



TOWN OF BRUNSWICK

PLANNING BOARD

28 FEDERAL STREET
BRUNSWICK, ME 04011

TOWN OF BRUNSWICK

PLANNING BOARD

AGENDA

COUNCIL CHAMBERS

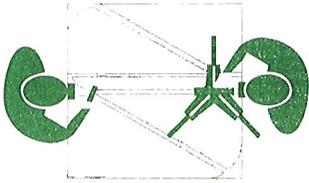
1ST FLOOR, 85 UNION STREET

TUESDAY, APRIL 8, 2014 - 7:00 P.M.

1. **Case # 14-010 – Churchill Woods Condominiums**: The Planning Board will review and take action on a combined Sketch/Final Major Development Site Plan Reapproval application submitted by Churchill LLC, for phased construction of 16 residential units; located off of McKeen Street (Assessor's Map U28, Lot 196), in the R4 Meredith Drive – West McKeen Street Zoning District.
2. **Zoning Ordinance Rewrite Update**
3. **Other Business**
4. **Approval of Minutes**
5. **Adjourn**

This agenda is mailed to owners of property within 200 feet of the above referenced development proposals as well as others upon request. It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.



March 23, 2014

1263-7

Mr. Jeremy Doxsee, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

**Re: Major Development Review Final Application
Churchill Woods Condominiums
Tax Map U-28, Lot 196**

Dear Jeremy,

Enclosed please find the Major Development Review Final Plan Application Form, Final Site Plan, Condominium Plan, Road Plan & Profile, and supporting information for the proposed Churchill Woods residential condominium project to be developed on a 5.78 acre property located on the northerly side of McKeen Street in R4 (Merridith Drive – West McKeen Street Neighborhood) Zoning District. Churchill Woods is a proposed phased residential community with a total of 16 residential units planned. The project was previously approved on September 5, 2006. Due to economic conditions affecting the housing market, the project was not completed and the approvals have expired. Please note that Unit 1 was conveyed under those previous approvals and the Condominium Declarations were executed and recorded, and remain in effect.

Approvals

Robert Cole, on behalf of Churchill, LLC, proposes to regain approval of all phases of the multiple phased project. Phase 1 will not exceed one acre of impervious area. Phases 2 through 4 will trigger the Maine Department of Environmental Protection (MDEP) Stormwater Permit threshold. An MDEP Stormwater Permit application will be submitted and will be under review concurrent with the Town approval process. A copy of the MDEP application will be submitted under separate cover.

Phase 4, which consists of four (4) units to be constructed in the island formed by the loop road, will be dependent on changes to the Town of Brunswick Zoning Ordinance for an increase in allowed impervious area. It is anticipated that these changes may be approved in the future to keep the Zoning Ordinance consistent with the current Comprehensive Plan update.

As a result of our experience with phased projects such as this, which may be constructed over an extended period of time, we expect that the individual unit locations and footprints may be modified based on market forces and customer preferences. As such, we desire to maintain some

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8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

fluidity in the location and orientation of units without having to return to the Planning Board for further approvals.

Development Plan

The 5.78 acre site is located within a developed residential district that primarily consists of single-family homes. Churchill Woods will provide an infill of housing within areas of existing residential use, thereby reducing sprawl and minimizing the creation of new infrastructure and stretching Town resources. The development is consistent with the Town of Brunswick's pending comprehensive plan and zoning as to where housing should be built within the community.

Churchill Woods is well placed in proximity to schools, Bowdoin College, churches and medical buildings for service and employment, as well as the downtown areas. Most are considered within walking distance and all are considered to be within bicycling distance.

Zoning

The parcel is located on the northerly side of McKeen Street in R4 (Merridith Drive-West McKeen St. Neighborhood) Zoning District, in which single, two-family and dwellings with 3 or more units are all permitted uses. All units will meet or exceed the dimensional and density requirements set forth in section 203.2 of the Brunswick Zoning Ordinance. Net site area and density computations are shown on the Condominium Plan.

