next meeting.

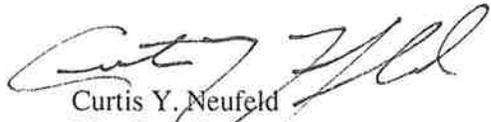
In addition to the revisions to the buildings, utility and storm drain locations have been revised to better accommodate the new layout. We have coordinated with the Brunswick Sewer District and the Brunswick and Topsham Water District to ensure they are satisfied with the revisions to their respective systems. The new utility and storm drain layout is shown on the enclosed plans.

In conversations with the Town regarding this project, there has been some concern with impacts to the stormwater system, and specifically, increases in impervious area because of the multiple changes to the project since initial approval. A letter to Anna Breinich, Director of Planning and Development, has been enclosed with this submission addressing the impacts and ensuring that there will be no adverse impact to the existing stormwater system and the project is still in conformance to the previously approved stormwater management plan. The Town Engineer, John Foster, has concurred with the analysis.

We trust this information, the discussions at the Staff Review Committee meeting and since have demonstrated the requested amendment maintains the intent and vision of the development, while allowing for it to respond to market changes since it began 10 years ago.

Should you have any questions or require additional information, please contact us.

Very truly yours,


Curtis Y. Neufeld
Vice President

Enclosures

cc: Scott Howard





Community Park constructed with Phase 5



Landscaped areas and granite bench at Community Park

Case #: _____

**MINOR MODIFICATION
APPLICATION**

1. Project Applicant:

Name: Botany Place, L.L.C. Attn: Scott and Valerie Howard
Address: P.O. Box 811
Brunswick, Maine 04011
Phone Number: 207-729-4324

2. Project Property Owner:

Name: _____
Address: _____
Phone Number: _____

3. Authorized Representative: (If Different Than Applicant)

Name: Sitelines, PA Attn: Curtis Y. Neufeld, P.E.
Address: 8 Cumberland Street
Brunswick, Maine 04011
Phone Number: 207-725-1200 ext 12

4. Physical Location of Property Being Affected:

Address: Botany Place Drive

5. Tax Assessor's Map # U19 Lot # 2 of subject property.

6. Underlying Zoning District Residential 4

7. Describe nature of the proposed change (use separate sheet if necessary):

Revisions to the configuration of Phase 7. Refer to Cover Letter.

Applicant's
Signature



**STAFF REVIEW COMMITTEE
MEETING MINUTES**



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
28 FEDERAL STREET
BRUNSWICK, ME 04011

ANNA BREINICH, AICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

February 20, 2014

STAFF REVIEW COMMITTEE NOTES

Committee Members Present:

Jeff Hutchinson (Codes), Anna Breinich (Planning), Jeff Emerson (Fire), Cathy Donovan (Assessing), Rob Pontau (Sewer).

Meeting Notes - Jeremy Doxsee (Planning)

Case # 14-007 – Botany Place Subdivision Amendment: The Committee will review and provide a recommendation to the Planning Board regarding a Subdivision Amendment application, pertaining to proposed revisions to the phasing (Phases 7-10), condominium layout, utility, stormwater, and recreational space plans. Assessor's Map U19, Lot 2, in the Residential 4 (R4) Meredith Dr. – West McKeen St. Zoning District.

Present for Applicant:

Scott Howard, Curt Neufeld (Sitelines)

- Curt Neufeld gave an overview of the proposed amendment and project history.

Committee Comments:

Rob Pontau

- Installation of water infrastructure has gone according to plan in Phases 1-6 – no issues.

Jeff Emerson

- Asked if hydrant locations have changed since the original approval. Curt indicated that they have not. Jeff asked if hydrants will be installed in the beginning of construction of each remaining phase, and Scott indicated that yes, they would.

Cathy Donovan

- Has not finished addressing for new streets yet – no issues.

Anna Breinich

- Label on the plan the area where trails go through wetlands as “forested wetlands”.

Jeff Hutchinson

- In response to a question about allowable density, Jeff noted that the zoning ordinance requires a minimum of 5,000 sf per unit, so that the development could have a maximum of 123 units. It was originally approved for 96.

Public Comments:

Lisa Fink, 33 MacMillan Drive:

- Was involved in public process during original 2003 approval. Elimination of the park and gazebo is not consistent with the original design and master plan.
- The park was to be a benefit to the entire neighborhood, not just the condo association members. The existing flower garden is labeled as community park and garden on the plan, but is really only a flower garden with some lawn areas.
- Concerned that elimination of park will increase residential density. Density was reduced to 95 units in previous amended approval, and is now being increased back to 96.
- A concern of all the neighbors is the vegetative & tree buffers along the property lines of abutting neighborhoods.
 - In response, Scott said the project was originally approved for 96 units, and is currently approved for 96 units, so he doesn't see an issued. With respect to open space / parkland, Scott swapped park space and added an additional ½ acre of open space to the wildlife refuge/ wetlands area. Scott also stated that the condo association didn't want the gazebo, due to maintenance issues.

Jean LeClair, 25 MacMillan Drive

- Asked if the trails going through the wildlife refuge/ wetlands, as labeled on the plan, are open to the public.
 - Scott replied that yes, the trails can be used by the public.
- Concerned that, if finished floor elevations are going to be raised 3 feet, corresponding lighting will trespass onto adjoining properties. Scott explained that new lighting will be consistent with lighting in phases 1-6, and that no complaints about lighting have been received.

Robert Schrader

- The reconfigured unit layout looks ok, and understands why the changes are being proposed.
- The proposed changes to the open and recreational spaces are fine.
- Has a concern about the clearing and grading work that will be done, and the subsequent development, and that it will push storm and ground water onto neighboring properties.
 - Curt provided a summary of the stormwater plan, and explained how and where stormwater will be directed. Swales in the rear of the property will be designed to channel stormwater away from neighboring properties, and into on-site catch basins and the detention pond. They swales, which will generally be 15' from property lines, necessitate the removal of the existing trees. Curt added that the trees would have died anyway, from the grading plan and change in elevations around the root zones.
- Asked if post lighting will be installed on new proposed roads. Scott explained that new lighting will be consistent with lighting in phases 1-6, and that no complaints about lighting have been received.

Deb Connors, 5 Dion Circle

- Neighbors have been looking at large dirt piles for almost 10 years.
- Can mature maple trees along her property line be retained? Scott responded that, due to stormwater improvements, they cannot.

END

ADDITIONAL ATTACHMENTS

PROPOSED AMENDMENT TO BOTANY PLACE MASTER PLAN, PHASES 7-10

Jeremy Doxsee

From: Curtis Neufeld <cneufeld@sitelinespa.com>
Sent: Thursday, February 27, 2014 4:10 PM
To: Jeremy Doxsee
Subject: RE: Botany

Jeremy,

I have reviewed the location of the ditch for phases 3 and 6. They average about 15 feet from the Botany property (their side of the spite strip). It is a little closer for phase 6, being between 12 and 15 feet. I cannot speak to what was actually built, but they tend to be pretty good about sticking to the plan.

The intent for the remaining phases is to continue that alignment. The swale will become more shallow, so the centerline should be constant. I will state that the centerline will be no less than 12' from the property line.

Curt

Curtis Y. Neufeld
Vice President
Sitelines PA
8 Cumberland Street
Brunswick, ME 04011
(fax) (207) 725-1114
(207) 725-1200 x18

www.sitelinespa.com

This communication (including all attachments) is intended solely for the use of the person or persons to whom it is addressed and contains information that may be privileged or confidential. If you are not the intended recipient, or the employee or agent responsible for delivering this message to the intended recipient, you are hereby formally notified that any use, copying, printing or distribution of this e-mail, in whole or in part, is strictly prohibited. If you received this email in error, please notify the author immediately by replying to this message and delete the original message.

-----Original Message-----

From: Jeremy Doxsee [<mailto:jdoxsee@brunswickme.org>]
Sent: Thursday, February 27, 2014 3:39 PM
To: 'Curtis Neufeld' (cneufeld@sitelinespa.com)
Subject: Botany

Know you are busy, but a reminder to give me a quick recap of drainage swale

Jeremy Doxsee

From: Fink, Lisa <Lisa.Fink@maine.gov>
Sent: Wednesday, February 26, 2014 1:45 PM
To: Tom Farrell
Cc: Jeremy Doxsee
Subject: botany place

Hi Mr. Farrell,

I have been trying to get in touch with you about the impact of the proposed amendment to Botany Place on the public open space that was part of the Botany Place approved plan. This note is to follow up on a voice mail I left for you last week.

As you know, the current amendment envisions elimination of a community park that was supposed to be public open space as opposed to semi-public areas such as the nature paths. Expansion of the nature path which is owned privately by the association should not be viewed as a fair exchange for the elimination of the only public park in this large development. Especially where the density is being increased in the phase 7 space and the expansion of the wetlands is in an area away from the center of the development.

I understand that you recently met with Scott Howard about the proposed amendment. Are you available to meet with me and possibly other concerned neighbors to hear our views about the proposal before you make your recommendation to the recreation committee? I have collected documentation about the role of and expected cost of the community park which I would like to present for your consideration.

I would very much appreciate the opportunity to discuss our concerns with you.

Sincerely,

Lisa Fink

Anna Breinich

From: scott howard [scottdhoward@hotmail.com]
Sent: Monday, February 24, 2014 8:08 AM
To: Curtis Neufeld; Kevin Clark; Tom Farrell
Cc: Todd Worthley; Jeremy Doxsee; Anna Breinich
Subject: FW: Botany Place Master Plan Amendment
Attachments: Botany Place Master Plan Amendment letter.pdf

Kevin, Curt and Tom,

I am confirming our meeting on Tuesday, 2/25, 10:30 AM at the Sitelines office. Attached is a letter just received from the Board of Directors of the Botany Place Condominium Owners Association strongly supporting the proposed plan amendment with the proposed recreational and open space amenities in the development. A list of the estimated costs of those amenities are as follows:

1. \$35,000 - sidewalks, bike path and ROW purchase on Fiddlehead Fern Trail up Barrows Street to MacMillan Drive
2. \$15,000 - sidewalk from Botany Place Drive on Maine Street to Richards Drive
3. \$34,850 - purchase of 1/2 acre Perry lot and building trails on wetlands refuge
4. \$22,000 - community garden with trees, flowers, paths, stone walls, benches, bird baths, event tent
5. \$12,000 - 18 vegetable and flower planters
6. \$73,950 - assessed recreation impact fees

Total \$192,800

Regards, Scott

Scott D. Howard
ph 207-798-2998

Date: Sun, 23 Feb 2014 14:43:09 -0800
From: judistoy@yahoo.com
Subject: Botany Place Master Plan Amendment
To: abreinich@brunswickme.org
CC: scottdhoward@hotmail.com; HeleneM81@gmail.com; kgoddu51@gmail.com;
ZHOLLAND@CERNER.COM; judistoy@yahoo.com

Anna,

The Botany Place board has voted in favor of the attached amendment and are providing a copy of the plan and an explanatory letter for you to present to the Brunswick Planning Board.

Please let me know if you have any additional information requests.

Anna Breinich

From: scott howard [scottdhoward@hotmail.com]
Sent: Sunday, February 23, 2014 11:49 AM
To: Jeremy Doxsee; Anna Breinich
Cc: Kevin Clark; Curtis Neufeld; Jeff Hutchinson
Subject: RE: Botany Place

Anna and Jeremy,

I have reviewed all of the Botany Place files and never found any agreement, plans or permits requiring a 30 foot buffer with trees. During the Planning Board 4/13/04 meeting I specifically objected to leaving any trees because it would have made the Botany Place project not financially viable, the construction of 96 homes not possible and the proposed storm water drainage plans not feasible. I reluctantly agreed to expand the 20 foot building setback in the ordinance to 30 feet on the south property line. I did this in response to some Zeiter Farm and Dionne Circle lot owners who requested the same setback as the north property line. There was a 10 foot "spite fence" piece of land created and still owned by the Minot Corporation on the north property line. Thus, the MacMillan Drive property owners on the north property line had an effective 30 foot building setback from their lots. Some MacMillan Drive lot owners have since bought the 10 "spite fence" strip from Minot.

The Planning Board subdivision approval letter dated 4/14/04 and the signed and recorded subdivision master plan do not stipulate a 30 foot buffer with trees. The 30 foot building setback on the south property line was recorded on the plan and has been adhered to in all construction phases abutting the south property line.

I am available Monday afternoon, anytime Tuesday or anytime Wednesday to meet with both of you and Charlie Frizzle. Kindly advise. Scott

Scott D. Howard
ph 207-798-2998

From: jdoxsee@brunswickme.org
To: scottdhoward@hotmail.com
CC: cneufeld@sitelinespa.com; abreinich@brunswickme.org
Subject: Botany Place
Date: Fri, 21 Feb 2014 21:48:15 +0000

Scott,

After consultation with Chair of the Planning Board (Charlie Frizzle), we have decided to pull Botany Place from Tuesday night's agenda and reschedule to March 4th. A brief explanation:

- In hindsight, it was ill-advised to have a Staff Review Committee one day before packets are given to the Planning Board, but we were trying to accommodate your schedule. There were issues and questions raised at the meeting by the public – and subsequent to the meeting – that

Jeremy Doxsee

From: John Foster
Sent: Friday, February 21, 2014 8:50 AM
To: Jeremy Doxsee
Cc: Curtis Neufeld
Subject: RE: Botany Place

Jeremy, I have no objection to what Curt indicates, that compliance schedule is fine with me but that is, of course, your call. Thanks, John

John A. Foster, Town Engineer/Public Works Director
Brunswick Public Works
207.725.6654
jfoster@brunswickme.org

From: Curtis Neufeld [<mailto:cneufeld@sitelinespa.com>]
Sent: Friday, February 21, 2014 8:48 AM
To: Jeremy Doxsee; John Foster
Subject: RE: Botany Place

I would like to weigh in to say that if this is added as a late condition of approval it be tied to building permits, which would facilitate an approval on Tuesday. This is consistent with Condition 5 of the original approvals.

Thanks,
Curt

Curtis Y. Neufeld
Vice President
Sitelines PA
8 Cumberland Street
Brunswick, ME 04011
(207) 725-1114
(207) 725-1200 x18

www.sitelinespa.com

This communication (including all attachments) is intended solely for the use of the person or persons to whom it is addressed and contains information that may be privileged or confidential. If you are not the intended recipient, or the employee or agent responsible for delivering this message to the intended recipient, you are hereby formally notified that any use, copying, printing or distribution of this e-mail, in whole or in part, is strictly prohibited. If you received this email in error, please notify the author immediately by replying to this message and delete the original message.

From: Jeremy Doxsee [<mailto:jdoxsee@brunswickme.org>]
Sent: Thursday, February 20, 2014 5:00 PM
To: John Foster
Cc: Curtis Neufeld
Subject: RE: Botany Place

Thanks John. I'll include this in the packet to the Planning Board.

Jeremy Doxsee, AICP
Town Planner
The Department of Planning & Development
Town of Brunswick
28 Federal Street
Brunswick, ME 04011
(207)725-6660 x222
www.brunswickme.org

From: John Foster
Sent: Thursday, February 20, 2014 4:33 PM
To: Jeremy Doxsee
Cc: Curtis Neufeld
Subject: RE: Botany Place

Jeremy,

I have reviewed the packet for the Minor Amendment Application, Phase 7, Botany Place as detailed in the submittal by Curt Neufeld, VP, Sitalines dated 1/22/2014. I have also reviewed the Stormwater Analysis Update as detailed in a letter report from Curt again dated 1/22/2014. My comments on this amendment are as follows:

1. The stormwater management system appears to remain in compliance as originally approved but I am concerned about the two proposed "... small ponding areas within Phase 7 ..." Each of the two ponds are drained by a 12 inch culvert that is set at the low point in the pond so there will basically be no ponding or detaining of the runoff. I see the two planned ponds as an ideal opportunity to provide stormwater management for both the quantity and quality of site runoff to the now DEP designated impaired watershed (Mere Brook). I would ask that as a condition of approval the developer have his engineer and landscape architect investigate utilizing these two planned ponds as rain gardens or similar water quality treatment areas. Although a structural flow control structure could be provided in each pond I would prefer the non-structural solution (rain garden) be utilized here.

I would be willing to approve or recommend approval of the stormwater management modification if satisfactory plans for improving the ponds as recommended above are submitted for our approval. Please let me know if you have any questions, thanks, John

John A Foster, PE
Town Engineer/Director of Public Works
Public Works Dept
9 Industry Rd
Brunswick, ME 04011
207.725.6654
FAX 725.6655
jfoster@brunswickme.org
homepage: www.brunswickme.org/dpw

Jeremy Doxsee

From: scott howard <scottdhoward@hotmail.com>
Sent: Thursday, February 20, 2014 5:56 PM
To: Anna Breinich; Jeremy Doxsee
Subject: RE: Botany Place Master Plan Amendment

Anna and Jeremy,

Sorry for the three emails but I forgot to mention in my previous emails that Botany Place paid for bike and pedestrian recreational access of over \$35,000 to purchase the right of way land into Barrows Street and to build a sidewalk all the way on Barrows Street and a separate bike path from Botany Place into Barrows Street, and also paid \$15,000 +/- to build the sidewalk on Maine Street from Botany Place Drive to Richards Drive. Thanks. Scott

Scott D. Howard
ph 207-798-2998

From: abreinich@brunswickme.org
To: scottdhoward@hotmail.com
CC: jdoxsee@brunswickme.org
Subject: FW: Botany Place Master Plan Amendment
Date: Thu, 20 Feb 2014 18:26:50 +0000

Hi Scott,

Would you be able to provide costs per item listed for purposes of cost comparison to what was provided/approved by Rec Commission previously?

Appreciate it.

Anna

Anna Breinich, AICP

Director of Planning and Development

Town of Brunswick

Jeremy Doxsee

From: scott howard <scottdhoward@hotmail.com>
Sent: Thursday, February 20, 2014 2:58 PM
To: Anna Breinich; Jeremy Doxsee
Cc: Curtis Neufeld
Subject: RE: Botany Place Master Plan Amendment

Anna and Jeremy,

Botany Place is also building vegetable and flower planters in common land near individual homes, each costing \$500 to \$1,000 depending on size. There will be three planters in phase alone.

Total recreation impact fees assessed for Botany Place phases 1 through 10 is \$73,950.00

Regards, Scott

Scott D. Howard
ph 207-798-2998

From: abreinich@brunswickme.org
To: scottdhoward@hotmail.com
CC: jdoxsee@brunswickme.org
Subject: FW: Botany Place Master Plan Amendment
Date: Thu, 20 Feb 2014 18:26:50 +0000

Hi Scott,

Would you be able to provide costs per item listed for purposes of cost comparison to what was provided/approved by Rec Commission previously?

Appreciate it.

Anna

Anna Breinich, AICP
Director of Planning and Development
Town of Brunswick
28 Federal Street
Brunswick, ME 04011

(207) 725-6660, ext. 220 (v)
(207) 725-6663 (f)
(207) 504-0549 (c)
abreinich@brunswickme.org
www.brunswickme.org

Jeremy Doxsee

From: scott howard <scottdhoward@hotmail.com>
Sent: Thursday, February 20, 2014 2:40 PM
To: Anna Breinich; Jeremy Doxsee
Cc: Curtis Neufeld
Subject: RE: Botany Place Master Plan Amendment

Anna and Jeremy,

The cost of purchasing the 0.48 acres, including legal and closing costs, plus adding the trail was \$34,850. The cost of the new community garden with loam, flowers, stone paths, stone walls, granite benches, bird baths and event tent was approximately \$22,000+/- . Scott

Scott D. Howard
ph 207-798-2998

From: abreinich@brunswickme.org
To: scottdhoward@hotmail.com
CC: jdoxsee@brunswickme.org
Subject: FW: Botany Place Master Plan Amendment
Date: Thu, 20 Feb 2014 18:26:50 +0000

Hi Scott,

Would you be able to provide costs per item listed for purposes of cost comparison to what was provided/approved by Rec Commission previously?

Appreciate it.