Road and Utilities

The proposed private roadway that will serve the project will feature approximately 1,100 lineal feet of pavement at 24' wide. This roadway will be composed of two 10-foot travel lanes and a 4-foot pedestrian/bicycle lane. The core utilities, which include the public extension of the municipal water system and private extension of the sewer system, will be placed within the traveled-way, with water and sewer typically placed under the paved section. The underground electrical, telephone, and cable will be extended from existing utility poles in the McKeen Street ROW and will be placed in the grass area along the proposed roadway. Natural gas service will be extended from McKeen Street under the lawn areas behind each unit. Three of the proposed units will front Country Lane, and utilities for these units will come from Country Lane.

Waivers

The following waivers are requested:

- Profile of Existing Roads – Existing roads are shown on the plans. No changes are proposed to existing roads. We have provided spot elevations of the pavement at connection points and the horizontal and vertical location of all utility connections. A profile of the proposed road and utilities is also provided.
- Location of all trees over 10 inches diameter – The site is a wooded site with a significant numbers of trees. Clearing limits are shown on the plans; everything within the clearing

limits will be removed, everything outside will be preserved with the exception of any dead or dying trees. Landscaping is planned to enhance the project buffers as required.

Review Standards

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 5: DEVELOPMENT REVIEW PLAN STANDARDS* of the Ordinance.

501 PRESERVATION OF NATURAL FEATURES AND NET SITE AREA:

A perimeter of existing woody vegetation will be retained around the project to define the boundary with abutting neighborhoods and to protect the privacy between neighbors. Where necessary, supplemental plantings may be used to enhance the natural buffer.

A twenty-five foot wooded buffer will be maintained along the northeast property line, as specified in the deed (see attached). In lieu of a formal buffer planting that was presented at a neighborhood meeting for this project, the buffer will consist of a more natural planting, made up of both coniferous and deciduous species consistent with existing vegetation on the site. The planting were completed after the construction of Unit 1 in 2007.

See the Condominium Plan for the Net Site Area and density computations.

502 FLOOD HAZARD AREA:

The site is located within Zone C, designated as “areas of minimal flooding” on the Flood Insurance Rate Map (FIRM) for the Town of Brunswick. An excerpt of the applicable FIRM is included in the Stormwater Management plan enclosed with this submittal.

503 STEEP SLOPES AND EMBANKMENTS.

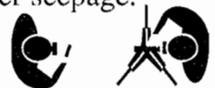
There are no steep slopes or embankments on this site.

504 STORM WATER MANAGEMENT:

The site is very flat and is currently wooded. The site generally drains to low areas within the parcel boundaries and infiltrates. In keeping with the existing drainage patterns, runoff from the developed parcel will be collected and directed to improved infiltration basins. A detailed analysis will be included in the stormwater management plan submitted for the Final Application and to DEP.

505 GROUNDWATER:

Summit Geoenvironmental Services, as part of its geotechnical investigation performed in 1999, encountered groundwater at eight to nine feet below existing ground and levels are not anticipated to rise above proposed foundation footing depths. Unit basements will be placed at or above the seasonal high water table and, per MDEP requirements, stormwater treatment and storage will occur above the high water table to prevent the introduction of contaminants into the groundwater. Foundation perimeter drains will protect the structures from groundwater seepage.



The project will be serviced by public water and sewer services, providing further protection to the groundwater. A copy of the geotechnical report is attached.

506 EROSION AND SEDIMENTATION:

Siltation barriers will be installed along the downhill edges of all disturbed areas. The contractor will follow Best Management Practices as outlined in the "**Maine Erosion and Sediment Control Handbook for Construction**" issued by the Cumberland County Soil Water Conservation District and the MDEP.

507 SEWAGE DISPOSAL:

Sewage Disposal for Phase 1 will be provided by connections to the sewer main on Country Lane. Phases 2 through 4 will have individual services connected to a private extension of the public sewer main in McKeen Street. The Brunswick Sewer District has indicated that it has capacity to serve the complete project (20 units). Correspondence from the Sewer District is enclosed.

508 WATER SYSTEM:

Water service will be provided by a new 8-inch main extension to be owned by the district from the existing 10-inch main in McKeen Street. This extension will also connect to the 8-inch main on Country Lane to provide a second feed to the development. Each unit will be individually serviced from the new 8-inch main extension. The Brunswick & Topsham Water District has indicated that it has capacity to serve the project. Correspondence from the Water District is enclosed.

509 COMMUNITY FACILITIES IMPACT ANALYSIS:

The target demographic for the proposed condominiums is aging "baby boomers" with no children. As such, impacts to schools and recreation is anticipated to be minimal, while impacts on other public services such as police, fire and public works would be what are regularly associated with a residential development.

Solid waste from individual units will be collected by the Town's curb side collection service.

Neighborhood delivery and collection mail boxes will be located at the entrance to the development off of McKeen Street, with final locations coordinated with the local Post Master.

510 DEVELOPMENT IMPACT FEES:

The Solid Waste Impact Fee is calculated at a rate of \$258.56 per ton for each of the 20 new housing units. The Sewage Connection Fee was calculated at a rate of \$1,178.00 per each new housing unit. Prior to the issuance of building permits for each Phase, the corresponding impact fees must be paid*. Please see table below.

Phase	New Units	Solid Waste Impact Fee \$258.56 per Unit	Sewage Connection Fee \$1178 per Unit
1	2	\$517.12	\$2,356.00
2	5	\$1,292.80	\$5,890.00
3	8	\$2,068.48	\$9,424.00
Total	15	\$3,878.40	\$17,670.00

*Please note that Unit 1 has been conveyed and the impact fees paid.

Recreation Impact fees are addressed in Section 519.

511 DEVELOPMENT OF NEW STREETS:

No new public streets are planned. The proposed private drive planned will be a 24-foot wide roadway consisting of two 10-foot travel lanes and a 4-foot pedestrian and bicycle lane. The core public utilities will be placed within the traveled way, with water and sewer placed under the paved section and the underground electrical and communications placed in the grassed shoulder.

512 OFF STREET PARKING:

Off street parking averages 4 spaces per unit with garages and driveways considered. We also propose that on street parking be limited by signage to one side only along the private roadway.

513 CURB CUTS:

An existing curb cut will be utilized on the northerly side of McKeen Street for utilities and roadway extensions. No new roadway curb cuts will be created on Country Lane. However, units 1, 2 & 3 will have driveways accessing Country Lane.

514 OFF STREET LOADING:

There are no requirements for off street loading associated with this project.

515 APPEARANCE ASSESSMENT:

The plan reflects the project's integration with the site and the surrounding area. Churchill Woods has distinct boundaries that provide a neighborhood identity. A subtle entrance from McKeen Street is planned. The houses along Country Lane are similar in appearance and spacing to those existing in the neighborhood.

Site lighting will be accomplished by the use individual residential lamps placed in front of each unit.

516 BUILDING CONFIGURATION:

The buildings and streets are arranged in a circular pattern. All front doors are visible from either the proposed private roadway or Country Lane. All dwellings are expected to have a deck and small lawn area for outdoor living.



SITELINES

The four styles of single family homes proposed are similar in character to many in the surrounding neighborhoods. Exposed eaves, shingle and clapboard siding and double-hung windows will enhance the appeal of ranch and executive style homes. Typical floor plans and elevations are enclosed for your review.

517 PRESERVATION OF HISTORIC RESOURCES:

There are no historic resources associated with this project.

518 ACCESS FOR PERSONS WITH DISABILITIES:

Units can be modified for accessibility, if required. All grades and slopes will be accessible to those with disabilities.

519 RECREATIONAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS:

The Recreation Commission met on October 18, 2006 to discuss this project. With regard to recreation and open space, the developer has proposed, and the commission has approved, that a fee in lieu of open space be paid, with an estimated fee of \$29,850.00 to be prorated and paid as building permits are issued. Correspondence from the Recreation Commission is included with this submission.

520 FISCAL CAPACITY:

Financing for Phases 2 through 4 will be obtained from the sale of units in Phase 1.

521 PERFORMANCE GUARANTEE:

Minor improvements are anticipated within public right-of-way for utility concerns. A guarantee is not anticipated, but can be submitted if deemed necessary.