Anna

Anna Breinich, AICP
Director of Planning and Development
Town of Brunswick
28 Federal Street
Brunswick, ME 04011

(207) 725-6660, ext. 220 (v)
(207) 725-6663 (f)
(207) 504-0549 (c)
abreinich@brunswickme.org
www.brunswickme.org

From: scott howard [<mailto:scottdhoward@hotmail.com>]
Sent: Thursday, January 30, 2014 4:57 PM
To: Anna Breinich; Jeremy Doxsee

Anna Breinich

From: scott howard [scottdhoward@hotmail.com]
Sent: Wednesday, February 19, 2014 7:01 PM
To: Jeremy Doxsee
Cc: Curtis Neufeld; Anna Breinich
Subject: RE: Botany Place Amendment
Attachments: Botany Place Ph.7-10 Amendment Letter 1.30.14.pdf

Jeremy,

Thank you for the heads up. Below are notes in blue addressing the issues raised. See you at 10 AM on Thursday, 2/20, at the Hawthorn School building. Thanks. Scott

Scott D. Howard
ph 207-798-2998

From: jdoxsee@brunswickme.org
To: scottdhoward@hotmail.com
CC: cneufeld@sitelinespa.com; abreinich@brunswickme.org
Subject: Botany Place Amendment
Date: Wed, 19 Feb 2014 22:14:20 +0000

Hi Scott,

Just a heads up, in advance of tomorrow morning's SRC meeting, and next Tuesday's PB meeting, that we've been getting a few inquiries about the proposed amendment, including:

- Provide comparison of the community park to the proposed trail through the wetlands in terms of open space and recreational space [see attached 1/30/14 letter from S. Howard to Anna; Botany Place switched the community garden location and added the .48 acres of open space land with trails in 2009; this land was not available in 2004 but was going on the market as a house lot offered by Ralph Perry; Botany Place and the Botany Place condominium owners association purchased the lot to preserve as open space](#)
- A comparison of the unit density in each of the new stages from the approved amended plan (the one currently in effect) to the proposed plan. It would be helpful in evaluating the claim that the overall density is the same. [the phases changed, but no change in total number of units or density; phases 1, 2, 3, 4 and 6 no changes in number of units, phase 5 deleted one unit and added community garden; phases 7-10 no changes in number of units](#)
- See attached letter which indicates that evergreen trees will be planted along McMillan and Barrows Street property lines abutting Botany Place. Was this done? One neighbor claims it was not. [Botany Place trees have been planted in all phases along McMillan and Barrows but some phase 6 trees behind](#)

Hollyberry Way and Iris Way could not be planted until spring due to construction completed; which neighbor?

I've also receive inquiries about the proposed landscaping plan for phases 7-10, but could not locate them. Botany Place landscaping plans are submitted to Planning for each new phase before building permits are issued - same condition and procedure as phases 5 and 6

I received a separate inquiry about the clearing plan, as one neighbor thought that a 10 foot vegetative buffer was to be left, within the required 30 foot setback requirement. However, the neighbor seems to think that clearing was done to the property line. even though the ordinance only requires 20 foot setback Botany Place agreed to a 30 foot setback on the south (Zeiter Farm & Dionne Circle) property lines because there was a 10 foot spite strip on the north (McMillian) property line placed there by the Minot corporation so the setback was 30 feet; evergreen trees will also be planted on the south property line for a buffer, same as the north property line

This is a large project, with multiple phases, numerous amendments, that has been going on for almost 10 years, and I'm trying to get up to speed on many of these details. So in order to try to answer so of these questions, we pulled the original Findings of Fact, which is attached. Condition 5 says that landscaping plans and stormwater calculations and management plans are to submitted to and approved by the Town Engineer and Director of Planning. Botany Place has done this with every change in every phase

Suffice to say, there are numerous questions surfacing, as we approach these meetings. Neighbors may – or may not – show up with additional questions.

Please review the conditions in the attached FOF, and we'll touch base after tomorrow's SRC meeting. Botany Place has met every condition in every phase

Jeremy Doxsee, AICP

Town Planner

The Department of Planning & Development

Town of Brunswick

28 Federal Street

Brunswick, ME 04011

(207)725-6660 x222

www.brunswickme.org

Jeremy Doxsee

From: Curtis Neufeld <cneufeld@sitelinespa.com>
Sent: Monday, February 17, 2014 3:42 PM
To: Jeremy Doxsee
Subject: RE: botany

Jeremy,

Since the DEP permit approved 8.56 acres of impervious area to be constructed in 10 phases, which will drain to the wet pond, and the construction to date is well under the approved amount of impervious area and uses the designed wet pond, we are confident the project is within the parameters of the permits.

To the best of my knowledge, none of the modifications to date have been submitted to the DEP for review.

Curtis Y. Neufeld
Vice President
Sitelines PA
8 Cumberland Street
Brunswick, ME 04011
(fax) (207) 725-1114
(207) 725-1200 x18

www.sitelinespa.com

This communication (including all attachments) is intended solely for the use of the person or persons to whom it is addressed and contains information that may be privileged or confidential. If you are not the intended recipient, or the employee or agent responsible for delivering this message to the intended recipient, you are hereby formally notified that any use, copying, printing or distribution of this e-mail, in whole or in part, is strictly prohibited. If you received this email in error, please notify the author immediately by replying to this message and delete the original message.

-----Original Message-----

From: Jeremy Doxsee [<mailto:jdoxsee@brunswickme.org>]
Sent: Monday, February 17, 2014 1:35 PM
To: Curtis Neufeld
Subject: RE: botany

Thanks Curt. You say that the project is and will continue to be in compliance with its permits. Are you referring to the SLD stormwater permit? Are you required to notify the DEP of these changes?



Botany Place

Carefree Neighborhood Living

P. O. Box 811
Brunswick, Maine 04011

January 30, 2014

Anna Breinich, Director of Planning and Development
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Botany Place Master Plan Amendment, Phases 7 -10
Botany Place, Brunswick**

Dear Anna,

Attached from Sitelines please find a copy of an Amended Site Plan for Phases 7-10 of the Botany Place Condominiums, a completed amendment application with the \$50.00 application fee.

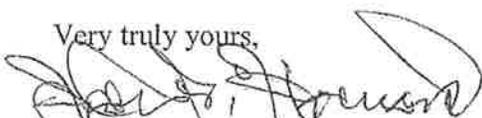
The purpose of the Amendment is to revise the layout of the units, the number of units by phase and the layout of the private roadways. There is no change to the number of units (96) or to the main roads approved in 2004. The private road patterns, underground utilities and drainage systems have all been simplified.

This amendment application proposes the following changes to the recreation and open space amenities approved in 2004:

1. Added 0.48 acres of open/green space to the common land, Map U20, Lot 81 purchased from Ralph T. Perry in December 2009; now designated as a 1.5+/- acre wildlife refuge with trails and picnic areas in phase 4;
2. Added the large community park and garden with perennial flowers, granite benches, bird baths, stone walls, stone walkways and an event tent in phase 5;
3. Added the vegetable and flower planting boxes (12' x 12', 6' x 6', 4' x 4') for individual homes in phase 6 common areas, with more boxes to be added in phases 7-10 as per homeowner requests;
4. Deleted the community park with the gazebo in phase 7.
5. Removed Unit 44 in phase 5 to build the community park and garden and added Unit 44 back into phase 7, thereby deleting the community park and gazebo.

The purchase of the land and construction of additional trails, the park and planting boxes exceeds \$55,000. Should you have any questions or require additional information, please call me at 207-798-2998.

Very truly yours,



Scott D. Howard

ADDITIONAL ATTACHMENTS

APRIL 13, 2004

APPROVED FINDINGS OF FACT

&

SUBSEQUENT AMENDMENTS &
REAPPROVALS

**Preliminary Findings
Final Site Plan and Subdivision Review
Date: April 13, 2004**

Project Name:

Botany Place Condominiums

Case Number: 03-164

Tax Map U-19/ Lots 1, 2, 2A, 2C, 6E (part), 14, 47,
and Tax Map U-20/ Lots 1, 47 (part) and 81

Applicant:

Botany Place L.L.C.
Scott and Valerie Howard
P.O. Box 811
Brunswick, ME 04011
Ph.# 729-4324

Authorized Representative:

Charles R. Wiercinski, PE
Sitelines, PA
8 Cumberland St.
Brunswick, ME 04011
Ph.# 725-1200

PROJECT SUMMARY

The Board will review and take action on the **Final Plan** application by Botany Place LLC to construct **93 new residential condominium units** on parcels totaling 24.48 acres located between 318 Maine Street and 65 Baribeau Drive (**Assessor's Map U19/Lots 1, 2, 2A, 2C, 6E (part), 14, 47 and Map U-20/ Lots 1, 47(part) and 81** in the R4 Zone.

Review Standards from Section 411 of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

This is a proposal to construct 93 new condominium units with associated infrastructure on a 29.33-acre parcel in the R4 District (There are currently 6 units on the site including 4 condominium units approved by the Staff Review Committee on 7/1/03.). The site is bisected by a proposed public road, Botany Place Drive, which creates an east/west connection between Maine Street and Baribeau Drive. Access to clusters of condominium units will be provided by a series of private roads extending off of both sides of Botany Place Drive.

The applicant is seeking approval of the project in phases. The condominium units and private roads are to be constructed in 11 phases (including the already-approved Phase 1) and Botany

Place Drive is to be constructed in three phases. The applicant's proposed phasing schedule is as follows:

<u>Phase</u>	<u>Length of Phase Construction</u>	<u>Elapsed Project Time</u>
1-2A	2 Years	2 Years
3	2 Years	4 Years
4 & 5	1 Year	5 Years
6	1 Year	6 Years
7	1 Year	7 Years
8	1 Year	8 Years
9	2 Years	10 Years
10	1 Year	11 Years

The existing and proposed uses - Dwelling, Single and Two Family and Dwelling, 3 or More Units, are permitted in the R4 District. The proposed project is within the allowable density for the site (101 units). The plan conforms with the dimensional standards of the zone. The Board granted Sketch Plan approval for the project on 11/25/03. The Board finds the provisions of section 411.1 are satisfied.

411.2 Preservation of Natural Features

The area of proposed development is relatively flat and wooded. The applicant has submitted net density calculations for the project which show the density to be within allowable limits. The applicant has submitted a wetland report prepared by Woodlot Alternatives and areas of wetland on the site are shown on the plan. Wetlands on the plan consist of one small and three larger pockets totaling 0.8 acres. Direct wetland impacts appear to be limited to elimination of the smallest pocket (Phase 3) and construction of a detention pond in a portion of the largest wetland area located on the southerly property boundary. The Natural Resources Planner has requested that additional information be submitted prior to construction of the Phase 4 detention pond showing that construction of the pond will not result in the de-watering of the adjacent wetlands.

The applicant has requested a waiver for submission of the location of trees with caliper sizes 10" or greater. The plan calls for maintenance of a 30-foot buffer around most of the perimeter of the project. Existing grades in this buffer area are to remain so as to assure preservation of existing trees. Since the grade within most of the interior of the site is to be raised, most of the trees outside the perimeter buffer are to be eliminated. Extensive landscape plantings, including "enhancements" of the remaining wetlands, are proposed. The Natural Resources Planner is particularly interested in reviewing proposed wetland plantings. He has also noted the existence of two known invasive species on the proposed planting list for Phase 2. Staff recommends the Board's approval include a condition that, prior to start of construction for each phase, a landscaping plan, satisfactory to the Director of Planning and Development, shall be submitted. Staff also recommends the waiver of the location of trees with a caliper size of 10" or greater be granted.

The applicant has requested a waiver for submission of a high-intensity soils map. A medium intensity soils map and detailed wetland delineation have been submitted. No on-site wastewater disposal systems are proposed. Staff recommends the waiver for submission of a high-intensity soils map be granted.

The Board waives the submission of the location of trees 10" or greater and a high-intensity soils map and finds the provisions of section 411.2 are satisfied with the condition that, prior to start of construction of the Phase 4 detention pond, the applicant shall submit engineering details, satisfactory to the Natural Resources Planner, that minimize the potential for dewatering of adjacent wetlands.

411.3 Surface Waters, Wetlands and Marine

As noted in 411.2, above, the applicant has submitted a wetland report prepared by Woodlot Alternatives and areas of wetland on the site are shown on the plan. Direct wetland impacts appear to be limited to elimination of the smallest wetland pocket (in Phase 3) and construction of a detention pond in a portion of the largest wetland area (in Phase 4). The Natural Resources Planner has requested that additional information be submitted prior to construction of the Phase 4 detention pond showing that construction of the pond will not result in the de-watering of the adjacent wetlands. The applicant proposes unspecified plantings to "enhance" the wetland areas and the Natural Resources Planner wishes to review plans for the modification of any wetland vegetation prior to their implementation.

The applicant has submitted stormwater management plans and narrative prepared by Sitelines, PA. Plans for stormwater management, which are discussed in more detail in 411.5, below, utilize two detention ponds and existing wetlands to remove pollutants from the water prior to their introduction to surface waters. The project drains to Spawell Creek, which is a tributary of Mere Brook. Both state law and the Brunswick Ordinance require management of both the quantity and quality of stormwater runoff and the Town Engineer has indicated his satisfaction with plan with the understanding that, prior to the start of construction for each phase, the stormwater management calculations, satisfactory to the Town Engineer, shall be submitted. All development beyond the second phase is also subject to Site Location of Development review by the Maine Department of Environmental Protection, which includes review of storm water management. Staff recommends the Board's approval include a condition that, prior to start of construction for each phase, stormwater management calculations, satisfactory to the Town Engineer, shall be submitted.

The applicant has submitted an erosion and sedimentation control plan prepared by Sitelines, PA. The plan employs silt fencing, hay bales, erosion control blanket and revegetation of disturbed areas. The subject parcel drains, via Mere Brook, to Casco Bay. The treatment of stormwater runoff, noted above, and the fact that the project is to be served by the public sewer system will minimize any potential threat to the marine environment.

The Board finds that the provisions of section 411.3 are satisfied with the following conditions: 1) that, prior to start of construction of the Phase 4 detention pond, the applicant shall submit engineering details, satisfactory to the Natural Resources Planner, that minimize the potential for dewatering of adjacent wetlands, 2) that, prior to modification to any wetland vegetation, plans for such modification, satisfactory to the Natural Resources Planner, shall be submitted and, 3) that, prior to start of construction for each phase, stormwater management calculations, satisfactory to the Town Engineer, shall be submitted.

411.4 Flood Hazard Area

No portion of the site falls within the Special Flood Hazard Area of the NRPZ. The Board finds that the provisions of section 411.4 are satisfied.

411.5 Stormwater Management

As noted in 411.3, above, the applicant has submitted stormwater management plans and detailed narrative prepared by Sitelines, PA. These plans call for stormwater to be collected through a system combining catch basins, drainage swales and underground pipes. Most of the water will run through at least one of two detention/treatment ponds designed to limit stormwater discharge and reduce pollutants in the runoff before discharge. Natural wetlands on the south side of the site will be used to further cleanse the stormwater before it reaches Spawell Creek, which is a tributary of Mere Brook. The stormwater management plan is expected to exceed that state minimum requirement for removal of 47% of total suspended solids from the stormwater on a project wide basis. Staff has recommended, and the applicant has added, oil/water separators to the catch basins to further improve treatment. The applicant has requested a waiver for submission of stormwater calculations pending finalization of plans for each phase. Both state law and the Brunswick Ordinance require management of both the quantity and quality of stormwater runoff. The Town Engineer has indicated his satisfaction with plan with the understanding that, prior to the start of construction for each phase, the stormwater management calculations, satisfactory to the Town Engineer, shall be submitted. All development beyond the second phase is subject to Site Location of Development review by the Maine Department of Environmental Protection, which includes review of storm water quantity and quality.

The Board waives submission of stormwater calculations and finds that the provisions of section 411.5 are satisfied with the condition that, prior to start of construction for each phase the following additional materials, satisfactory to Town Engineer, shall be submitted: 1) stormwater management calculations, 2) revised catch basin details with Casco Bay Hood oil/water separators (or approved equivalent) and, 3) a stormwater management system maintenance plan.

411.6 Groundwater

The project site is located over a mapped sand and gravel aquifer, though it is not within the

Aquifer Protection Zone. Potential threats to groundwater are minimized by utilization of public sewer and the stormwater management and treatment system. There are no drinking water wells in the vicinity of the project. The Board finds that the provisions of section 411.6 are satisfied.

411.7 Erosion and Sedimentation Control

The applicant has submitted an erosion and sedimentation control plan prepared by Sitelines, PA. The plan is based on the measures stipulated in Maine Erosion and Sedimentation Handbook for Construction, Best Management Practices and employs silt fencing, hay bales and revegetation of disturbed areas. The Town Engineer has indicated his satisfaction with the proposed plan. The Board finds that the provisions of section 411.7 are satisfied.

411.8 Sewage disposal

The project will be connected to the public sewer system. The Brunswick Sewer District has indicated its ability and willingness to server the project subject to its rules and conditions. The Board finds that the provisions of section 411.8 are satisfied.

411.9 Water

The project will be connected to the public water system. The Brunswick-Topsham Water District has indicated its ability and willingness to server the project subject to its rules and conditions. The Board finds that the provisions of section 411.9 are satisfied.

411.10 Aesthetic, Cultural and Natural Values

The project site is not within the Coastal Protection Zone, Natural Resources Protection Zone or Village Review Zone. No portion of the subject parcel is identified on Town or State maps of significant wildlife habitat, or rare or irreplaceable natural areas. There are no historic structures on the site and the site is not identified by the Maine Historic Preservation Commission as an area of archaeological resource potential. There are no existing public rights for physical or visual access to the shoreline. The Board finds the provisions of section 411.10 are satisfied.

411.11 Community Impact

The Recreation Commission is scheduled to the review the project at its meeting on 4/21/04 and staff recommends the Board's approval include a condition that the recommendations of the Recreation Commission be implemented. The Board notes that revisions to the Recreation Impact Fee formula are pending and that, should those revisions result in a lesser fee for this project, that lesser fee shall be assessed and any overpayment made by the applicant shall be refunded by the Town.

The Town Engineer recommends the Solid Waste Impact Fee totaling \$24,046.08. The fee shall

be paid on a per phase basis prior to issuance of a building permit within each phase. See 411.16, below, for the breakdown of fee per project phase. The Board finds the provisions of section 411.11 are satisfied with the condition that prior to issuance of a building permit for each phase the recommended impact fees shall be paid.

411.12 Traffic

Access to the site is by way of a proposed public road, Botany Place Drive, which creates an east/west connection between Maine Street and Baribeau Drive. Access to clusters of condominium units will be provided by a series of private roads extending off of both sides of Botany Place Drive. Botany Place Drive is to be built in three phases. The first road phase (Phase A) extends approximately 1250 feet in from Maine Street and will serve 35 units in development phases 1-4. A proposed public bicycle and pedestrian extends north from the end of Phase A to the southerly end of Barrows Street. No vehicular connection is proposed between Botany Place Drive and Barrows Street. Police, Public Works and Planning staff have recommended such a connection to reduce traffic on the arterial streets (Maine and Baribeau), enhance connectivity for emergency vehicles and increase flexibility for road maintenance operations. The applicant has submitted a traffic study by Dianne Morabito, PE, that concludes that the two road connections proposed are sufficient to serve the project and that additional connections are undesirable insofar as they will increase points of potential conflict. The applicant has also cited additional costs associated with a third connection. The Planning Board has received a letter signed by 35 residents of MacMillan Drive and Barrows Street opposing a vehicular connection to Barrows Street. The neighbors assert that such a connection will result in additional traffic that will negatively impact the character of their neighborhood and bicycle and pedestrian safety. The Bicycle and Pedestrian Advisory Committee discussed this project at its meeting on 3/10/04. The sense of the Committee was that, in the absence of sidewalks along Barrows Street and MacMillan Drive, that the vehicular connection to Barrows Street should not be included in the plan.

The plan calls for an average of three off-site parking spaces per unit, which exceeds the provisional parking standards of the Ordinance. Additional visitor parking is proposed for on side of the 18-foot wide private roads and on one side of Botany Place Drive. At the Staff Review Committee meeting on 4/6/04 the Town Engineer questioned the adequacy of the parking and maneuvering areas for some units in the later phases. Planning staff has also asked for additional details regarding parking on the sides of the private roads. The applicant's representative has stated that parking is to be regulated with signs, the design and location of which are to be determined prior to start of construction of each phase. Planning staff has recommended against parking on one side of Botany Place Drive due to concerns regarding bicycle safety, however Police Commander Desjardins has indicated that the proposed street has sufficient width to accommodate parking (see 411.13, below).

Police, Planning and Public Works staff have recommended installation of stop signs to control traffic entering Botany Place Drive from the private roads, but are comfortable with private signs

of a non-standard design, as preferred by the applicant. The same is true for private road name signs, although the Fire Department staff has stressed the need for those signs to be installed as construction of each roadway commences. The Town Assessor has reviewed and approved proposed private street names. Staff has requested that those names be added to the condominium plan and the plans for each phase.

The applicant proposes to offer Phase A of Botany Place Drive to the Town for acceptance upon completion. At that time, a financial guarantee is to be provided for Phases B and C to assure eventual connection to Baribeau Drive. Phase B of the road will remain a private road until Phase C is complete, at which time both will be offered to the Town for acceptance.

The Board finds the provisions of section 411.12 are satisfied with the following conditions: 1) that, prior to start of construction of Phase 2, a revised condominium plan shall be submitted showing the private road names as approved by the Assessor, 2) that prior to start of construction for each development phase, revised plans for that phase, satisfactory to the Town Engineer and Director of Planning and Development, shall be submitted showing; a) private road names, b) revised parking and vehicular circulation details including design and location of parking regulation signs, street signs and stop signs, 3) that, prior to start of construction of each development and/or road phase, a financial guarantee, acceptable to the Town Manager, for construction of the traffic, stormwater management and utility infrastructure, including associated landscaping and inspection fees, for that phase shall be submitted except that such financial guarantee shall be submitted for both Road Phase B and C prior to start of construction of Road Phase B, 4) that, prior to start of construction of Road Phase A, revised plans, satisfactory to the Director of Planning and Development and the Town Attorney, showing a public vehicular connection between Botany Place Lane and Barrow Drive shall be submitted.

411.13 Pedestrian and Bicycle Access and Safety

The proposed plan features a public sidewalk along the south side of Botany Place Drive and four-foot wide striped shoulder from Maine Street to Baribeau Drive. A sidewalk from the end of Road Phase A to the southerly end of Barrows Drive is also provided. The applicant proposes to make this section of sidewalk shall be available for public use in accordance with a bicycle and pedestrian easement to be offered to the Town. The easement will also provide public bicycle access between Botany Place Drive and Barrows Street along a section of private road and a dedicated section of bicycle path. In the absence of a public vehicular connection between Botany Place Drive and Barrows Street, the Town Engineer and Planning Staff recommend the easement stipulate that the Town maintain the sidewalk and bike path while the condominium association maintain the private road. Planning Staff and the Town Attorney also recommend the depiction of the easement on the condominium plan be revised to include the sidewalk, bike path and private road section.

The applicant proposes that parking be allowed on one side of Botany Place Drive. Commander Desjardins of the Brunswick Police Department has indicated that the street width is sufficient

for on-street parking and that establishment of any parking regulations on this street is a matter for the Town Council. Planning Staff recommends against on-street parking so that the 4-foot wide striped shoulders can provide an enhanced bicycle connection between similar bicycle facilities on Maine Street and Baribeau.

Staff and the Bicycle and Pedestrian Advisory Committee recommend a sidewalk connection along the west side of Maine Street from the current sidewalk terminus at Richards Drive to the Botany Place Drive. This sidewalk extension is critical in order to provide a safe pedestrian route for children within the project to their elementary school on Longfellow Avenue. Children walking on the west side of Maine Street can cross to the east side at the guarded crosswalk at Columbia and Longfellow Avenues. The applicant proposes to construct a sidewalk on Maine Street from Botany Place Drive to the northern boundary of Phase 1 and to pay a fee for the Town to construct the remaining sidewalk to Richards Drive. In his memo dated 4/9/04, the Town Engineer provides a formula for calculation of the sidewalk fee.

The Board finds the provisions of section 411.13 are satisfied with the following conditions: 1) that, prior to issuance of a building permit for Phase 2, the Maine Street Sidewalk Impact fee of \$12,000 shall be paid, 2) that, prior to issuance of a building permit for Phase 2, a public bicycle and pedestrian easement, satisfactory to the Town Manager and Town Attorney shall be offered to the Town and, 3) that, prior to start of construction of Phase 2, a revised condominium plan, satisfactory to the Director of Planning and Development, depicting the boundaries of the public bicycle and pedestrian easement so as to include the sidewalk, bicycle path and private road section.

411.14 Development Patterns

The subject parcel is located entirely within the town's designated Growth Area. The project will utilize existing public infrastructure systems (i.e. road, sewer, water, power, telephone, cable) on Maine Street and Baribeau Drive. The applicant has submitted a perimeter planting plan prepared by Frank Cushing, Landscape Architect. The plan calls for a minimum 30-foot buffer from adjacent residential properties with extensive tree planting to supplement trees being preserved within the buffer. The proposed buildings are of a height and scale which are compatible with neighboring buildings. Some of the buildings within the project are oriented towards the public street while others are oriented toward the private streets. There are no historic structures on the site. The Board finds that the provisions of section 411.14 are satisfied.

411.15 Architectural Compatibility

The additional units are to be arranged in single, duplex and quadraplex buildings. Units are oriented either towards the public streets or private loop streets. Buildings vary in size but all are of a residential scale. The buildings all utilize a mixture of traditional forms and materials that reflect the craftsman and stick styles found in Douglas Park and other older neighborhoods.

The landscape plan features street trees in an esplanade on the south side of Botany Place Drive. Groupings of fruit trees are proposed on the north side of the street. In addition to a formal community park space and trails in and through wetland areas, the landscape plan features stone walls, decorative street lights and abundant additional landscaping around and between the living units. The Natural Resource Planner has noted two invasive plants on the proposed planting list and staff recommends substitutions be made for those two particular species. In addition, as noted in 411.3, above, the Natural Resources Planner recommends his review of all proposed modifications and plantings within the wetlands. Specific plans for perimeter plantings and for Phase 2 plantings have been submitted. The applicant indicates that the Phase 2 landscape plan will be typical of plans for later phases. Staff recommends that the Board's approval include a condition for staff review and approval of detailed landscaping plans prior to start of construction for each phase. The Board finds the provisions of section 411.15 are satisfied with the following conditions: 1) that, prior to the start of each phase, a detailed landscape plan for that phase satisfactory to the Director of Planning and Development, shall be submitted, 2) that, prior to modification to any wetland vegetation, plans for such modification, satisfactory to the Natural Resources Planner, shall be submitted and, 3) that prior to issuance of a building permit in Phase 2 a revised landscape plan, satisfactory to the Director of Planning and Development shall be submitted that excludes all known invasive species.

411.16 Municipal Solid Waste Disposal

The Town Engineer recommends assessment of a Solid Waste impact fee of \$21,719.04. The Board finds that the provisions of section 411.16 are satisfied with the condition that, prior to issuance of a building permit within each phase, the Solid Waste Impact fee for that phase shall be paid in accordance with the following schedule:

Phase 2	\$2,068.46
Phase 2A	775.68
Phase 3	5,688.32
Phase 4	517.12
Phase 5	1,809.92
Phase 6	2,068.48
Phase 7	2,844.16
Phase 8	1,809.92
Phase 9	3,619.84
Phase 10	2,844.16

411.17 Recreational Needs

The Recreation Commission is scheduled to review the project at its meeting on 4/21/04 and staff recommends the Board's approval include a condition that the recommendations of the Recreation Commission be implemented. The Board notes that revisions to the Recreation Impact Fee formula are pending and that, should those revisions result in a lesser fee for this

project, that lesser fee shall be assessed and any overpayment made by the applicant shall be refunded by the Town. The Board finds the provisions of section 411.17 are satisfied with the condition that the recommendations of the Recreation Commission shall be implemented and that any fee assessed by them shall be paid with the understanding that should pending revisions to the Recreation Impact Fee formula result in a lesser fee, that fee shall be assessed and any overpayment made by the applicant shall be refunded by the Town.

411.18 Access for Persons with Disabilities

The plan for Botany Place Drive calls for wheelchair-accessible curbing at the proposed crosswalk at the end of Road Phase A. The applicant is responsible for complying with any applicable provisions of the Americans with Disabilities Act during the building permit process. Wheelchair access ramps are typically approved by the Planning Staff as a minor modification upon request. The Board finds that the provisions of section 411.18 are satisfied.

411.19 Financial Capacity and Maintenance

Estimated cost of the project is \$30 million. The applicant intends to finance the project through Gardiner Savings Bank and has submitted a copy of a letter from that institution indicating its expectation of providing financing.

The applicant has submitted draft condominium documents which establish the ownership and maintenance mechanisms for the common areas and facilities. These documents are under review by the Town Attorney. The Board finds the provisions of section 411.19 are satisfied with the condition that, prior to issuance of a building permit, the recommendations of the Town Attorney with regard to the condominium documents shall be incorporated into those documents.

411.20 Noise and Dust

After completion of construction, levels of Noise and Dust are not expected to surpass what would be expected from this permitted use. The Board finds that the provisions of 411.20 are satisfied.

411.21 Right, Title and Interest

The applicant has submitted copies of deeds or purchase and sales agreements for the subject parcels. The Board finds the provisions of 411.21 are satisfied.

**DRAFT MOTIONS - BOTANY PLACE SUBDIVISION
PLANNING BOARD FINAL CONDITIONS OF APPROVAL
4/13/03**

That the Board waive the following submission requirements:

**Location of Trees 10" or Greater
High Intensity Soils Survey
Plan/Profile of Existing Roads
Stormwater Management Calculations**

That the Final Plan be deemed complete.

That the Final Plan be approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant's representatives, reviewing officials and members of the public as reflected in the public record and that any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. That, prior to start of construction of the Phase 5 detention pond, the applicant shall submit engineering details, satisfactory to the Natural Resources Planner, that minimize the potential for dewatering of adjacent wetlands.
3. That, prior to modification to any wetland vegetation, plans for such modification, satisfactory to the Natural Resources Planner, shall be submitted.
4. That, prior to start of construction of Phase 2, a revised condominium plan, satisfactory to the Director of Planning and Development, shall be submitted showing: 1) private road names as approved by the Assessor, 2) bicycle and pedestrian easement boundaries that include the sidewalk, bicycle path and private road section.
5. That, prior to start of construction for each development phase, the following additional plans and information for that phase, satisfactory to the Town Engineer and Director of Planning and Development, shall be submitted: a) revised circulation plans showing private road names, revised parking and vehicular circulation details and the design and location of parking regulation, street name and stop signs, b) landscape plan (including a modified Phase 2 landscape plan eliminating all known invasive species), c) stormwater management calculations

and, d) a stormwater management system maintenance plan.

6. That, prior to start of construction of each development and/or road phase, a financial guarantee, acceptable to the Town Manager, for construction of the traffic, stormwater management and utility infrastructure, including associated landscaping and inspection fees, for that phase shall be submitted except that such financial guarantee shall be submitted for both Road Phase B and C prior to start of construction of Road Phase B.

7. That, prior to issuance of a building permit within each phase, the Solid Waste Impact fee (\$258.56 per unit) shall be paid in accordance with the following schedule:

Phase 2	\$2,068.46,	Phase 2A	775.68
Phase 3	5,688.32	Phase 4	517.12
Phase 5	1,809.92	Phase 6	2,068.48
Phase 7	2,844.16	Phase 8	1,809.92
Phase 9	3,619.84	Phase 10	2,844.16

8. That the recommendations of the Recreation Commission shall be implemented and that any fee assessed by them shall be paid with the understanding that should pending revisions to the Recreation Impact Fee formula result in a lesser fee, that lesser fee shall be assessed and any overpayment made by the applicant shall be refunded by the Town.

9. That prior to issuance of a building permit, the recommendations of the Town Attorney with regard to the condominium documents shall be incorporated into those documents.

10. That the recommendations of the Town Engineer, contained in his letter dated 4/9/04 shall be implemented and that, prior to issuance of a building permit for Phase 2, the Maine Street Sidewalk Impact fee of \$12,000 shall be paid.

11.* That, prior to start of construction of Road Phase A, revised plans, satisfactory to the Director of Planning and Development, Town Engineer and Police Chief, showing a public vehicular connection between Botany Place Lane and Barrows Street shall be submitted.

* Adoption of condition #11 will require modification or elimination of other conditions relating to the bicycle and pedestrian easement.

To: Scott Howard, Botany Place LLC
From: Phil Carey, Planner
Date: 4/14/04
Re: Case No. 03-164, Botany Place Subdivision

AGENDA SUMMARY

The Board will review and take action on the **Final Plan** application by Botany Place LLC to construct **93 new residential condominium units** on parcels totaling 24.48 acres located between 318 Maine Street and 65 Baribeau Drive (**Assessor's Map U19/Lots 1, 2, 2A, 2C, 6E (part), 14, 47 and Map U-20/ Lots 1, 47(part) and 81** in the R4 Zone.

BOARD ACTION

At its meeting on 4/13/04, the Planning Board voted unanimously to approve the Botany Place Subdivision application with the following conditions:

1. **That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant's representatives, reviewing officials and members of the public as reflected in the public record and that any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.**
2. **That, prior to start of construction of the Phase 5 detention pond, the applicant shall submit engineering details, satisfactory to the Natural Resources Planner, that minimize the potential for dewatering of adjacent wetlands.**
3. **That, prior to modification to any wetland vegetation, plans for such modification, satisfactory to the Natural Resources Planner, shall be submitted.**
4. **That, prior to start of construction of Phase 2, a revised condominium plan, satisfactory to the Director of Planning and Development, shall be submitted showing: 1) private road names as approved by the Assessor, 2) bicycle and pedestrian easement boundaries that include the sidewalk, bicycle path and private road section.**
5. **That, prior to start of construction for each development phase, the following additional plans and information for that phase, satisfactory to the Town Engineer**

and Director of Planning and Development, shall be submitted: a) revised circulation plans showing private road names, revised parking and vehicular circulation details and the design and location of parking regulation, street name and stop signs, b) landscape plan (including a modified Phase 2 landscape plan eliminating all known invasive species), c) stormwater management calculations and, d) a stormwater management system maintenance plan.

6. That, prior to start of construction of each development and/or road phase, a financial guarantee, acceptable to the Town Manager, for construction of the traffic, stormwater management and utility infrastructure, including associated landscaping and inspection fees, for that phase shall be submitted except that such financial guarantee shall be submitted for both Road Phase B and C prior to start of construction of Road Phase B.

7. That the Solid Waste Impact fee of \$24,046.08 is hereby assessed and that, prior to issuance of a building permit within each phase, the Solid Waste Impact fee (\$258.56 per unit) shall be paid in accordance with the following schedule:

Phase 2	\$2,068.46,	Phase 2A	775.68
Phase 3	5,688.32	Phase 4	517.12
Phase 5	1,809.92	Phase 6	2,068.48
Phase 7	2,844.16	Phase 8	1,809.92
Phase 9	3,619.84	Phase 10	2,844.16

8. That the recommendations of the Recreation Commission shall be implemented and that any fee assessed by them shall be paid with the understanding that should pending revisions to the Recreation Impact Fee formula result in a lesser fee, that lesser fee shall be assessed and any overpayment made by the applicant shall be refunded by the Town.

9. That the recommendations of the Town Engineer, contained in his letter dated 4/9/04 shall be implemented and that, prior to issuance of an occupancy permit for Phase 2, the Maine Street Sidewalk Impact fee of \$11,300 shall be paid.

10. That, prior to commencement of construction of Phase 2, the Natural Resources Planner shall revisit the site and provide an updated report regarding wetland delineation and the possible presence of vernal pools. This report shall be provided to the Planning Board, Maine D.E.P., the applicant and members of the public.

Congratulations on your approval. We look forward to working with you to satisfy your conditions of approval.

Pc: Theo Holtwijk, Dir. of Plan. and Dev.
Jeff Hutchinson, Codes Enforcement Officer
John Foster, Town Engineer
Charlie Wierciński, Sitelines

12/20/10 for Botany Place
by reappraisal

**BRUNSWICK PLANNING BOARD
TUESDAY, APRIL 13, 2004**

MEMBERS PRESENT: Rita Worthing, Carol Liscovitz, Charlie Frizzle, Margaret Wilson, Austin Treworgy, Dana Totman

STAFF PRESENT: Phil Carey

OTHERS PRESENT: Charles Poole, Frank Slinger, Judith Kamin, Lisa Fink, Jane Hauptman, R D McQueeney, Jean LaClair, Rita Bernier, Jan Vaganis, Robert Eggleston, Chuck Starbird, Elizabeth Dorsey, Jay Knoll, Dennis Hoey, Winfield Benner, Bronwyn Sale, Richard Lord, John Foster, Scott Howard, Charlie Wiercinski, Frank Cushing, Todd Worthley, Rene Lewallen, Kenneth Lewallen, Matthew Yost

A meeting of the Brunswick Planning Board was held on Tuesday, April 13, 2004 at the Municipal Meeting Facility on McKean Street. Chairman Rita Worthing called the meeting to order at 7:15 p.m. and introduced the Board and staff members.

Case No. 03-164 Botany Place Subdivision

The Board will review and take action on the Final Plan application by Botany Place LLC to construct 95 residential condominiums on parcels totaling 24.48 acres located between 318 Maine Street and 65 Baribeau Drive (Assessor's Map U19/Lots 1, 2A, 2C, 6E, 14, 47 and Map U-20/Lots 1, 47 (part) and 81) in the R4 Zone.

Phil Carey presented a summary of the findings on the subdivision application.

Charlie Wiercinski addressed the Planning Board and acknowledged that a lot of time has been spent on this project. He introduced the developer and other staff people present with him this evening. He made reference to the Staff Review Committee meeting and correspondence from Lisa Fink and John Foster, Town Engineer.

It was noted that the applicant feels that the wetlands have been correctly delineated and that there are two detention ponds. Regarding erosion control, there is a containment of soils and surface water flow, none of which will leave the project. They will go to drainage ponds on the southern corner of the property. The applicant will be meeting with the Recreation Commission next week and are not anticipating a fee to be computed at this point.

Parking on the south side of Botany Place Drive is anticipated to be allowed. Commander Desjardins of the Police Dept. and Clark Labbe of the Fire Dept. have verified that the street is adequate to accommodate this.

Dana Totman applauded the Staff and the developer for the amount of good information that has been submitted. He felt that it is exciting to have a Smart Growth project here and acknowledged that this is difficult for the developer. Regarding the Barrows Street

exit, he agrees with the applicant's plan and did not feel a need for an entrance to the development here. He questioned how many bedrooms there are and whom the project is targeted for.

Scott Howard addressed the Planning Board and acknowledged that this has not been an easy process and has had continuous negotiations from Day 1. He said that the plans submitted are basically two bedroom units, but does have some second story units that have optional rooms, which could be bedrooms. He said that all of the market research, pre-sales, etc. indicate that the vast majority of the buyers will be empty nesters.

Dana Totman referred to the issue of phasing and said that it seems to him that adequate oversight will be provided to accommodate subsequent phasing, and that the project should be approved in its entirety. In reference to impact fees, he noted that these drive up the costs tremendously and hoped that a lot more requirements will not be added to make it more expensive. He expressed hope that at least a few units would be able to be classified as affordable housing.

Dana Totman then asked for more clarification on the Town Engineer's comments, which Charlie Wiercinski highlighted for him. He addressed each item point by point for the Board. John Foster noted that there are a number of issues that need to be agreed to, one of which is trash pick-up. He said that this should be addressed by the Town and its contract but didn't feel this could be addressed here. He said that the sidewalk on Maine Street seems to be a major issue to be addressed, as well as several other technical issues.

Margaret Wilson expressed surprise over the requirement to put a sidewalk from the property out to Barrows and asked if the sidewalk is still in the plan. Phil Carey confirmed this. Margaret Wilson questioned the need for this. Phil Carey explained that the Bicycle and Pedestrian Advisory Committee is hoping to have this connection and would be an extension of a sidewalk. Margaret Wilson asked if the applicant is willing to bear this cost, which was confirmed. Phil Carey said that it is Staff's opinion that without this project, there would be no need for a sidewalk there. He said that the project is creating a need for this. Scott Howard concurred that they are willing to help accommodate bicycle and pedestrian safety and said that they have worked hard to meet design and safety standards within the project. He reiterated that they are more than willing to pay their fair share and said that they don't have any major problems with John Foster's recommendations, but would like to come to mutually agreed-to solutions on some of these issues. He asked for good judgment and fair treatment.

Carol Liscovitz agreed that the bicycle and pedestrian connection would be needed and said that she has been weighing these issues carefully since the workshop on this project and felt that vehicular circulation should be limited to Maine Street and Baribeau Drive. She asked how the phasing of the street Sections A, B and C would work. John Foster gave a brief overview of the phasing from the plan for the Planning Board.