522 HOME OWNERS/PROPERTY OWNERS ASSOCIATION:

A copy of the Condominium Declaration has been provided to the Planner.

523 PROTECTED CONSERVATION LAND:

N/A

524 NOISE AND DUST:

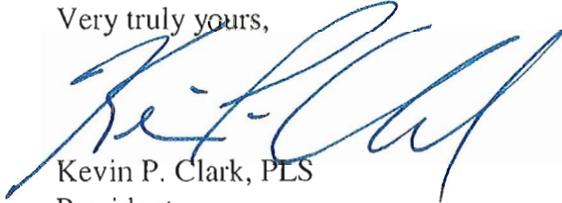
Appropriate measures will be taken to control noise and dust during construction. The contractor will comply with the standard hours of construction per the Ordinance. Upon completion, we would not expect any concerns with regard to noise or dust.



SITELINES

We look forward to meeting with you and the Board at their next available meeting to review the Project and gain their approval. Should you have any questions, please call.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Kevin P. Clark", is written over a light gray rectangular background.

Kevin P. Clark, PLS
President

Enclosures

cc: Bob Cole, Tom Cole

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION FORM**

1. Project Name: Churchill Woods Condominiums

2. Project Applicant:

Name: Churchill LLC
c/o Mr. Robert J. Cole
Address: 141 Pleasant Street, Suite 101
Brunswick, ME 04011

Phone Number: (207) 865-1196

3. Applicant Signature: _____

 (AGENT)

4. Authorized Representative:

Name: Kevin P. Clark, PLS
Sitelines, PA
Address: 8 Cumberland Street
Brunswick, ME 04011

Phone Number: (207) 725-1200

5. List of Design Consultants. Indicate the registration number, address and phone number of any engineer, surveyor, architect, landscape architect or planner used:

1. Engineering & Planning: Sitelines, PA – Curtis Y. Neufeld, PE
2. Land Surveying: Sitelines, PA – Bruce Martinson, PLS
3. Landscape: F. A. Cushing, RLA

6. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If no, who owns the property subject to this application?

Owner of record
Book 24799 Page 19

7. What is the tax map and lot numbers of the property subject to this application?

Map U28 Lot 196

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Check List Addendum for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200 foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development		✓				
Scale, date, north point, area, number of lots (if subdivision)		✓				See Attached Condominium Plan.
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.		✓				See Attached Condominium Plan.
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.		✓				
Existing zoning district and overlay designation.		✓				
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.		✓				
Names of current owner(s) of subject parcel and abutting parcels.		✓				See Attached Condominium Plan.
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.		✓		✓		Waiver Requested for Profiles of Existing Streets. Profiles for proposed street provided
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.		✓				
Existing and proposed easements associated with the development.		✓				
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.		✓				
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.		✓				

Item	O	S	NA	W	P	Comments
Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.		✓				
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.		✓				
Topography with counter intervals of not more than 2 feet.		✓				
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.		✓				
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to removed as a result of the development proposal.				✓		Waiver Requested for Location of All Trees Over 10" Diameter.
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.		✓				
Existing locations and proposed locations, widths and profiles of sidewalks.		✓				
Location map.		✓				
Approximate locations and dimensions of proposed parking areas.		✓				
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.			✓			
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.		✓				
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.					✓	
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.			✓			No wetlands on the parcel
Dedicated public open specs, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.			✓			

Item	O	S	NA	W	P	Comments
For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the number of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.			✓			
Building envelopes showing acceptable locations for principal and accessory structures.		✓				

FINAL PLAN/SUPPORTING DOCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.		✓				
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.		✓				
Draft performance guarantee or conditional agreement.					✓	
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.		✓				MDEP Stormwater Permit required.
Any additional studies required by the Planning Board which are deemed necessary in accordance with this Ordinance.					✓	
Storm water management program for the proposed project prepared by a professional engineer.		✓				
A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District, made available at the Brunswick Department of Planning and Development.			✓			