Charlie Frizzle referred to the connection to Barrows and felt that a good argument could be made for the need to do this. He didn't personally feel that any of the arguments

raised overrode the concerns and supported the plan as proposed and acknowledged that it meets the connectivity requirements of the ordinance. In regards to phasing of the project, he referred to Steve Walker's memo and said that he would not favor separate approval of each phase. He felt that the issues in the Town Engineer's memo can be worked out between the Town Engineer and the developer.

Margaret Wilson agreed that there are a lot of things about this project that are very exciting from a growth perspective. She also applauded the amount of time that has been put into making this an excellent plan. She said that what she doesn't like about the project is the façade of garages, which has been minimized. She agreed with neighbors that felt the vehicular access through Barrows is not appropriate. She said that she is also satisfied on the wetlands issues and does not see a need for deferring the phasing plan. She acknowledged concerns on the stormwater management issue, which Phil Carey addressed for her and explained the process of how this will be dealt with at the State level. He felt that review from the State will address the local concerns regarding quality and said that the quantity is the same as the State's. He assured her that this will be adequately addressed through various measures which will need to satisfy the Planning staff and if not, it will be brought back to the Planning Board.

Rita Worthing agreed that the Baribeau connection is the way to go and also applauded the applicant for the work they have done to meet the connectivity requirements. She also felt that the sidewalk is a mandate and needs to be done. She inquired about the issue raised by Rick Baribeau in regards to siting of the project and was assured that his concerns have been assuaged. She then opened the meeting to the public for comment.

Lisa Fink addressed the Planning Board and thanked Scott Howard for developing an access proposal that meets the connectivity requirements as well as addressing the neighbors' concerns. She said that they do have concerns regarding wetlands and runoff. She pointed out that a wetlands study was done one day in early spring and then another study that shows another completely different area. She referred to neighbors' concerns with flooded basements. She felt that this issue needs more study and did not feel that it would impact the developer's plans to do this. She questioned under the ordinance if the Planning Board has the authority to grant the waiver and cited a section of the ordinance in reference to the stormwater management plan. She said that their point is regarding phases, and questioned what would be the harm to wait in approving these units. She felt that there are too many unanswered questions to approve this development. She then pointed out that this Planning Board process is the only true protection for the neighborhood and observed that the Board cannot do this in a vacuum without all of the required information. She reiterated that granting of the requested waivers would be inappropriate and asked the Planning Board to delay their decision.

Jane Hauptman addressed the Planning Board and referred to the wetlands report and the memo from Steve Walker. She felt that the report has a lot of inconsistencies. It was not perceived that adequate testing for animal presence was accomplished. She pointed out that they still have flooded basements in the spring and felt that building on an area that is already extremely wet will just aggravate the situation. She requested a thorough,

unbiased study by the State DEP during breeding season and said that this season is coming up.

Bronwyn Sale stated that she just bought the property and is very happy with it. She said that she is extremely concerned about drainage and wetland issues and hasn't live there long enough yet to know if it is a problem but wants to ensure that this issue is addressed adequately based on the concerns that have been raised.

Hearing no further comments, Rita Worthing went back to the Board for further comments.

Charlie Frizzle expressed support for Steve Walker's response to the wetlands issue and explained that this process will require DEP review, which is even more thorough than at the Planning Board level, and said that this issue is also addressed with Condition Number 5. He explained that they are not giving carte blanche approval without appropriate review.

CHARLIE FRIZZLE MADE A MOTION THAT THE BOARD WAIVE THE FOLLOWING SUBMISSION REQUIREMENTS:

**LOCATION OF TREES 10" OR GREATER
HIGH INTENSITY SOILS SURVEY
PLAN/PROFILE OF EXISTING ROADS
STORMWATER MANAGEMENT CALCULATIONS**

THE MOTION WAS SECONDED BY MARGARET WILSON AND WAS PASSED UNANIMOUSLY.

CHARLIE FRIZZLE MADE A MOTION THAT THE FINAL PLAN BE DEEMED COMPLETE, WHICH WAS SECONDED BY DANA TOTMAN AND WAS PASSED UNANIMOUSLY.

AUSTIN TREWORGY MADE A MOTION THAT THE FINAL PLAN BE APPROVED WITH THE FOLLOWING CONDITIONS:

- 1. THAT THE BOARD'S REVIEW AND APPROVAL DOES HEREBY REFER TO THESE FINDINGS OF FACT, THE PLANS AND MATERIALS SUBMITTED BY THE APPLICANT AND THE WRITTEN AND ORAL COMMENTS OF THE APPLICANT'S REPRESENTATIVES, REVIEWING OFFICIALS AND MEMBERS OF THE PUBLIC AS REFLECTED IN THE PUBLIC RECORD AND THAT ANY CHANGES TO THE APPROVED PLAN NOT CALLED FOR IN THESE CONDITIONS OF APPROVAL OR OTHERWISE APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT AS A MINOR MODIFICATION SHALL REQUIRE**

REVIEW AND APPROVAL IN ACCORDANCE WITH THE
BRUNSWICK ZONING ORDINANCE.

2. THAT, PRIOR TO START OF CONSTRUCTION OF THE PHASE 5
DETENTION POND, THE APPLICANT SHALL SUBMIT
ENGINEERING DETAILS, SATISFACTORY TO THE NATURAL
RESOURCES PLANNER, THAT MINIMIZE THE POTENTIAL FOR
DEWATERING OF ADJACENT WETLANDS.
3. THAT, PRIOR TO MODIFICATION TO ANY WETLAND
VEGETATION, PLANS FOR SUCH MODIFICATION,
SATISFACTORY TO THE NATURAL RESOURCES PLANNER,
SHALL BE SUBMITTED.
4. THAT, PRIOR TO START OF CONSTRUCTION OF PHASE 2, A
REVISED CONDOMINIUM PLAN, SATISFACTORY TO THE
DIRECTOR OF PLANNING AND DEVELOPMENT, SHALL BE
SUBMITTED SHOWING: 1)PRIVATE ROAD NAMES AS
APPROVED BY THE ASSESSOR, 2)BICYCLE AND PEDESTRIAN
EASEMENT BOUNDARIES THAT INCLUDE THE SIDEWALK,
BICYCLE PATH AND PRIVATE ROAD SECTION.
5. THAT, PRIOR TO START OF CONSTRUCTION FOR EACH
DEVELOPMENT PHASE, THE FOLLOWING ADDITIONAL PLANS
AND INFORMATION FOR THAT PHASE, SATISFACTORY TO THE
TOWN ENGINEER AND DIRECTOR OF PLANNING AND
DEVELOPMENT, SHALL BE SUBMITTED: A)REVISED
CIRCULATION PLANS SHOWING PRIVATE ROAD NAMES,
REVISED PARKING AND VEHICULAR CIRCULATION DETAILS
AND THE DESIGN AND LOCATION OF PARKING REGULATION,
STREET NAME AND STOP SIGNS, B)LANDSCAPE PLAN
(INCLUDING A MODIFIED PHASE 2 LANDSCAPE PLAN
ELIMINATING ALL KNOWN INVASIVE SPECIES),
C)STORMWATER MANAGEMENT CALCULATIONS AND, D)A
STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN.
6. THAT, PRIOR TO START OF CONSTRUCTION OF EACH
DEVELOPMENT AND/OR ROAD PHASE, A FINANCIAL
GUARANTEE, ACCEPTABLE TO THE TOWN MANAGER, FOR
CONSTRUCTION OF THE TRAFFIC, STORMWATER
MANAGEMENT AND UTILITY INFRASTRUCTURE, INCLUDING
ASSOCIATED LANDSCAPING AND INSPECTION FEES, FOR THAT
PHASE SHALL BE SUBMITTED EXCEPT THAT SUCH FINANCIAL
GUARANTEE SHALL BE SUBMITTED FOR BOTH ROAD PHASES
B AND C PRIOR TO START OF CONSTRUCTION OF ROAD PHASE
B.
7. THAT THE SOLID WASTE IMPACT FEE OF \$24,046.08 IS HEREBY
ASSESSED AND THAT, PRIOR TO ISSUANCE OF A BUILDING
PERMIT WITHIN EACH PHASE, THE SOLID WASTE IMPACT FEE
(\$258.56 PER UNIT) SHALL BE PAID IN ACCORDANCE WITH THE
FOLLOWING SCHEDULE:

PHASE 2 \$2,068.46
 PHASE 3 5,688.32
 PHASE 5 1,809.92
 PHASE 7 2,844.16
 PHASE 9 3,619.84

PHASE 2A 775.68
 PHASE 4 517.12
 PHASE 6 2,068.48
 PHASE 8 1,809.92
 PHASE 10 2,844.16

8. THAT THE RECOMMENDATIONS OF THE RECREATION COMMISSION SHALL BE IMPLEMENTED AND THAT ANY FEE ASSESSED BY THEM SHALL BE PAID WITH THE UNDERSTANDING THAT SHOULD PENDING REVISIONS TO THE RECREATION IMPACT FEE FORMULA RESULT IN A LESSER FEE, THAT LESSER FEE SHALL BE ASSESSED AND ANY OVERPAYMENT MADE BY THE APPLICANT SHALL BE REFUNDED BY THE TOWN.
9. THAT THE RECOMMENDATIONS OF THE TOWN ENGINEER, CONTAINED IN HIS LETTER DATED 4/9/04 SHALL BE IMPLEMENTED AND THAT, PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT FOR PHASE 2, THE MAINE STREET SIDEWALK IMPACT FEE OF \$11,300 SHALL BE PAID.
10. THAT, PRIOR TO COMMENCEMENT OF CONSTRUCTION OF PHASE 2, THE NATURAL RESOURCES PLANNER SHALL REVISIT THE SITE AND PROVIDE AN UPDATED REPORT REGARDING WETLAND DELINEATION AND THE POSSIBLE PRESENCE OF VERNAL POOLS. THIS REPORT SHALL BE PROVIDED TO THE PLANNING BOARD, MAINE D.E.P., THE APPLICANT AND MEMBERS OF THE PUBLIC.

THE MOTION WAS SECONDED BY CHARLIE FRIZZLE AND WAS PASSED UNANIMOUSLY.

Phil Carey thanked the developer for their hard work on this project and making it a good project, and he thanked the neighborhood for their input and for being civil during the difficult issues that were raised during the review process.

Case No. 04-056 Sgt. James Sears Estates Subdivision

The Board will review and take action on the Sketch Plan application by Kevin Franchetti to construct three duplex buildings (six dwelling units) on a 15.66-acre parcel located on the east side of Moody Road (Assessor's Map 10/Lot 3) in the FF1, APZ2 and NRPZ Zones.

Phil Carey presented an overview of the sketch plan application.

Chuck Starbird addressed the Planning Board and stated that he is the builder. He stated that the rest of the applicants had other Planning Board meetings they had to attend this

evening. He said that a second alternative location for the entrance has been submitted today. He felt that would address both concerns regarding re-alignment.

Charlie Poole addressed the Board and asked about the location of the units in relation to the Natural Resource Protection Zone. He said that he is concerned that the ordinances regarding the zone be adhered to and stated that there are significant wetlands there, which he referred to on the plan. He said that there is a flowing stream through the property year-round and wanted to ensure that these concerns are addressed during the review process.

CAROL LISCOVITZ MADE A MOTION TO DEEM THE SKETCH PLAN COMPLETE, WHICH WAS SECONDED BY CHARLIE FRIZZLE AND WAS PASSED UNANIMOUSLY.

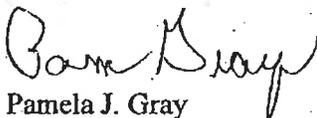
DANA TOTMAN MADE A MOTION TO APPROVE THE SKETCH PLAN WITH THE CONDITION THAT THE BOARD'S APPROVAL DOES NOT EXTEND TO THAT PORTION OF THE ENTRANCE DRIVE LOCATED WITHIN THE MINIMUM 20-FOOT SIDE SETBACK, WHICH WAS SECONDED BY MARGARET WILSON AND WAS PASSED UNANIMOUSLY.

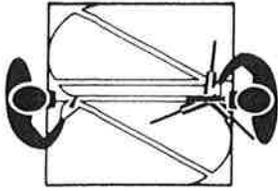
Minutes

DANA TOTMAN MADE A MOTION THAT THE MINUTES OF 3/23/04 BE APPROVED AS AMENDED, WHICH WAS SECONDED BY CHARLIE FRIZZLE AND WAS PASSED UNANIMOUSLY.

The meeting was adjourned at 9:45 p.m.

Respectfully Submitted,


Pamela J. Gray
Recording Secretary



November 15, 2004

992-7

Phil Carey, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Botany Place, LLC
Amended Condominium Plan
Phase 2A, 3 & 4 Construction & Landscaping Plans**

Dear Phil,

Enclosed please find revised plans for the Botany Place project for your review and approval, as necessary. We have just received the approved MDEP Site Location Order and are prepared to begin construction on additional phases immediately. The plans and a summary of revisions for each are listed below.

Amended Condominium Plan

- Detention/Treatment ponds have been removed from Phases 5 & 8, a larger wet pond has been added in Phase 3. This necessitated the re-alignment of units in Phases 3 and 8, with a reduction in the total number of units shown from 99 to 97. The Phase line between Phases 6 & 8 has been adjusted to accommodate the re-alignment of units in Phase 8. Unit numbers throughout the project have been revised accordingly.
- As a result of adding a central mailbox and pull out area along Fiddlehead Farm Trail in Phase 3, the sidewalk and therefore the Public Pedestrian and Bicycle Easement has been realigned. The Line and Curve Tables have been revised accordingly.
- The 15' Pedestrian Easement to the Perry property has been slightly re-aligned to fit with the modifications within Phase 4.
- Added General Note 9, regarding total wetland impact for the project.
- Added pedestrian path and picnic areas in Phase 4.

We trust that these minor modifications can be approved by the Director of Planning and Development pursuant to Section 407.7 of the Ordinance. We have enclosed mylar copies for signature and recording.

SITES LINES

ENGINEERS ■ SURVEYORS ■ 8 Cumberland Street ■ Brunswick, ME 04011 ■ 207-725-1200 ■ FAX 725-1114

Roadway Design Modifications – Botany Place Drive

- Revised centerline grades to balance site work cut and fills, to provide adequate cover to drainage structures and provide sufficient slope to maintain positive surface drainage.
- Modified drainage piping to outlet to new pond location.
- Modified water and sewer piping to avoid conflicts with other utilities.
- Relocated Underground electrical, telephone and cable conduits to southerly side of roadway and underneath sidewalk.

Phase Construction Drawings

Per the Conditions of Approval, detailed site plans are enclosed for Phases 2A, 3 & 4, which show grading, finish floor elevations for units, utility connections, traffic patterns, street names, as well as on-street and driveway parking where space permits.

- Phase 2A – Modifications of unit elevations, as well as surface and street grading.
- Phase 3 - Added pond, adjusted private street location and adjusted unit locations.
- Phase 4 - Units and road have been re-configured with the new location of the existing house that is being moved.

Landscape plans for each Phase have been prepared by Frank Cushing and care has been taken to avoid invasive species.

We have provided a copy of these materials to the Town Engineer for his review of stormwater management. However, our office coordinated with Mr. Foster for endorsement of the stormwater management program prior to submission to DEP and he has also received full copies of DEP submissions for review.

Due to liability issues and the unknown direction of the recreational impact fees imposed on Botany Place, the developer and condominium owners association will be maintaining the parks, picnic areas, trails and pond for residents and guests only. Obviously the public right-of-ways, sidewalks, bicycle paths and related easements are still provided.

Should you have any questions, please call.

Very truly yours,



Kevin P. Clark, PLS

Enclosures

cc: John Foster
Scott Howard
Todd Worthley



03-164,



Carefree Neighborhood Living

file

Dear Botany Place Neighbor,

November 15, 2004

We would like to update you on the progress of the Botany Place development. Sales of Botany Place homes in Phases 1 and 2 have been very successful with new neighbors living in Phase 1 and new owners moving into Phase 2 late November/early December. We have pre-sales in Phases 2A, 3 and 4. The new owners and buyers include new Brunswick residents and existing Brunswick area residents looking for the in-town, maintenance free living in a great neighborhood area.

On November 3, 2004 we received the State of Maine Department of Environmental Protection site location permit for Botany Place with some minor changes to the Master Plan approved April 13, 2004 by the Brunswick Planning Board: the stormwater management system required a larger detention basin and was relocated from the southeast side of the large wetland area to the northeast corner of the project; the total number of planned single homes, duplex homes and four unit condominiums changed from 99 to 97. The revised Master Plan is enclosed.

Botany Place surveyors will soon begin flagging the perimeter boundary lines to help alert abutters to the property line in preparation of future construction phases. The extensive stormwater management system has been designed to control water runoff that requires close to property line cutting and landscaping. We will be planting new perimeter boundary trees. The landscaping plans for the pond, park and all buildings are quite extensive and on file with the Town Planning Department.

We would ask all abutters to assist us in preparing for the construction by immediately removing all structures, debris, fences, boats and other household items from the Botany Place property. Phase 3 and 4 construction of Botany Place Drive, the detention pond, tree cutting and composting and re-location of 'Sam's House' at 25 Botany Place will begin shortly.

Botany Place will also remove a causeway across the wetland area formerly referred to as Sparwell Creek and replacing it with a bridge that connects the nature trail to improve water flow. The Building Resources, Inc. (BRI) construction office will be re-located to the common garden area in Phase 2. This will allow construction of three new homes in Phase 2A and two new homes in Phase 4. Construction of eight new homes in Phase 2 will be completed between November and March. A very busy winter!

We will try to keep you informed of our plans, but please advise us if there are any questions. We appreciate your patience and understanding during this development process. We will work hard to minimize the construction impact on our neighbors.

Sincerely,

Scott D. Howard

✓ Cc: Theo. H.B.M. Holtwijk, Brunswick Director of Planning and Development

03-1664



Carefree Neighborhood Living

April 20, 2005

Dear Botany Place Neighbor,

We would like to update you on the progress of the Botany Place development. Sales of Botany Place homes have been very successful with new neighbors now living in Phases 1 and 2. We have pre-sales in Phases 2A, 3 and 4. New building construction in 2005 is expected to be limited to these phases. Site preparation will continue in some of the other phases.

We will be planting 12' to 16' evergreen trees to provide privacy screening in the next week or two along the McMillan Drive and Barrows Street property lines abutting Botany Place. The public water, sewer and other underground utilities are currently being installed in Phases 3 and 4. The public and private roads in these phases will be completed with binder paving over the next couple of months. The water garden/retention pond in Phase 3 will be landscaped and completed in May.

We met with some McMillan Drive neighbors on April 19 to discuss their concerns regarding construction vibrations and recent water intrusion in some of their basements. Tom Sturgeon, Chief Engineer from Harry C. Crooker & Sons, Todd Worthley, Architect/General Contractor from Building Resources Inc., Jeff Hutchinson, Brunswick Codes Enforcement Officer, and I provided information on the Botany Place construction techniques and the recent weather related water intrusion issues.

Botany Place uses normal standard construction practices (e.g. no blasting). It was explained that while the vibrations are clearly felt by the neighbors closest to the road construction it is the opinion of professional engineers and hydrologists that this type of construction would not be causing water intrusion or structural damage to the neighboring homes. It was surmised that the late March/early April weather and ground conditions combined to create an unusual amount of standing ground water and the first ever water intrusion into many Brunswick area basements. Some of the contributing factors included:

- above average 100+ inches of winter snow
- heavy early spring 4+ inch rain (25+ year storm)
- deep frost still in the ground
- 15+ year high water table

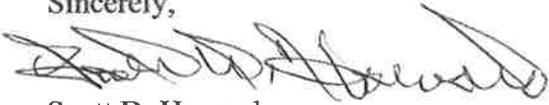
In addition, the homes in the McMillan Drive area have a storm water drainage system that connects to the Brunswick Sewer District system. This is not a standard system nor is it allowed under current Town or Sewer District policies. Repair bids for this McMillan Drive storm water system are currently being requested. The combination of very unusual weather conditions, an extremely high water table and an over-taxed storm water drainage system very likely contributed to the standing ground water, foundation pooling and the water intrusion issues experienced in many Brunswick area homes.

We will take the following steps to address the Botany Place neighbors' ongoing construction concerns:

1. Harry C. Crooker & Sons will place a seismograph recorder next to the nearest Phase 3 neighbor's foundation during road compacting; each neighbor must provide us written permission to place this equipment on their property; this equipment can only record vibrations above a minimum level, which is usually below road construction compacting.
2. Harry C. Crooker & Sons will use a smaller roller to reduce the intensity of the vibrations; however, this will prolong the time needed to compact the roads to the required standards.
3. Botany Place, its contractors and the Town will carefully monitor the retention pond and storm water drainage system to ensure it is functioning properly during and after rain storms.

We appreciate your patience and understanding. We will continue to work hard to minimize the construction impact on our neighbors.

Sincerely,



Scott D. Howard

Cc: Don Gerrish, Brunswick Town Manager

Theo. H.B.M. Holtwijk, Brunswick Director of Planning and Development

Todd Worthley, President, Building Resources, Inc.

Tom Sturgeon, Chief Engineer, Harry C. Crooker & Sons

Jeff Hutchinson, Brunswick Codes Enforcement Officer

**BRUNSWICK PLANNING BOARD
TUESDAY, JANUARY 4, 2011**

MEMBERS PRESENT: Chairman Charlie Frizzle, Vice Chair Margaret Wilson, Jeff Peters, Dana Totman, Richard Visser and Steve Walker

STAFF PRESENT: Anna Breinich and Kris Hultgren

A meeting of the Brunswick Planning Board was held on Tuesday, January 4, 2011 at the Municipal Meeting Facility at Maine Street Station, 16 Station Ave. Chairman Charlie Frizzle called the meeting to order at 7:00 P.M.

Public Hearing: Zoning Ordinance Amendment – The Planning Board will hold a public hearing to review a Zoning Ordinance Amendment request by First Wave Media to expand the town's telecommunication overlay zone.

Zoning Ordinance Amendment delayed as requested by applicant.

No. 10-029, Site Plan and Subdivision Reapproval: Botany Place, LLC – The Planning Board will review and take action on a request by Botany Place, LLC to reapprove the site plan and subdivision plan for Botany Place Condominiums located between 318 Maine Street and 65 Baribeau Drive (Assessors Map U19 Lot 2) in the Residential 4 Zoning District.

Kris Hultgren began by stating that Botany Place, LLC was back for a site plan and subdivision reapproval; they were originally approved on April 13, 2004; 4 out of 10 phases have been completed. Kris stated that Section B of the proposed road going through the development will be completed in 3 phases per agreement with the applicant and the Public Works Director. Kris also noted that the applicant is also working with the town in organizing their Performance Bond documentation; the Public Works Director asked that this be a condition of reapproval.

Kevin Clark from Sitelines stated that the significant changes in phase 5 are that the number of units will go from 7 to 6 and noted that in the original plans was a unit in the center of the roadways which has been moved to the side and that area is now an open space and stormwater collection area. Margaret Wilson reviewed the proposed phase changes to the roadway and Kevin stated that the change allows the applicant to construct the roadway as units are developed.

Richard Visser asked why they changed the quadraplex with a triplex and Scott Howard, owner, stated that because of the economy they wanted to make minor changes with high return. They decided that with 3 units, they could provide more footprint per unit and more windows to appeal to the marketplace. Richard asked, per concerns at the original approval, if they have had any problems with stormwater; Scott stated that they had to do further drainage/crushed stone behind Phase 3 from a washout this past spring. He also stated that behind Phase 5 there have been issues so they installed another catch base along Zeitler Farm. In the areas where construction has been completed they have had no issues.

Margaret Wilson stated that she is an abutter to Phase 7 and asked if there were any concerns with her continuing to participate in this review; there were no concerns and Scott Howard stated that he did not have any problem.

Margaret Wilson asked about the dirt piles; Scott Howard stated that some of the dirt will be used and some is storage from Crooker and Sons which will be removed. Margaret asked if the application was being approved given the dates that applicant has stated and Kris Hultgren replied that they are requesting site plan reapproval because the 5 year time frame has passed. Charlie Frizzle stated that the applicant will need to come back to the board for a site plan extension if they have not completed construction in another 5 years. Dana Totman clarified that if the developer sells all the units in the next 5 years then they will not need to come back, but if they are not complete, they will need an extension. Margaret Wilson asked if all the conditions from the original approval have been met and Kris noted that they have met all applicable conditions. Steve Walker asked if the landscaper can change out the Euyonomous plant as it has become invasive; Kevin Clark said that he did not see a problem with this request.

Dana Totman asked if the calculation of the impact fees has been satisfactorily negotiated between all parties; Scott Howard stated yes. Scott said that he paid all the impact fees for phases 5 and 6 three years ago but may be asking for a reduction since they will be reducing the number of units.

Chairman Charlie Frizzle opened the meeting to public comment.

Jeanne D'ARC Mayo, abutter to Phase 5, stated that the area was cleared in 2006 and became a serious concern because during heavy rain, there was enough water to flood their back garden. She stated that after speaking with Kevin Clark she appreciates that there is going to be a catch basin and other stormwater runoff management implemented. She wishes to go on record that their back garden has been destroyed; trees which were properly installed with soaker hoses have been found with the soaker hoses floating. Mrs. Mayo stated that she will be watching to assure that the water drainage issues are taken care of.

Chairman Charlie Frizzle asked if there were any other comments. Hearing none, the public comment period was closed.

Margaret Wilson asked for Kevin Clark to speak about where the drainage is going to be located. Kevin responded that they are extending the drainage pipe to go to the rear of the Mayo property and drainage ditches will be built as construction proceeds through the phases. Anna Breinich stated that staff can bring the drainage issue to the Town Engineer. Anna noted that Mrs. Mayo can contact John Foster herself if she feels that the issue is not being taken care of. Anna also told Mrs. Mayo that she can follow-up with the Planning Department via email after stating her concern in writing; she can copy John Foster. Kevin Clark stated that they did meet with John Foster to review the plans and that they do have a DEP water site permit; during construction there will be third party inspectors on site. Charlie Frizzle stated that he was aware that John had seen the plans and did approve but stated that he believed the concern lies in what happens if the drainage changes do not work. He believes that Anna outlined for Mrs. Mayo the procedure she would need to follow. Scott Howard stated that after the units are built and sold, they become

property of the Botany Place Condominium Association and drainage outside of the public way becomes their responsibility. Dana Totman asked if at the discussion with John, if he was made aware of the Mayo's issues; was the additional catchbasin explained? Kevin stated that Foster was not specifically told of the Mayo's issues but was told that there was a problem with drainage and with construction there was no natural place for the water to flow.

MOTION BY JEFF PETERS TO REAPPROVE THE SUBDIVISION AND SITE PLAN APPLICATION WITH THE AMENDED CONDITIONS:

- a) **Prior to the start of Phase 5, a performance bond in the amount of \$498,725 shall be submitted to the town.**

SECONDED BY STEVE WALKER, APPROVED UNANIMOUSLY.

Other Business

- Anna Breinich reminded those who may be interested in filling the vacant planning board position to see the Town Clerk.

Minutes

Motion by Margaret Wilson to approve the minutes of November 30, 2010. Seconded by Charlie frizzle, Approved unanimously.

Adjourned

This meeting was adjourned at 7:41 P.M.

Attest



**Tonya D. Jenusaitis
Recording Secretary**



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
28 FEDERAL STREET
BRUNSWICK, ME 04011

ANNA M. BREINICH, AICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

January 14, 2011

To: Scott Howard, Botany Place, LLC
From: Brunswick Planning Board
Subject: Reapproval of Botany Place Subdivision and Site Plan

At the January 4, 2011, Planning Board meeting, the Board voted unanimously (6-0) to reapprove, with conditions, the Botany Place, LLC (03-164) subdivision plan and site plan. The reapproval of the subdivision plan is for five (5) years from the date of reapproval (January 4, 2011). The site plan is reapproved using the phasing timeline as outlined on the reapproved plan. If all phases of the project are not completed in five (5) years from the date of the reapproval (January 4, 2016) the applicant must make a request for a subdivision plan approval extension or, if a request for an extension is not made within 5 years, have the project reapproved by the Planning Board. The conditions for reapproval are as follows:

- a) Prior to the start of Phase 5, a performance bond in the amount of \$498,725 shall be submitted to the town.

Cc Charlie Frizzle, Chair, Planning Board
John Foster, Public Works Director
Jeff Hutchinson, Codes Enforcement Officer
Peter Baecher, Town Arborist



Town of Brunswick, Maine

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT

28 FEDERAL STREET

BRUNSWICK, MAINE 04011-1583

TELEPHONE 207-725-6660

FAX 207-725-6663

April 9, 2013

Scott D. Howard
Botany Place, LLC
P.O. Box 811
Brunswick, Maine 04011

Re: Case 13-013: Botany Place, Phase 6 Minor Modification Request

Dear Mr. Howard,

This letter is in response to your request for a minor modification to Phase 6 of the Botany Place Site Plan (Map U19, Lot 2) for the following changes:

1. Slightly revise footprint for units 45-48 located on Hollyberry Way;
2. Revise footprint and unit configuration of pod containing units 49-52 from a 4 unit to 2 duplex units (no change in density);
3. To name drive into units 49-52 "Ivy Way"; and
4. Revise proposed Phase 6 drainage.

The project area is within the Residential 4 (R4) Zone.

Staff reviewed the application and revisions have been made to the plan based on comments from Public Works Director, John Foster. In addition design changes have been made to reduce the depth of sewer and storm drain pipes. In addition, based on information provided by the applicant, impervious surface is increased by approximately 109 square feet which is acceptable at this phase of development.

Staff finds it to be consistent with the standards of the Zoning Ordinance. The proposed changes are approved under the authority of the Planning & Development Director per Section 403.3.B of the Zoning Ordinance conditioned upon the following:

1. Impact fees shall be paid for all units prior to building permits being issued.
2. Revised landscaping plans and unit addressing for Units 49-52, Ivy Way, shall be provided prior to building permits being issued.
3. An updated stormwater analysis for Botany Place shall be submitted with any additional minor modification requests.

Please contact the Planning & Development Department with questions or concerns regarding this approval.

Thank you,

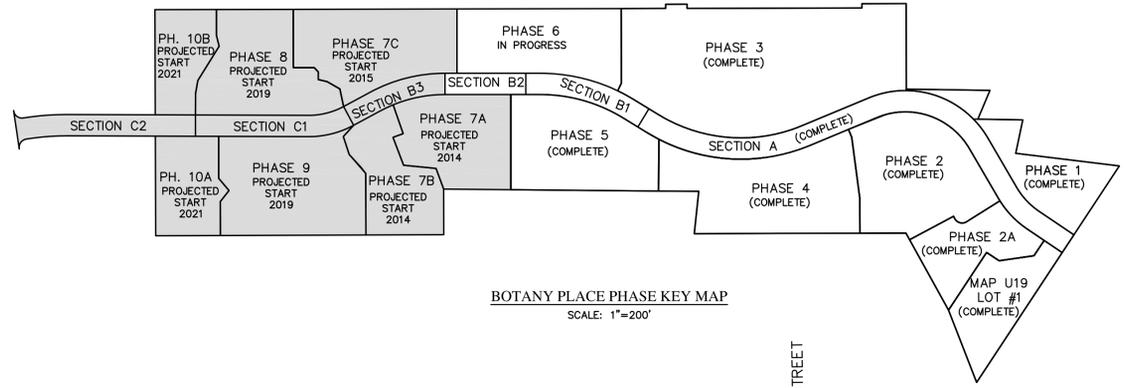
A handwritten signature in black ink, appearing to read "Anna M. Breinich" followed by a stylized flourish.

Anna M. Breinich, AICP

Director

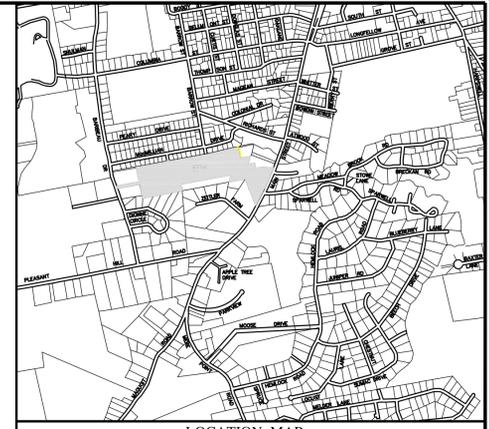
LINE	LENGTH	BEARING
L1	50.00	N33°01'17"E
L2	39.72	N88°57'30"W
L3	27.87	N89°08'55"W
L4	38.28	N89°08'55"W
L5	10.67	S88°59'33"E
L6	73.33	N27°49'57"E
L7	10.00	N00°08'10"W
L8	10.00	S00°08'10"E
L9	10.00	S00°08'10"E
L10	10.00	S00°08'10"E
L11	50.42	N89°51'50"E
L12	10.00	S00°08'10"E
L13	18.74	S00°11'19"E
L14	35.34	N56°29'43"W
L15	83.05	N81°50'45"E
L16	17.55	N33°50'31"E
L17	51.77	S63°31'40"E
L18	98.76	N56°09'29"W
L19	98.46	N56°09'29"W
L20	134.24	N30°22'28"W
L21	134.24	N30°22'28"W
L22	171.18	N67°30'29"E
L23	171.18	N67°30'29"E
L24	67.47	N58°39'50"W
L25	67.47	N58°39'50"W
L26	224.22	S90°00'00"E
L27	224.22	S90°00'00"E
L28	70.83	N61°46'30"E
L29	70.83	N61°46'30"E
L30	9.68	N89°51'50"E
L31	18.00	N89°44'29"W
L32	63.87	S00°08'10"E
L33	13.00	S90°00'00"E
L34	149.42	S00°08'10"E
L35	5.85	S26°56'38"W
L36	48.67	N03°58'33"E
L37	20.48	N22°36'56"E
L38	179.05	N00°08'10"W

CURVE	LENGTH	RADIUS
C1	78.75	175.00
C2	101.25	225.00
C3	322.47	225.00
C4	250.81	175.00
C5	352.31	375.00
C6	399.28	425.00
C7	232.44	425.00
C8	205.10	375.00
C9	184.73	375.00
C10	160.10	325.00
C11	86.78	175.00
C12	111.57	225.00
C13	92.37	625.00
C14	84.70	575.00
C15	31.67	20.00
C16	31.81	20.00
C17	90.64	2831.79
C18	51.52	109.00
C19	10.40	19.00
C20	42.04	375.00
C21	15.97	14.00



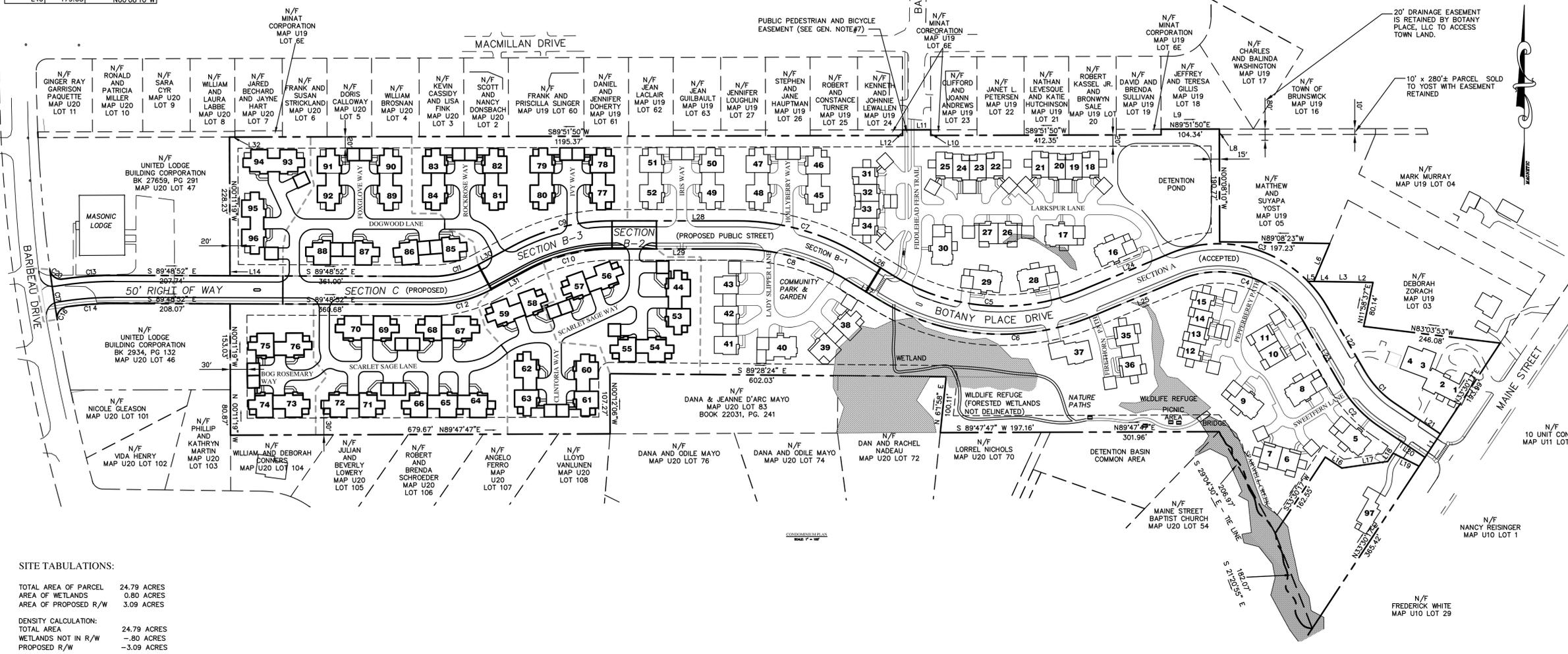
BOTANY PLACE PHASE ACREAGE:

PHASE 1 (COMPLETE)	0.94 ACRES
PHASE 2 (COMPLETE)	1.71 ACRES
PHASE 2A (COMPLETE)	0.83 ACRES
PHASE 3 (COMPLETE)	4.04 ACRES
PHASE 4 (COMPLETE)	1.91 ACRES
PHASE 5 (COMPLETE)	1.57 ACRES
PHASE 6 (IN PROGRESS)	1.41 ACRES
PHASE 7A	1.22 ACRES
PHASE 7B	0.99 ACRES
PHASE 7C	1.50 ACRES
PHASE 8	1.77 ACRES
PHASE 9	1.39 ACRES
PHASE 10A	0.82 ACRES
PHASE 10B	0.70 ACRES
TOTAL PHASES	20.80 ACRES
BOTANY PLACE DRIVE ROW	3.09 ACRES
MAP U19 LOT 1	0.90 ACRES
TOTAL ACREAGE	24.79 ACRES



PLAN REFERENCE:
1. "BOUNDARY SURVEY FOR BOTANY PLACE, LLC MAINE STREET BRUNSWICK, MAINE" DATED MAY 1, 2004 PREPARED BY DIRIGO LAND SERVICES, INC. RECORDED AT THE CUMBERLAND REGISTRY OF DEEDS, PLAN BOOK 204 PAGE 372 JUNE 22, 2004

GENERAL NOTES:
1. THE SITE IS OWNED BY BOTANY PLACE L.L.C., P.O. BOX 811, BRUNSWICK, MAINE 04011



- ORDINANCE STANDARDS:**
ZONE: R4 (MEREDITH DRIVE - WEST MCKEN STREET NEIGHBORHOODS)
MINIMUM LOT SIZE: 15,000 S.F.
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH: 100'
2.) YARD DEPTHS:
A) FRONT = 20'
B) REAR = 20'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM IMPERVIOUS SURFACE COVERAGE = 35%
MAXIMUM BUILDING FOOTPRINT PER STRUCTURE = 5,000 S.F.
MAXIMUM DENSITY USING PUBLIC SEWER = 5 UNITS PER ACRE
MAXIMUM DENSITY USING SURFACE WASTEWATER DISPOSAL SYSTEMS = 1 UNIT PER 30,000 S.F.
4. THE SURFICIAL SOILS ARE CLASSIFIED BY THE SOIL SURVEY FOR SAGADAHOC COUNTY, MAINE BY THE SOIL CONSERVATION SERVICE
WmB - WINDSOR LOAMY SAND, 0 TO 8% SLOPES
5. PHASES 2A THROUGH 10 WILL TRIGGER THE MDEP SITE LOCATION OF DEVELOPMENT THRESHOLD. SEE DEPARTMENT ORDER #L-21954-87-A-N, DATED NOVEMBER 3, 2004 FOR APPROVAL.
6. NO FENCES SHALL BE PLACED WITHIN TWO (2) FEET OF THE BACK EDGE OF SIDEWALKS.
7. PUBLIC EASEMENT FOR PEDESTRIAN AND BICYCLE USES ONLY WILL EXTEND OVER THE PRIVATE SIDEWALK, ROADWAY, AND BICYCLE PATH BETWEEN BOTANY PLACE DRIVE AND BARROWS STREET.
8. THE PARK, DETENTION POND, PICNIC AREA AND TRAIL SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
9. APPROXIMATE WETLAND IMPACT IS 1,620 S.F.