Item	O	S	NA	W	P	Comments
An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.			✓			
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.		✓				
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.			✓			Project is not located with the APZ.
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.					✓	
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.		✓				
Where a septic system is to be used, evidence of soil suitability.			✓			
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of <u>Section 411</u> .		✓				
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.		✓			✓	See Attached Building Plans
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.		✓			✓	See Attached Building Plans
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.		✓				See Attached Condominium Plans
The size and proposed location of water supply and sewage disposal systems.		✓				See Attached Condominium Plans
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.		✓				See Attached Condominium Plans

February 26, 2014

Kevin P. Clark, PLS
Sitelines P.A.
8 Cumberland Street
Brunswick, ME 04011

**RE: Churchill Woods Condominiums
McKeen Street, Brunswick, Maine
Tax Map U-28 Lot 196**

Dear Kevin,

This letter will serve as authorization for Sitelines, P.A. to act as agent for Mr. Robert Cole with regard to various land use permitting requirements for the project located on McKeen Street in Brunswick. This will include any submissions to the DEP and the Town.

Very Truly Yours,

Robert Cole 

WARRANTY DEED

(Statutory Short Form)

I, **Robert J. Cole**, of Brunswick, Cumberland County, and State of Maine, for consideration paid, grant to **CHURCHILL, LLC**, a Maine limited liability company with an office in Yarmouth, Cumberland County, and State of Maine, *with Warranty Covenants*, the real estate located at Brunswick, County of Cumberland, and State of Maine, bounded as follows:

A certain lot or parcel of land situated on the northerly sideline of McKean Street, in the Town of Brunswick, County of Cumberland, State of Maine, being more particularly bounded and described as follows:

Beginning at a granite monument found on the northerly sideline of said McKean Street at the southwesterly most corner of land now or formerly of the Maine District Church of Nazarene and recorded at the Cumberland County Registry of Deeds in Book 3118 at Page 280; thence North $87^{\circ} 47' 17''$ West along the northerly sideline of said McKean Street 140.08 feet to a point that is located 400 feet easterly, as measured along the northerly sideline of said McKean Street, of the southeasterly most corner of land now or formerly of the Roman Catholic Bishop of Portland and registered at the Cumberland County Registry of Deeds in Book 2321 at Page 305; thence North $2^{\circ} 12' 43''$ East 150 feet to a point; thence North $87^{\circ} 47' 17''$ West 400 feet to a point on the easterly line of land of said Roman Catholic Bishop of Portland; thence North $2^{\circ} 12' 43''$ East 495.15 feet to an iron pipe found on the southerly sideline of Country Lane; thence South $87^{\circ} 59' 17''$ East along the southerly sideline of said Country Lane 168.72 feet to an iron pipe found; thence South $87^{\circ} 58' 01''$ East along the southerly sideline of said Country Lane 156.96 feet to the northwesterly corner of other land now or formerly of Shelmar Development Corp. and recorded in the Cumberland County Registry of Deeds in Book 9767 at Page 339; thence South $29^{\circ} 34' 11''$ East along the southwesterly line of land formerly of said Shelmar Development Corp. 407.40 feet to a granite monument found at the northwesterly corner of land of said Maine District Church of Nazarene; thence South $2^{\circ} 12' 43''$ West along the westerly line of land of said Maine District Church of Nazarene 300 feet to the point of beginning.

Containing 5.78 acres (251,710 square feet).

The above-described premises are conveyed subject to the restriction that a strip of land 25 feet in width, lying southwesterly of the northeasterly boundary of the above-described lot to wit: "thence South $29^{\circ} 34' 11''$ East along the southwesterly line of land formerly of said Shelmar Development Corp. 407.40 feet to a granite monument found at the northwesterly corner of land of said Maine District Church of Nazarene" be maintained for the sole purpose of providing a visually screened buffer strip between the above-described property and land lying to the northeast. No fence or other structure shall be erected or built within said strip. This restriction shall enure to the benefit of Marilyn Ouellette, Treasurer of Shelmar Development Corp., and upon her death to the owner of the property lying immediately northeast of the above-described strip of land.

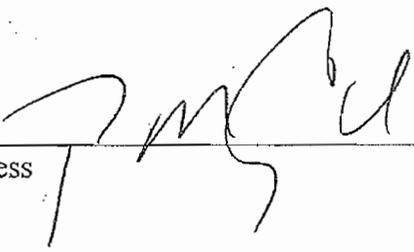
This conveyance is subject to the restriction contained in the Warranty Deed from Shelmar

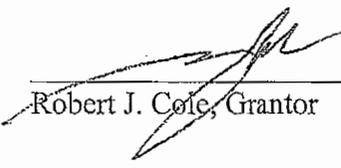
Development Corp. to Robert J. Cole dated March 12, 2002, and recorded in Cumberland County Registry of Deeds in Book 17421, Page 90 as follows:

The Grantee and his successors and assigns shall within one year of the date of this deed plant and maintain evergreen screening within said strip of a sufficient density to provide said visual screening.

These are the same premises conveyed by Warranty Deed of Shelmar Development Corp. to Robert J. Cole dated March 12, 2002, and recorded in Cumberland County Registry of Deeds in Book 17421, Page 90.

WITNESS, my hand and seal this 24th day of January, 2007.

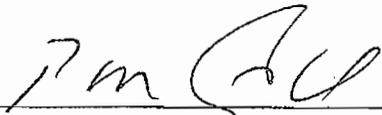
Witness 


Robert J. Cole, Grantor

STATE OF MAINE
Cumberland, ss.

January 24, 2007

Then personally appeared before me the above-named Robert J. Cole and acknowledged the foregoing instrument to be his free act and deed.


Notary Public/Attorney-at-Law
PAUL R. POTSHAM
Bar # 289

Received
Recorded Register of Deeds
Jan 30, 2007 09:41:35A
Cumberland County
Pamela E. Lovley

WARRANTY DEED
(Maine Statutory Short Form)

CHURCHILL, LLC, a Maine limited liability company with a place of business in Yarmouth, County of Cumberland and State of Maine, for valuable consideration, grants to **WILLIAM B. TAYLOR** and **BARBARA E. TAYLOR**, individuals, both of the Town of Georgetown, County of Sagadahoc and State of Maine, with **Warranty Covenants as joint tenants**, the following described real property:

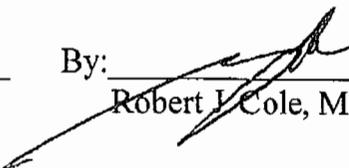
Unit 1 and its respective appurtenant common percentage interest, in **Churchill Woods Condominiums** located in **Brunswick, Cumberland County, Maine**, as described in the Declaration of Condominium declared June 27, 2007, and recorded in the Cumberland County Registry of Deeds in Book 25264, Page 86, and First Amendment to Declaration, dated July 6, 2007 and recorded in said Registry of Deeds in Book 25269 Page 256, and as described in all recorded plats and plans recorded in said Registry of Deeds in Plan Book 207, Pages 365 through 373, together with all privileges and appurtenances belonging to said unit pursuant to the aforesaid condominium documents, including use and ownership in common of all common elements and appurtenant limited common elements.

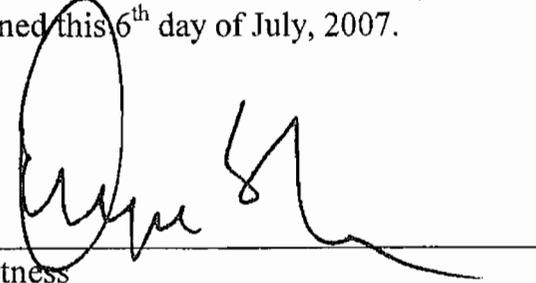
SUBJECT HOWEVER, to all easements and other matters described in the recorded Declaration; to any utility easements of record; rights, restrictions, reservations and obligations as noted on any recorded plans and surveys; and to all rules and regulations established by the Churchill Woods Condominiums Owners Association.

Meaning and intending to convey and hereby conveying a portion of the premises conveyed to Churchill, LLC by Warranty Deed of Robert J. Cole, dated January 24, 2007 and recorded in said Registry of Deeds in Book 24799, Page 20.

IN WITNESS WHEREOF, CHURCHILL, LLC has caused this instrument to be signed this 6th day of July, 2007.