SITE TABULATIONS:

TOTAL AREA OF PARCEL	24.79 ACRES
AREA OF WETLANDS	0.80 ACRES
AREA OF PROPOSED R/W	3.09 ACRES
DENSITY CALCULATION:	
TOTAL AREA	24.79 ACRES
WETLANDS NOT IN R/W	-.80 ACRES
PROPOSED R/W	-3.09 ACRES
NET SITE AREA	20.90 ACRES
NUMBER OF UNITS ALLOWED	104
NUMBER OF UNITS PROPOSED	97 (APPROVED)
NUMBER OF UNITS COMPLETE	52
NUMBER OF UNITS REMAINING	45 (APPROVED)
DENSITY = 9,386± S.F. PER UNIT	

APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

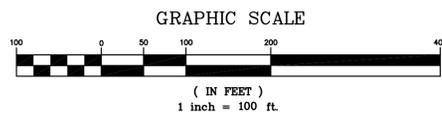
DATE: _____

CHAIRMAN: _____

SURVEYOR'S CERTIFICATION:
THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE FOLLOWING CONDITIONS:
1.) NO SURVEYOR'S REPORT WRITTEN
2.) NO DEED DESCRIPTIONS WRITTEN
3.) NO MONUMENTATION SET AS OF THIS DATE



DATE: _____
KEVIN P. CLARK, PLS #2245



CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED _____

AT _____ HRS _____ MIN _____ M, AND

FILED IN PLAN BOOK _____ PAGE _____

ATTESTED: _____ REGISTER

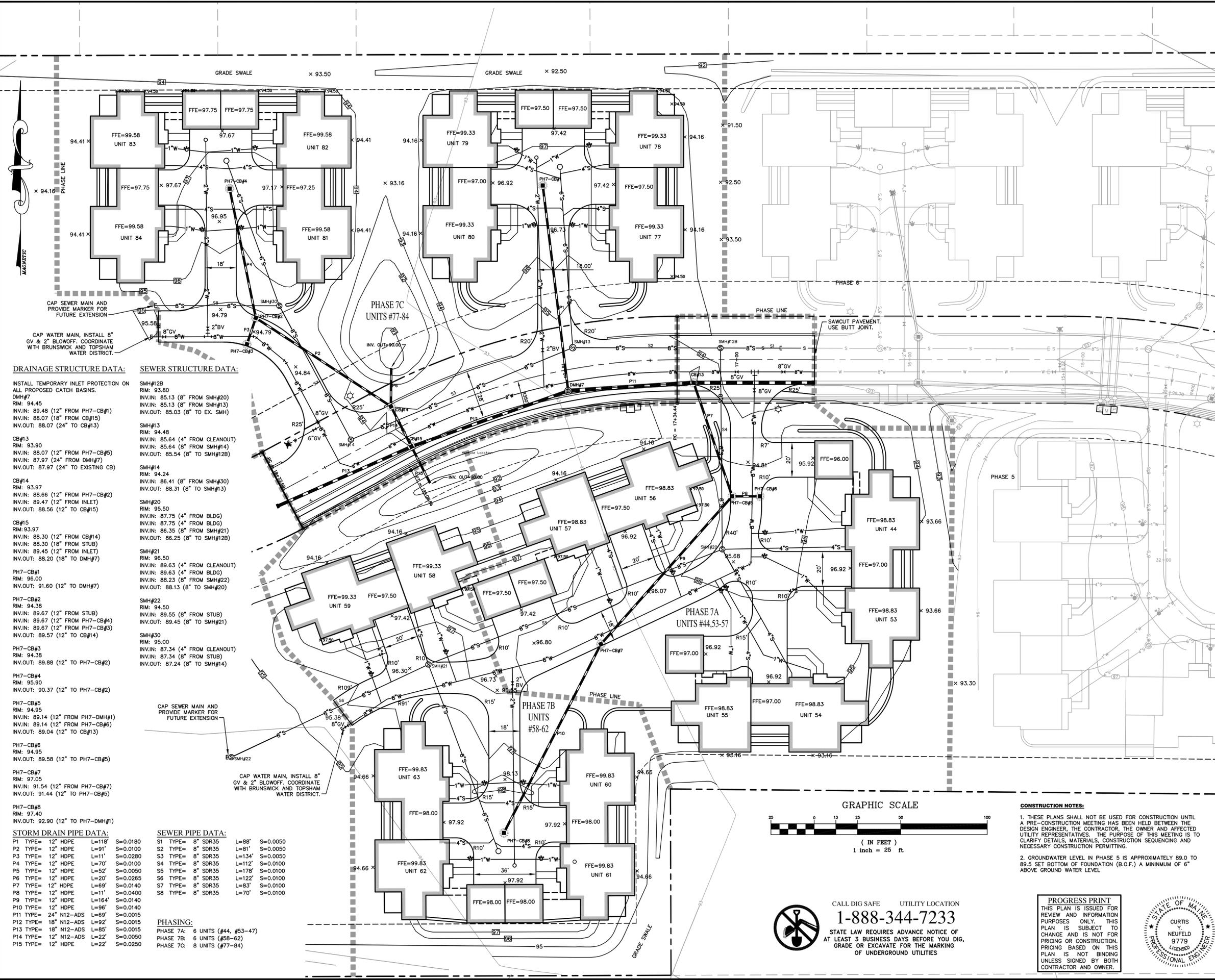
CONDOMINIUM PLAN
AMENDMENT TO PHASE 7-10

BOTANY PLACE - RESIDENTIAL CONDOMINIUMS
BOTANY PLACE, LLC

CUMBERLAND COUNTY
P.O. BOX 811 - BRUNSWICK, MAINE



FIELD WK: BWM	SCALE: 1" = 100'	SHEET:
DRN BY: RPL	JOB #: 992	C2
CHD BY: KPC	MAP/LOT:	
DATE: 10-26-13	FILE: 992-MASTER PLAN	



- GRADING AND DRAINAGE NOTES:**
1. THE CONTRACTOR SHALL PHASE GRADING EFFORTS SUCH THAT TOTAL SITE DISTURBANCE IS MINIMIZED. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING EFFORTS OR WITHOUT DELAY UPON THEIR COMPLETION, DEPENDENT UPON THE SITUATION.
 2. ALL FILL SLOPES SHALL BE A MINIMUM OF 3:1 HORIZONTAL TO VERTICAL UNLESS OTHERWISE NOTED OR DIRECTED.
 3. THE LIMITS OF DISTURBANCE SHALL GENERALLY BE THE MINIMAL EXTENT NECESSARY ONLY TO PERFORM THE GRADING EFFORTS SHOWN ON THE DRAWINGS. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF OBJECTS AND AREAS NOT SPECIFICALLY IDENTIFIED FOR MODIFICATION OR REMOVAL.
 4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING IN ACCORDANCE WITH THE DRAWINGS, UNLESS INTENDED FOR OTHER SURFACE COVER.
 5. STORM DRAINS SHALL BE CONSTRUCTED CONCURRENTLY WITH GRADING EFFORTS TO PROVIDE ADEQUATE CONVEYANCE FOR ANY SITE RUNOFF CONDITIONS.
 6. WHERE FINAL GRADING HAS BEEN COMPLETED, SURFACE RESTORATION FOR DISTURBED AREAS WILL BE COMPLETED AS SOON AS PRACTICABLE. FOR VEGETATIVE AREAS, VEGETATION WILL BE PROGRESSIVELY ESTABLISHED.
 7. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS
 8. BENCHMARK INFORMATION: SEE PLAN
 9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE STRUCTURES AND PIPING PRIOR TO ORDERING.
 10. RIM ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
 11. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF RETAINING WALL TO ENGINEER PRIOR TO ORDERING MATERIALS. (SITELINES P.A., 8 CUMBERLAND STREET, BRUNSWICK, MAINE 04011, 207-725-1200)

- LAYOUT NOTES:**
1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB AND/OR FOUNDATION
 2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
 3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
 4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

- UTILITY NOTES:**
1. ALL TERMINATIONS AND CONNECTIONS OF SERVICES SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE APPLICABLE UTILITY DISTRICT. ALL BACKFILLING AND COMPACTION OF WATER AND SEWER LINE TRENCHES SHALL BE AS APPROVED BY THE BRUNSWICK AND TOPSHAM WATER DISTRICT AND BRUNSWICK SEWER DISTRICT, RESPECTIVELY.
 2. THE CONTRACTOR SHALL CONTACT DIGSAFE (888-344-7233) PRIOR TO COMMENCING EXCAVATION.
 3. THE BASIS FOR PROJECT LAYOUT AND FOR CONSTRUCTION ELEVATIONS IS THE BASELINE AND BENCHMARK EXISTING ON THE SITE AND SHOWN ON THE DRAWINGS.
 4. THE CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL CONTROL BEFORE BEGINNING WORK.
 5. SEE PLUMBING AND ELECTRICAL PLANS FOR LOCATION AND INVERTS OF SLEEVES IN FOUNDATIONS.
 6. ELECTRIC SERVICE SHALL BE INSTALLED IN CONDUIT UNDER PAVEMENT AND CONCRETE.
 7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL SEWER, WATER, ELECTRICAL, AND SANITARY CONDUIT, MANHOLES, TRANSFORMERS, AND FITTINGS FOR APPROVAL.
 8. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 9. DUCTILE IRON PIPE SHALL MEET THE REQUIREMENTS OF AWWA C150 AND C151, CLASS S2, AND HAVE PUSH ON OR FLANGED JOINTS AS REQUIRED. FITTINGS SHALL HAVE MECHANICAL JOINTS WITH RETAINER GLANDS.
 10. SANITARY SEWER PIPE AND FITTINGS SHALL BE SDR-35 PVC.
 11. INSTALL 2" RIGID STYROFOAM INSULATION OVER SANITARY SEWER IN AREAS WHERE THERE IS LESS THAN 4" OF COVER.
 12. CONNECTIONS AT MANHOLES/CATCH BASINS SHALL HAVE A FLEXIBLE BOOT CAST ONTO THE BARREL AND SECURED WITH STAINLESS STEEL BANDS.
 13. BUILDING FOOTPRINT SHOWN IS NOT FOR FOUNDATION LAYOUT. REFER TO STRUCTURAL/ARCHITECTURAL DRAWINGS.

DRAINAGE STRUCTURE DATA:

- INSTALL TEMPORARY INLET PROTECTION ON ALL PROPOSED CATCH BASINS.
- DMH#7
RIM: 94.45
INV.IN: 89.48 (12" FROM PH7-CB#1)
INV.IN: 88.07 (18" FROM CB#15)
INV.OUT: 88.07 (24" TO CB#13)
- CB#13
RIM: 93.90
INV.IN: 88.07 (12" FROM PH7-CB#5)
INV.IN: 87.97 (24" FROM DMH#7)
INV.OUT: 87.97 (24" TO EXISTING CB)
- CB#14
RIM: 93.97
INV.IN: 88.66 (12" FROM PH7-CB#2)
INV.IN: 89.47 (12" FROM INLET)
INV.OUT: 88.56 (12" TO CB#15)
- CB#15
RIM: 93.97
INV.IN: 88.30 (12" FROM CB#14)
INV.IN: 88.30 (18" FROM STUB)
INV.IN: 89.45 (12" FROM INLET)
INV.OUT: 88.20 (18" TO DMH#7)
- PH7-CB#1
RIM: 96.00
INV.OUT: 91.60 (12" TO DMH#7)
- PH7-CB#2
RIM: 94.38
INV.IN: 89.67 (12" FROM STUB)
INV.IN: 89.67 (12" FROM PH7-CB#4)
INV.IN: 89.67 (12" FROM PH7-CB#3)
INV.OUT: 89.57 (12" TO CB#14)
- PH7-CB#3
RIM: 94.38
INV.OUT: 89.88 (12" TO PH7-CB#2)
- PH7-CB#4
RIM: 95.90
INV.OUT: 90.37 (12" TO PH7-CB#2)
- PH7-CB#5
RIM: 94.95
INV.IN: 89.14 (12" FROM PH7-DMH#1)
INV.IN: 89.14 (12" FROM PH7-CB#6)
INV.OUT: 89.04 (12" TO CB#13)
- PH7-CB#6
RIM: 94.95
INV.OUT: 89.58 (12" TO PH7-CB#5)
- PH7-CB#7
RIM: 97.05
INV.IN: 91.54 (12" FROM PH7-CB#7)
INV.OUT: 91.44 (12" TO PH7-CB#5)
- PH7-CB#8
RIM: 97.40
INV.OUT: 92.90 (12" TO PH7-DMH#1)

SEWER STRUCTURE DATA:

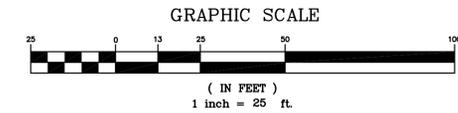
- SMH#12B
RIM: 93.80
INV.IN: 85.13 (8" FROM SMH#20)
INV.IN: 85.13 (8" FROM SMH#13)
INV.OUT: 85.03 (8" TO EX. SMH)
- SMH#13
RIM: 94.48
INV.IN: 85.64 (4" FROM FLEAOUT)
INV.IN: 85.64 (8" FROM SMH#14)
INV.OUT: 85.54 (8" TO SMH#12B)
- SMH#14
RIM: 94.24
INV.IN: 86.41 (8" FROM SMH#30)
INV.OUT: 88.31 (8" TO SMH#13)
- SMH#20
RIM: 95.50
INV.IN: 87.75 (4" FROM BLDG)
INV.IN: 87.75 (4" FROM BLDG)
INV.IN: 86.35 (8" FROM SMH#21)
INV.OUT: 86.25 (8" TO SMH#12B)
- SMH#21
RIM: 96.50
INV.IN: 89.63 (4" FROM FLEAOUT)
INV.IN: 89.63 (4" FROM BLDG)
INV.IN: 88.23 (8" FROM SMH#22)
INV.OUT: 88.13 (8" TO SMH#20)
- SMH#22
RIM: 94.50
INV.IN: 89.55 (8" FROM STUB)
INV.OUT: 89.45 (8" TO SMH#21)
- SMH#30
RIM: 95.00
INV.IN: 87.34 (4" FROM FLEAOUT)
INV.IN: 87.34 (8" FROM STUB)
INV.OUT: 87.24 (8" TO SMH#14)

SEWER PIPE DATA:

- | | |
|--------------------------------------|-----------------------------------|
| P1 TYPE= 12" HDPE L=118' S=0.0180 | S1 TYPE= 8" SDR35 L=88' S=0.0050 |
| P2 TYPE= 12" HDPE L=91' S=0.0100 | S2 TYPE= 8" SDR35 L=81' S=0.0050 |
| P3 TYPE= 12" HDPE L=11' S=0.0280 | S3 TYPE= 8" SDR35 L=134' S=0.0050 |
| P4 TYPE= 12" HDPE L=70' S=0.0100 | S4 TYPE= 8" SDR35 L=112' S=0.0100 |
| P5 TYPE= 12" HDPE L=52' S=0.0050 | S5 TYPE= 8" SDR35 L=178' S=0.0100 |
| P6 TYPE= 12" HDPE L=20' S=0.0265 | S6 TYPE= 8" SDR35 L=122' S=0.0100 |
| P7 TYPE= 12" HDPE L=69' S=0.0140 | S7 TYPE= 8" SDR35 L=83' S=0.0100 |
| P8 TYPE= 12" HDPE L=11' S=0.0400 | S8 TYPE= 8" SDR35 L=70' S=0.0100 |
| P9 TYPE= 12" HDPE L=164' S=0.0140 | |
| P10 TYPE= 12" HDPE L=96' S=0.0140 | |
| P11 TYPE= 24" N12-ADS L=69' S=0.0015 | |
| P12 TYPE= 18" N12-ADS L=92' S=0.0015 | |
| P13 TYPE= 18" N12-ADS L=85' S=0.0015 | |
| P14 TYPE= 12" N12-ADS L=22' S=0.0050 | |
| P15 TYPE= 12" HDPE L=22' S=0.0250 | |
- PHASING:**
PHASE 7A: 6 UNITS (#44, #53-47)
PHASE 7B: 6 UNITS (#58-62)
PHASE 7C: 8 UNITS (#77-84)

CAP SEWER MAIN AND PROVIDE MARKER FOR FUTURE EXTENSION

CAP WATER MAIN, INSTALL 8" CV & 2" BLOWOFF, COORDINATE WITH BRUNSWICK AND TOPSHAM WATER DISTRICT.

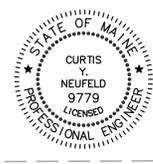


- CONSTRUCTION NOTES:**
1. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD BETWEEN THE DESIGN ENGINEER, THE CONTRACTOR, THE OWNER AND AFFECTED UTILITY REPRESENTATIVES. THE PURPOSE OF THIS MEETING IS TO CLARIFY DETAILS, MATERIALS, CONSTRUCTION SEQUENCING AND NECESSARY CONSTRUCTION PERMITTING.
 2. GROUNDWATER LEVEL IN PHASE 5 IS APPROXIMATELY 89.0 TO 89.5 SET BOTTOM OF FOUNDATION (B.O.F.) A MINIMUM OF 6" ABOVE GROUND WATER LEVEL



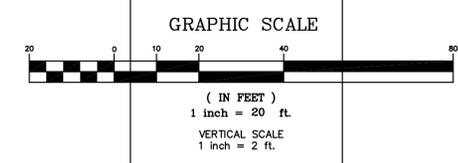
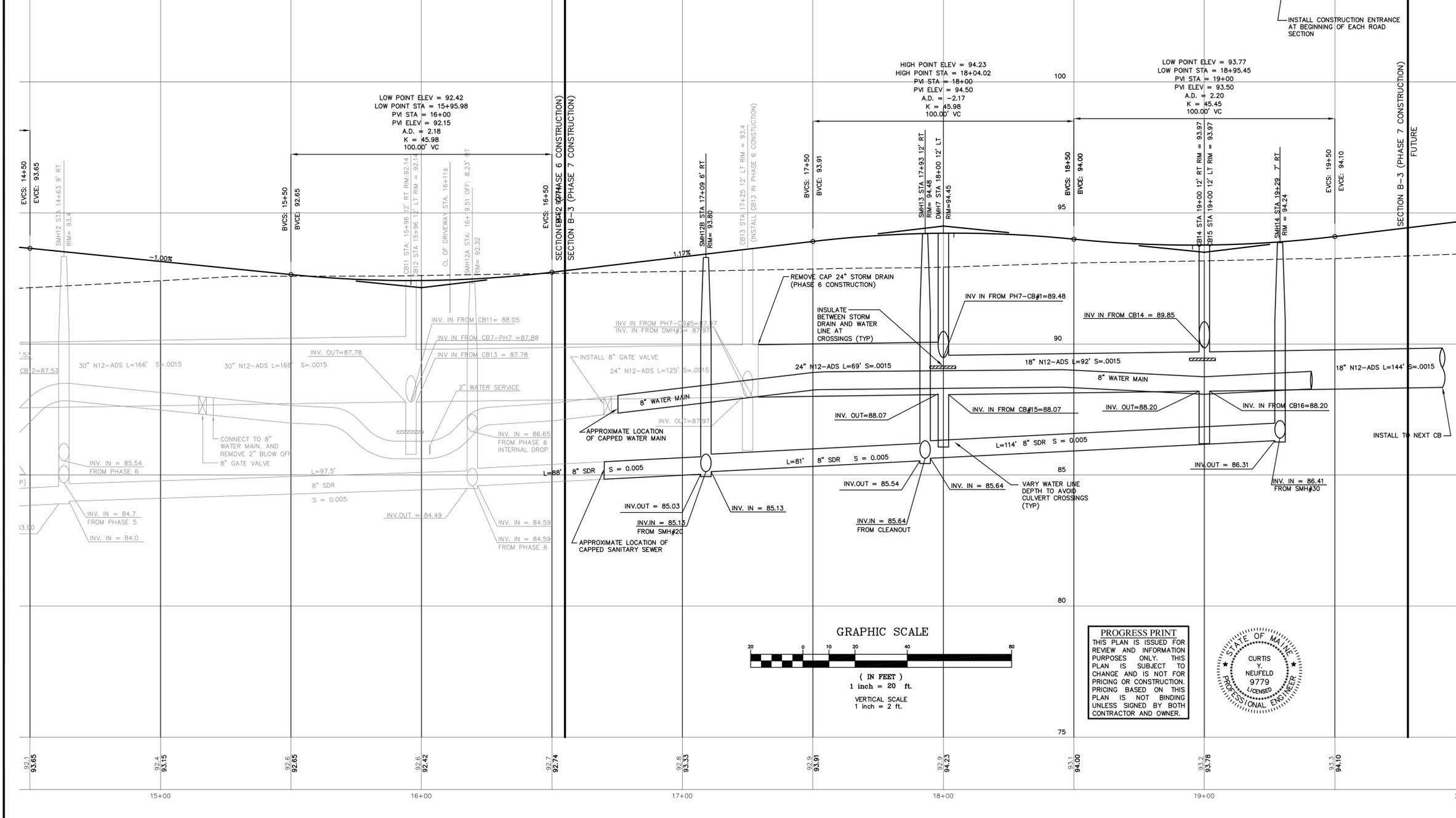
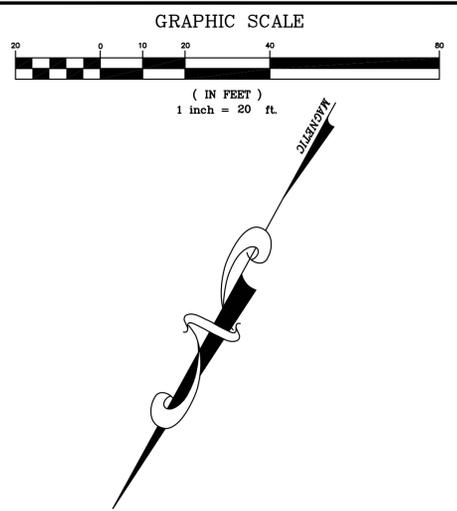
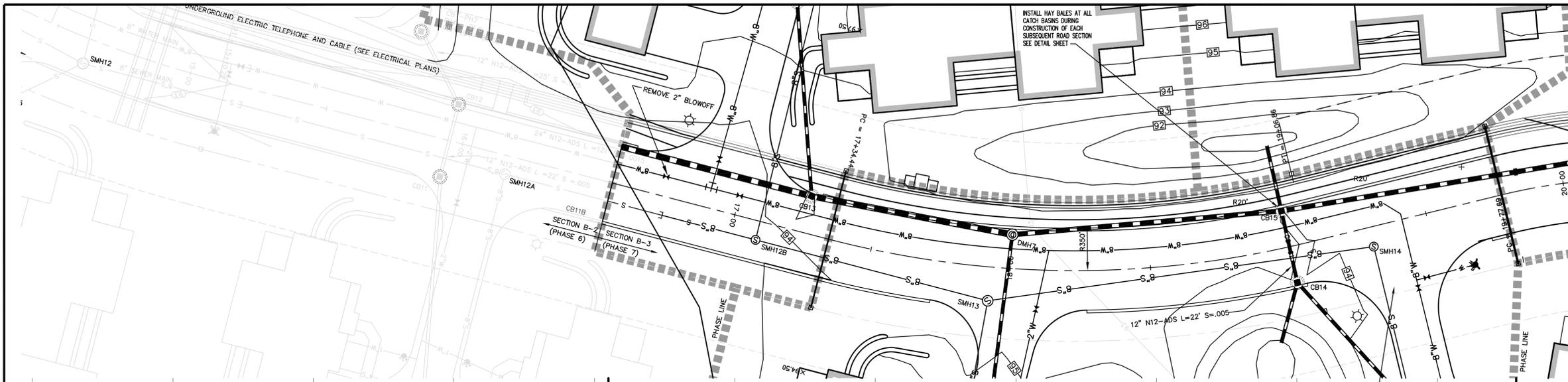
CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS NOTED BY BOTH CONTRACTOR AND OWNER.

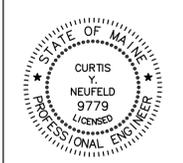


SITE PLAN - PHASE 7
BOTANY PLACE - RESIDENTIAL CONDOMINIUMS
BOTANY PLACE, LLC
CUMBERLAND COUNTY
P.O. BOX 811 - BRUNSWICK, MAINE

SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com	
FIELD WK: BWM	SCALE: 1"=25'
DRN BY: JJM	JOB #: 992
CHD BY: CYN	MAP/LOT:
DATE: 11-20-13	FILE: 992-PHASE-7-SITE-PLAN



PROGRESS PRINT
 THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



- 5. 01-21-14 UPDATED DESIGN RPL
- 4. 11-20-13 ISSUED FOR REVIEW JJM
- 3. 11-09-04 REVISED STORM DRAIN PIPES FROM SDR35 TO N12-ADS REH
- 2. 08-09-04 ADDED EROSION CONTROL MEASURES, REVISED CB INVERTS SUBMITTED TO MDEP FOR REVIEW AND APPROVAL REH
- 1. 08-03-04 REVISED FINISH CL GRADES, DRAINAGE AND UTILITIES SUBMITTED TO MDEP FOR REVIEW AND APPROVAL REH

PLAN AND PROFILE
STA 14+50 TO 20+00

BOTANY PLACE – RESIDENTIAL CONDOMINIUMS
 BOTANY PLACE, LLC

CUMBERLAND COUNTY
 P.O. BOX 811 – BRUNSWICK, MAINE

SITELINES P.A.
 ENGINEERS ■ PLANNERS ■ SURVEYORS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 (207) 725-1200 FAX 725-1114 EMAIL: siteline@blazenetme.net

FIELD WK: DIRIGO	SCALE: 1"=20'	3
DRN BY: JJM	JOB #: 992	
CHD BY: CYN	SS:	
DATE: 03-23-04	FILE: 992profile	

GENERAL NOTES:

- TOPOGRAPHIC DATA FOR THE PRE-DEVELOPMENT AND POST-DEVELOPMENT STORMWATER PLANS IS BASED ON GROUND SURVEY PERFORMED BY DIRIGO LAND SERVICES, INC. TOPOGRAPHIC DATA FOR THE DESIGN DRAWINGS AND BOUNDARY INFORMATION IS BASED ON GROUND SURVEY PERFORMED BY DIRIGO LAND SERVICES, INC.
- WETLANDS SHOWN ON THESE PLANS WERE DELINEATED BY WOODLOT ALTERNATIVES, INC. OF TOPSHAM, MAINE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE EXCAVATED AT ALL CROSSINGS TO VERIFY DEPTHS AND SIZE PRIOR TO COMMENCEMENT OF UTILITY WORK.
- RIM ELEVATIONS OF PROPOSED DRAINAGE AND SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATIONS, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
- CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES TO HIS SATISFACTION BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 6 INCHES OF LOAM AND SEED.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS.
- ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
- MONITOR WELL SHALL BE REMOVED PRIOR TO CONSTRUCTION. MONITOR WELL SHALL BE FILLED WITH BENTONITE GROUT, HEAT CEMENT, OR EQUIVALENT. THE CONTRACTOR SHALL INJECT CONCRETE INTO THE WELL BY MEANS OF A PIPE THAT IS GRADUALLY WITHDRAWN AS THE WELL FILLS, IN ORDER TO AVOID FORMATION OF VOID SPACES WITH THE FILL. ONCE THE WELL IS FILLED, THE CASING MAY BE PULLED OR CUT OFF BELOW GRADE.

LAYOUT NOTES:

- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING.
- OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

GRADING AND DRAINAGE NOTES:

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 REINFORCED CONCRETE PIPE
 POLYVINYL CHLORIDE PIPE (PVC)
 SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS OR SDR 35
- TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING. AREAS TO BE DEWATERED SHALL NOT BE ALLOWED TO DISCHARGE DIRECTLY TO THE RESOURCE WITHOUT PROVIDING PRE-TREATMENT. TEMPORARY SEDIMENT BASINS, BUFFERS OR FILTERING BAGS CAN BE USED.

SEWER CONSTRUCTION NOTES:

- SEWER LINE CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BRUNSWICK SEWER DISTRICT STANDARD SPECIFICATIONS. CONTACT THE DISTRICT TO SCHEDULE APPROPRIATE INSPECTIONS AS MAY BE REQUIRED FOR MAIN EXTENSIONS.
- MINIMUM DIAMETER FOR MAINLINE SEWER IS EIGHT INCH (8") WITH A MINIMUM SLOPE OF 0.005.
- SANITARY SEWER SERVICE STUBS TO BE SIX INCH (6") DIAMETER MINIMUM AND TO BE INSTALLED BEYOND THE EDGE OF PAVEMENT, ADJACENT SIDEWALK AND UTILITY TRENCH AS SHOWN ON PLAN.
- SANITARY SEWER SERVICE STUBS TO BE CONNECTED TO THE MAIN LINE BY USE OF 8X8X6 WYES. TEE STUBS WILL NOT BE ALLOWED.
- SANITARY SEWER MANHOLES TO BE PER ASTM SPECIFICATIONS, WITH TWO (2) COATS OF BITUMINOUS COATING, WITH SMOOTH CHANNLED INVERTS, AND PROPERLY SIZED AND ORIENTED PRECAST PIPE OPENINGS WITH FLEXIBLE PIPE BOOTS. STEPS TO BE INSTALLED PARALLEL TO INVERT CHANNEL. SERVICE CONNECTIONS TO BE INCORPORATED IN INVERT CHANNEL.
- MANHOLE FRAMES AND COVERS TO BE SUITABLE FOR HIGHWAY LOADING AND TO BE TO DISTRICT STANDARDS.
- DESIGN AND CONSTRUCTION OF PROJECT SANITARY SEWER UTILITY WILL BE CARRIED OUT TO SPECIFICALLY EXCLUDE THE INTRODUCTION OF NON-SANITARY GROUND AND / OR SURFACE WATER INTO THE SANITARY SEWER SYSTEM.
- ALL GRAVITY SEWER TO BE LOW PRESSURE AIR AND DEFLECTION TESTED AFTER BACK FILLING AND COMPACTION AND PRIOR TO CONNECTION OF BUILDING SEWER.
- PRIOR TO THE START OF CONSTRUCTION, DEVELOPER TO PROVIDE TO DISTRICT TWO (2) COPIES OF UTILITY PLAN.
- MINIMUM HORIZONTAL CLEARANCES TO BE MAINTAINED BETWEEN UTILITIES, TO PERMIT FUTURE MAINTENANCE OPERATIONS WITHOUT DISTURBING ADJACENT UTILITIES.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE MEETING THE REQUIREMENTS OF SDR-35 FOR GRAVITY PIPE AND SDR-18 FOR PRESSURE PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. ALL SEWER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO THE BRUNSWICK SEWER DISTRICT.
- 2' X 24" RIGID INSULATION SHALL BE INSTALLED OVER THE SEWER PIPING WHEN THERE IS LESS THAN 4' OF COVER

WATER CONSTRUCTION NOTES:

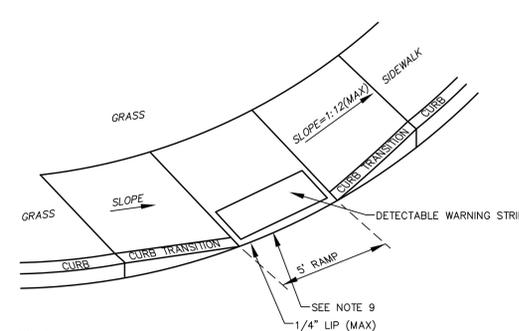
- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO BRUNSWICK AND TOPSHAM WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
- TEST PITS SHALL BE EXCAVATED AT CROSSINGS OF UTILITIES TO DETERMINE LOCATION AND DEPTH SUFFICIENTLY IN ADVANCE OF WATER MAIN CONSTRUCTION TO PERMIT ADJUSTMENT OF WATER MAIN LOCATION BY DEFLECTION OF THE PIPE.
- MINIMUM DEPTH OF COVER FOR ALL WATER LINES SHALL BE 5'-0" FROM FINISHED GRADE UNLESS OTHERWISE DIRECTED.
- PROPOSED PIPELINE, VALVE, AND HYDRANT LOCATIONS ARE APPROXIMATE. FINAL LOCATION MAY BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES AND STRUCTURES. NO ADDITIONAL PAYMENT WILL BE MADE FOR EXCAVATION AND BACK FILL BEYOND THE TRENCH LIMITS SHOWN.
- ANY EXISTING PIPELINE, UTILITY OR STRUCTURE, INCLUDING EXISTING WATER MAINS, DAMAGED BY CONTRACTOR'S OPERATIONS SHALL BE IMMEDIATELY REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- ALL PROPERTY REMOVED, DAMAGED OR ALTERED IN THE COURSE OF THE WORK SHALL BE REPLACED OR RESTORED TO EQUAL OR BETTER CONDITION TO THAT WHICH EXISTED BEFORE THE WORK COMMENCED.
- ALL FITTINGS, VALVES, AND HYDRANTS SHALL HAVE MECHANICAL JOINTS RESTRAINED WITH GRIP-RING RETAINER GLANDS.
- THE WATER DISTRICT SHALL FURNISH (AT COST) ALL MATERIALS FOR THE PROJECT INCLUDING PIPE, COUPLINGS, VALVES, FITTINGS, HYDRANTS, TAPPING SLEEVES AND VALVES, VALVE BOXES, CORPORATION STOPS, CURB STOPS, SERVICE PIPING, CURB BOXES, RETAINER GLANDS, AND ACCESSORIES SUCH AS GASKETS, BOLTS, NUTS, AND GLANDS AS REQUIRED TO MAKE THE PIPING SYSTEMS COMPLETE. ALL CONCRETE AND EARTH MATERIALS INCLUDING CRUSHED STONE, GRAVEL, SAND, AND BORROW SHALL BE FURNISHED BY THE CONTRACTOR.
- A SEPARATION OF 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN THE WATER MAIN AND ALL OTHER UTILITIES.
- ALL WATER MAIN SIZES ARE AS INDICATED ON THE PLAN/PROFILES. EACH UNIT SHALL BE SERVICED BY A 4" LINE OFF THE MAIN, SPLIT AT THE UNIT TO PROVIDE A 1" DOMESTIC SUPPLY INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE BRUNSWICK AND TOPSHAM WATER DISTRICT.
- THE COMPLETE PIPING SYSTEM SHALL BE FLUSHED, CHLORINATED, AND PRESSURE TESTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE BY THE OWNER. SERVICES SHALL BE INSTALLED UNDER LINE PRESSURE AFTER THE MAIN HAS BEEN SUCCESSFULLY PRESSURE TESTED.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AND FORCE MAIN AT ALL BENDS, TEES, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCK OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE BRUNSWICK AND TOPSHAM WATER DISTRICT.

ELECTRIC NOTES:

- CONDUIT & WIRING TO BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. EXCAVATION, TRENCHING AND BACKFILLING TO BE COMPLETED BY THE SITE CONTRACTOR.
- THE CONTRACTOR SHALL EXCAVATE, PLACE, AND BACKFILL EACH CONCRETE LIGHT POST. TRENCH @ 2' - 6" DEEP AS REQUIRED FOR POWER TO ALL POLES.

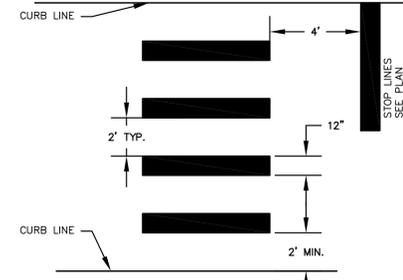
PRE-CONSTRUCTION SAFETY

CALL DIG-SAFE, TOLL FREE, AT 1-888-DIGSAFE, AT LEAST THREE BUSINESS DAYS, BUT NO MORE THAN 30 CALENDAR DAYS BEFORE CONSTRUCTION, AT THAT TIME BE READY WITH ALL IMPORTANT INFORMATION SUCH AS CITY/TOWN, STREET/ROAD LOCATION DESCRIPTION, EXTENT AND TYPE OF WORK, CONTACT PERSON W/ PHONE NUMBER, AND THE CONTRACTORS NAME W/ PHONE NUMBER. IF BLASTING IS NEEDED CONTACT DIG-SAFE AT LEAST ONE BUSINESS DAY IN ADVANCE. THE CONTRACTOR SHALL PRE-MARK THE BOUNDARIES OF THE PLANNED EXCAVATION WITH WHITE PAINT, FLAGS OR STAKES, SO UTILITY CREWS KNOW WHERE TO MARK THEIR LINES. WAIT THREE BUSINESS DAYS FOR LINES TO BE LOCATED AND MARKED WITHIN 3 DAYS WITH COLOR-CODED PAINTS STAKES OR FLAGS.



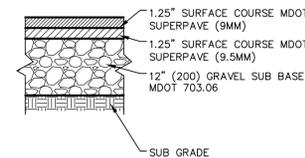
- NOTES:**
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 - SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'X5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 - ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

TIP DOWN SIDEWALK RAMP
NOT TO SCALE

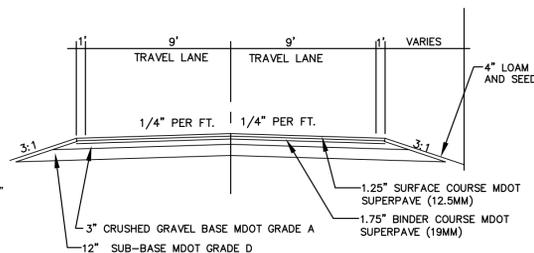


- NOTE:**
- ALL TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO- 6 INCH LINES) WILL BE ACCEPTED.
 - LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURB LINE.
 - ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY DRESSED.
 - CROSSWALK SIDE SLOPE SHALL NOT EXCEED 1.5%

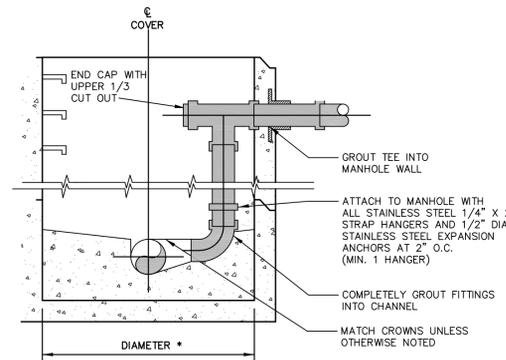
CROSSWALK
NOT TO SCALE



BITUMINOUS CONCRETE WALK
NOT TO SCALE

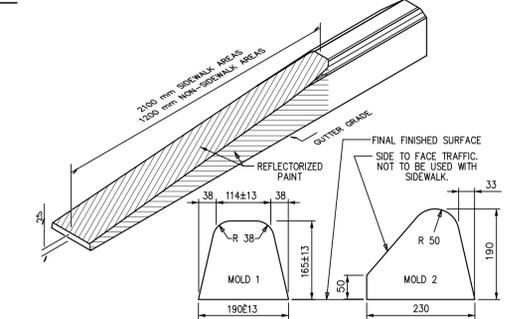
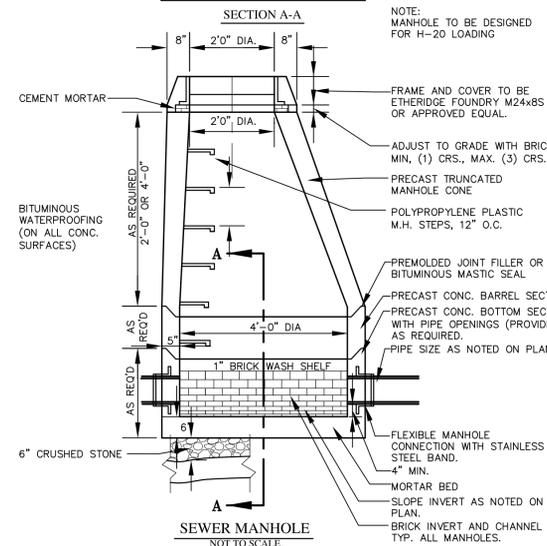
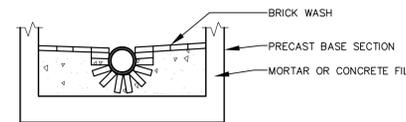


PRIVATE 18' DRIVES TYPICAL CROSS SECTION
NOT TO SCALE



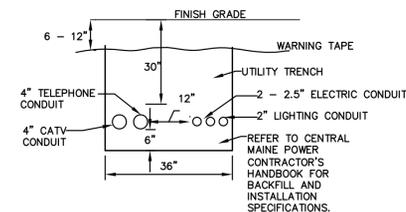
INSIDE DROP MANHOLE WITH PVC PIPE
NOT TO SCALE

*FOR MANHOLE WITH 12" DIA. DROP PIPE, USE 5" DIAMETER, OR AS INDICATED. FOR MANHOLES WITH TWO OR MORE DROP STRUCTURES, USE 6" DIA. OR AS INDICATED.

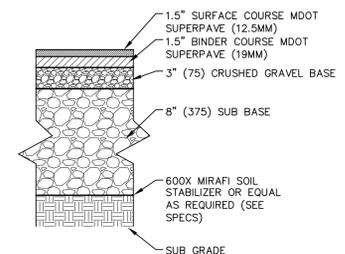


CURB MOLD 2 WILL BE USED IN ALL SITUATIONS EXCEPT FOR WHERE THE CURB FORMS THE EDGE OF THE SIDEWALK. MOLD 1 SHALL BE USED IN CONJUNCTION WITH SIDEWALKS OR WHERE THERE IS A POTENTIAL FOR SIDEWALKS.

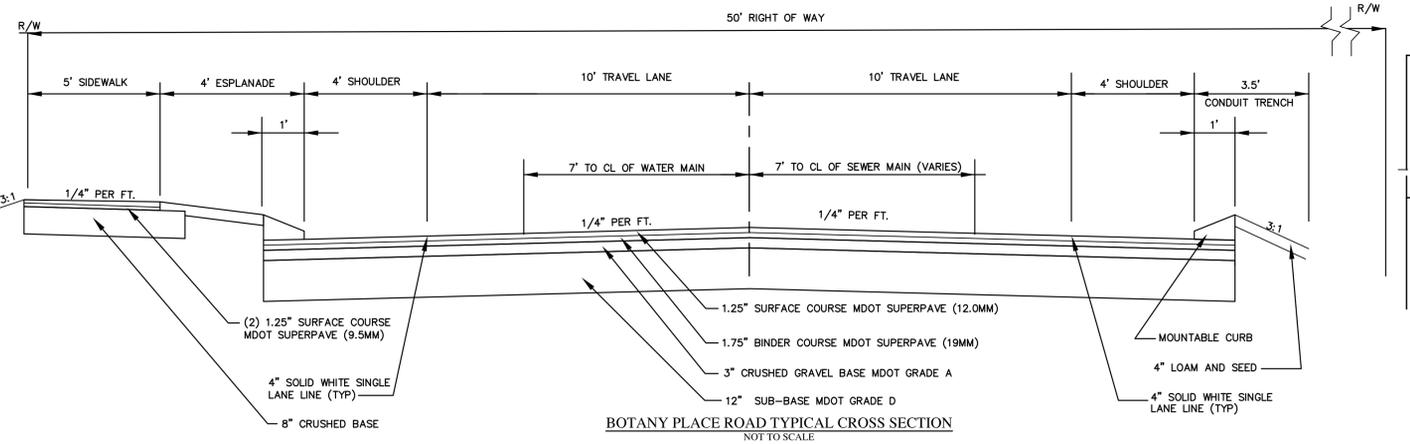
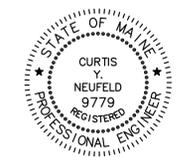
BITUMINOUS CURB
NOT TO SCALE



UNDERGROUND CONDUIT TRENCH
NOT TO SCALE



BITUMINOUS CONCRETE DRIVE AT UNITS
NOT TO SCALE



BOTANY PLACE ROAD TYPICAL CROSS SECTION
NOT TO SCALE

7. 01-22-14	ISSUED WITH PHASE 7	CYN
6. 05-15-13	ISSUED WITH PHASE 6	CYN
5. 08-24-11	ISSUED FOR CONSTRUCTION	BVD
4. 12-29-10	SUBMITTED FOR TOWN REVIEW	RPL
3. 10-05-04	ADDED GENERAL NOTE 17 SUBMITTED TO MDEP FOR APPROVAL	REH
2. 08-03-04	SUBMITTED TO MDEP FOR REVIEW AND APPROVAL	REH
1. 04-26-04	REVISED TYPICAL CROSS SECTION, ISLAND, CURB AND PAVEMENT SECTION DETAILS, ADDED VERTICAL GRANITE DETAILS	REH

GENERAL NOTES AND DETAILS

BOTANY PLACE - RESIDENTIAL CONDOMINIUMS
BOTANY PLACE, LLC

CUMBERLAND COUNTY
P.O. BOX 811 - BRUNSWICK, MAINE

SITELINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
(207) 725-1200 FAX 725-1114 EMAIL: siteline@blazenetme.net

FIELD WK: DIRIGO	SCALE: N.T.S.	SHEET:
DRN BY: REH	JOB #: 992	4
CHD BY: KPC	SS:	
DATE: 03-23-04	FILE: 992DETAILS	

EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:

EROSION/SEDIMENT CONTROL DEVICES:

THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

- SILT FENCE:** SILT FENCE WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SILT FENCE WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SILT FENCE AND TO PROVIDE ADDITIONAL TREATMENT.
- HAY BALES:** HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
- RIPRAP:** PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
- LOAM, SEED, & MULCH:** ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
- STRAW AND HAY MULCH:** USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY. CURLEX II AND EXCELSIOR MAY BE USED IN PLACE OF JUTE MESH OVER MULCH.
- MULCH NETTING** SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:

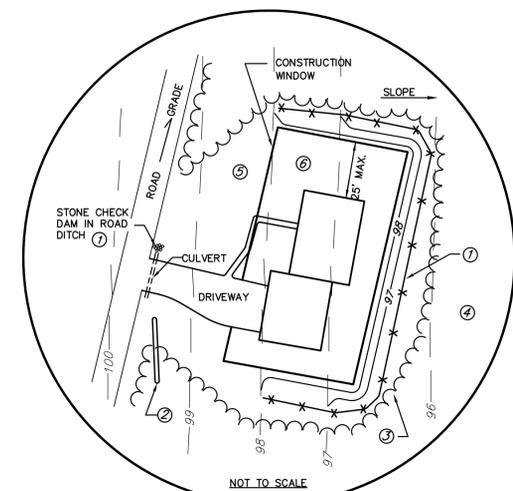
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

- SILTATION FENCE ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SILTATION FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
- HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SILT FENCE.
- PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
 - STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
 - SURROUND STOCKPILE SOIL WITH SILTATION FENCE AT BASE OF PILE.
- ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 15 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOIL WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
- IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PERMANENT EROSION CONTROL MEASURES:

THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

- ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
- SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.



- INSTALLATION:**
- INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
 - CONSTRUCT A DIVERSION DITCH TO KEEP UPSLOPE RUNOFF OUT OF WORK AREA.
 - MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
 - PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
 - USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
 - PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.

MAINTENANCE:
EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.

HOUSE SITE - BEST MANAGEMENT PRACTICES
NOT TO SCALE

CONSTRUCTION PHASE:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

- ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 15 DAYS, SEE ITEM NO. 4.
- PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
- TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SILTATION FENCE BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
 - TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 - INSTALL SILT FENCE AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SILT FENCE INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
- ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE EITHER:
 - TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
 - SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
- ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
- ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

POST-CONSTRUCTION REVEGETATION:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

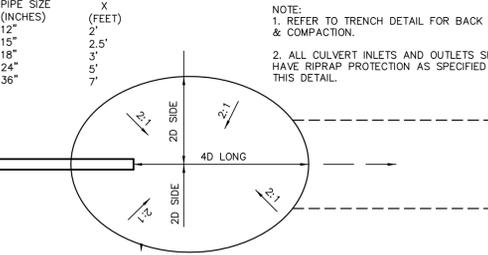
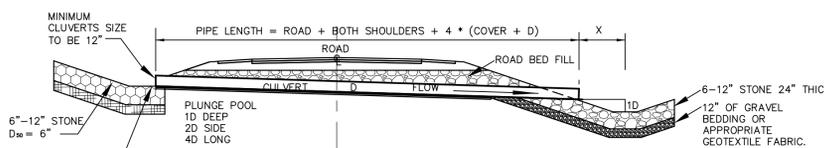
- A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
- IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS	SWALES
KENTUCKY BLUEGRASS 0.48 LBS/1000 SF.	RED TOP 0.05 LBS/1000 SF.
CREeping RED FESCUE 0.48 LBS/1000 SF.	TALL FESCUE 0.46 LBS/1000 SF.
PERENNIAL RYE GRASS 0.11 LB/1000 SF.	
- AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER:
 - BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 - SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
 - HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
- CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
 - ONLY UNFROZEN LOAM SHALL BE USED.
 - LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
 - WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
 - WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
 - FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
 - ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
- FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

- HAY BALE BARRIERS, SILT FENCE, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SILT FENCE BEHIND THE HAY BALES.
- VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
- REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.



OUTLET	DIA.	D50	X	1D DEEP	2D SIDE	4D LONG
12" CULVERT	12"	6"	2'	1'	2'	4'
15" CULVERT	15"	6"	2.5'	1.25'	2.5'	5'
18" CULVERT	18"	6"	3'	1.5'	3'	6'
24" CULVERT	24"	6"	5'	2'	4'	8'
30" CULVERT	30"	6"	6'	2.5'	5'	10'
36" CULVERT	36"	6"	7'	3'	6'	12'

CULVERT INLET / OUTLET PROTECTION
NOT TO SCALE

EROSION CONTROL DURING WINTER CONSTRUCTION:

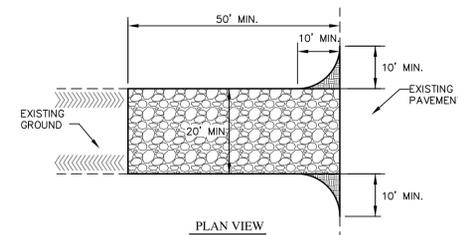
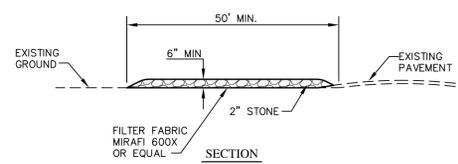
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
- CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 SQ.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SILT FENCE OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
- BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
- IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE:

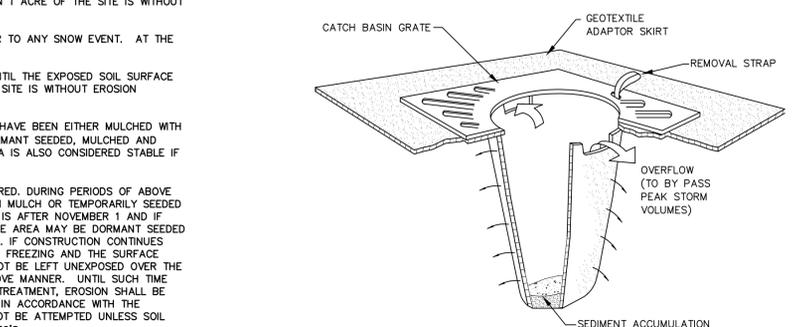
WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.

- SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
- LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER, TOWN OR THEIR DESIGNEE.

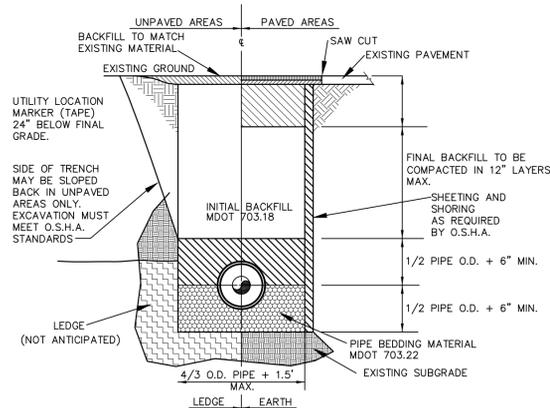


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



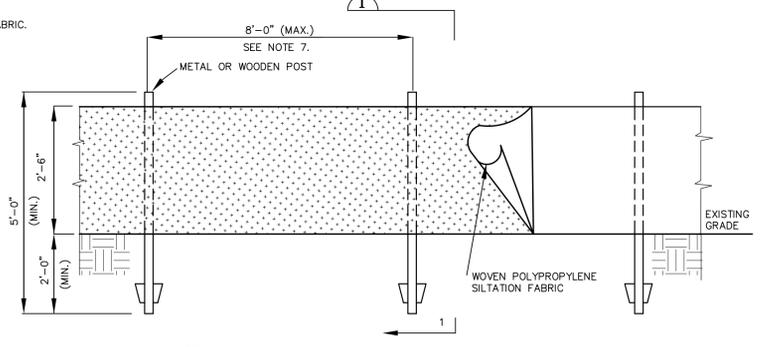
- NOTES:**
- CATCH BASIN PROTECTION TO BE "SILTSTACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).
 - INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.
 - INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

TEMPORARY INLET PROTECTION
NOT TO SCALE



- NOTES:**
- INSTALL 3 FOOT LONG IMPERVIOUS DAMS IN BEDDING/INITIAL BACKFILL MATERIAL EVERY 100 FEET TO PREVENT TRENCH GROUNDWATER FROM BEING CHANNELLED ALONG BEDDING/INITIAL BACKFILL.
 - REFER TO LATEST MDOT SPECIFICATIONS FOR BEDDING AND BACKFILL REQUIREMENTS.
 - INITIAL BACKFILL TO BE 12 INCHES OVER TOP OF PVC PIPE ONLY.

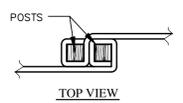
TYPICAL TRENCH DETAIL
NOT TO SCALE



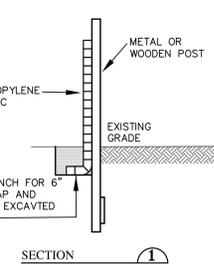
ELEVATION

SILT FENCE DETAIL
N.T.S.

- INSTALLATION:**
- EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 - JOIN SECTION AS SHOWN IN TOP VIEW.
 - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.



TOP VIEW



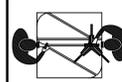
SECTION

6. 01-22-14	ISSUED WITH PHASE 7	CYN
5. 05-15-13	ISSUED WITH PHASE 6	CYN
4. 08-24-11	ISSUED FOR CONSTRUCTION	BVD
3. 12-29-10	SUBMITTED FOR TOWN REVIEW	RPL
2. 08-09-04	SUBMITTED TO MDEP FOR REVIEW AND APPROVAL ADDED TRASH RACK DETAIL	REH
1. 08-03-04	SUBMITTED TO MDEP FOR REVIEW AND APPROVAL	REH

EROSION CONTROL NOTES AND DETAILS

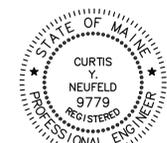
BOTANY PLACE - RESIDENTIAL CONDOMINIUMS
BOTANY PLACE, LLC

CUMBERLAND COUNTY
P.O. BOX 811 - BRUNSWICK, MAINE



SITES LINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
(207) 725-1200 FAX 725-1114 EMAIL: siteline@blazenetme.net

FIELD WK: DIRIGO	SCALE: AS SHOWN	SHEET:
DRN BY: REH	JOB #: 992	5
CHD BY: KPC	SS:	
DATE: 03-23-04	FILE: 992DETAILS	



**BRUNSWICK PLANNING BOARD
JANUARY 14, 2014**

MEMBERS PRESENT PLANNING BOARD: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Bill Dana, Dale King, Richard Visser

MEMBERS ABSENT: Dann Lewis, Excused

**MOTION BY BILL DANA TO EXCUSE THE ABSENCE OF DANN LEWIS.
SECONDED BY DALE KING, APPROVED BY CHARLIE FRIZZLE, BILL DANA,
DALE KING AND RICHARD VISSER. OPPOSED BY MARGARET WILSON.**

STAFF PRESENT: Anna Breinich and Jeremy Doxsee

A meeting of the Brunswick Planning Board was held on Tuesday, January 14, 2014 at the Morrell Meeting Room in Curtis Memorial Library, 23 Pleasant Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

Case # 07-105, Request for Site Plan Approval Extension, The Ledges Congregate Care Facility: Pursuant to Section 407.4.B of the Zoning Ordinance, Briarwood Partners is requesting a site plan approval extension from the Planning Board, for the development of a congregate care facility at 349 Bath Road (**Assessor's Map 45, Lot 40**) in the **Industrial 3 (I3) Zone**.

Anna Breinich began by handing out and reviewing the Planning Board minutes of 1/26/2010 and 1/24/2012 and stated that this is the third site plan extension for The Ledges Congregate Care Facility. Anna stated that the project for the congregate care facility was first approved on 2/12/2008 with extensions in 2010 and 2012. Anna noted that the only question by the applicant was whether or not the Special Permit for the designated *use* in the original approval was reapproved in the subsequent extensions; the Special Permit was not extended and it is recommended by staff that this be placed as a Condition of Approval. Anna stated that there have been no other changes to the plan, or Findings of Fact. Charlie Frizzle noted that staff has added to the conditions of approval that "prior to commencement of Phase II, the applicant must obtain re-approval of the Special Permit associated with this project". Curtis Neufeld, of Sitelines, stated that he had modified plans which they have added two status blocks to indicate the dates of approval and re-approval and that prior to obtaining a building permit, the applicant will need to obtain the Special Permit and receive a new NRPZ Act Permit for the wetlands.

Margaret Wilson asked about the staff recommendation to add the Special Permit to the Conditions of Approval and Charlie Frizzle replied that they do not need to do this as this has been added to the plan per Curtis Neufeld in the status block.

Charlie Frizzle opened the public hearing and noted that no public was present. The public hearing was closed.

Margaret Wilson asked if it is believed that the applicant will build. Curtis Neufeld replied that the market has not been great and that the investors have not been interested in investing the money for the facility if it will be vacant. Curtis stated that since the last extension, they have had a positive change in management and they are seeing a better change in the market. Margaret asked for clarification on congregate care and Mike Parsons, representative, replied that congregate care is elderly independent living with minimal services and meals. Mike stated that there is a significant investment being held up in the project and they would like to build the facility. Mike stated that the past few years have been rough but that they are seeing a return to normal in occupancy levels in Sunnybrook Village located across the street.

MOTION BY BILL DANA TO APPROVE THE SITE PLAN EXTENSION FOR THE LEDGES CONGREGATE CARE FACILITY FOR TWO YEARS. SECONDED BY MARGARET WILSON AND APPROVED BY CHARLIE FRIZZLE, MARGARET WILSON, BILL DANA AND DALE KING. RICHARD VISSER ABSTAINED.

Zoning Ordinance Rewrite Update

Additional public engagement meetings be held on 1/21 and 1/22 with Don Elliot of Clarion Associates.

Tentative Dates, Times and locations

- 1/21 at 4:00 PM in Morrell Meeting Room or the Hawthorne Meeting Room. Second Developer and designer meeting asking for feedback on the annotated outline.
- 1/22 at 7:30 AM, Charlie Frizzle, Anna Breinich and Don Elliot will be on WCME Radio.
- 1/22 at 1:30 PM, meeting between ZORC and the School Department.
- 1/22 at 3:30 PM, next ZORC meeting.
- 1/22 at 6:00 PM, Morrell Meeting Room public forum focused on feedback on the annotated outline.
- 2/4 at 7:00 PM, feedback with College Use abutters (approximately 100).

Minutes

MOTION BY DALE KING TO APPROVE THE MINUTES OF OCTOBER 7, 2013. SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

MOTION BY BILL DANA TO APPROVE THE MINUTES OF NOVEMBER 5, 2013. SECONDED BY MARGARET WILSON, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

Other Business

- 1/28 Public hearing to amend Section 216 of the Zoning Ordinance.

Adjourned

This meeting was adjourned at 7:25 P.M.

Attest

Tonya D. Jenusaitis
Recording Secretary