CHURCHILL, LLC

By: 
Robert J. Cole, Member

Witness 

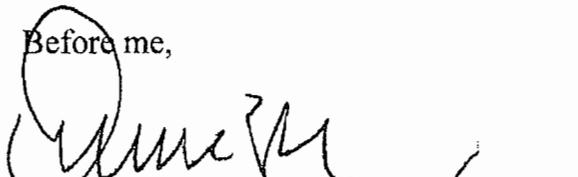
MAINE REAL ESTATE TAX PAID

STATE OF MAINE
CUMBERLAND, SS.

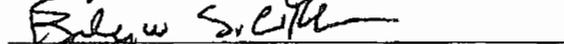
July 6, 2007

Personally appeared the above-named, Robert J. Cole, in his said capacity, and acknowledged the foregoing instrument to be his free act and deed, and the free act and deed of said limited liability company.

Before me,



~~Notary Public~~ Attorney at Law



Printed Name

S:\CVCBII02\Sales\Unit 1\Deed.DOC

Received
Recorded Register of Deeds
Jul 09 2007 11:54:16A
Cumberland County
Pamela E. Lovley



PHW
10.27.98
610.5

October 26, 1998

Charles R. Wiercinski, PE
Sitelines
8 Cumberland Street
Brunswick, ME 04011

RE: Wetland Investigations at the 6-acre McKeen Street lot in Brunswick, Maine

Dear Charlie:

At your request, Woodlot Alternatives, Inc. (Woodlot) visited the 6-acre McKeen Street parcel located directly east of the St. Charles Borromeo Church parking lot in order to determine if any wetlands are located within the proposed project area. The presence or absence of wetlands on the property was determined using the technical criteria of the U.S. Army Corps of Engineers (Corps) and the Maine Department of Environmental Protection (DEP). No wetlands or stream channels were identified on the property.

Site Description

The subject property is approximately 6 acres in size and is bordered by McKeen Street to the south and Weymouth Street to the north. The site is forested with a mixed stand of white pine (*Pinus strobus*), red oak (*Quercus rubra*), and red maple (*Acer rubrum*). Shrubs including mountain holly (*Nemopanthus mucronata*), nannyberry (*Viburnum lentago*), black huckleberry (*Gaylussacia baccata*), and sweet fern (*Comptonia peregrina*) are common throughout the understory. Dominant herbs include teaberry (*Gaultheria procumbens*), bracken fern (*Pteridium aquilinum*), bunchberry (*Cornus canadensis*), and Indian cucumber-root (*Medeola virginiana*). Soils across the site consist of well-drained sandy loams and sands. The site topography is relatively flat with several walking trails bisecting portions of the property. As stated above, no wetlands or areas of saturated soil conditions were found during our investigations.

Please feel free to contact our office if you have any questions regarding the information in this letter.

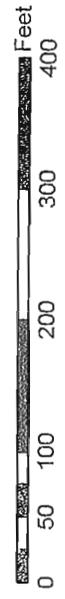
Best Regards,
WOODLOT ALTERNATIVES, INC.

Steve Walker
Wetland Scientist/Wildlife Biologist

CC NAT CLIFFORD, KEN W MALEY

SOIL SURVEY OF CUMBERLAND COUNTY AND PART OF OXFORD COUNTY, MAINE

Churchill Woods Site



SOIL SURVEY OF CUMBERLAND COUNTY AND PART OF OXFORD COUNTY, MAINE

Churchill Woods Site

MAP LEGEND

- Soil Map Units
- Cities
- Detailed Counties
- Detailed States
- Interstate Highways
- Roads
- Rails
- Water
- Hydrography
- Oceans
- Escarpment, bedrock
- Escarpment, non-bedrock
- Gulley
- Levee
- Slope
- Blowout
- Borrow Pit
- Clay Spot
- Depression, closed
- Eroded Spot
- Gravel Pit
- Gravelly Spot
- Gulley
- Lava Flow
- Landfill
- Marsh or Swamp
- Miscellaneous Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Slide or Slip
- Sinkhole
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Perennial Water
- Wet Spot

MAP INFORMATION

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>

Coordinate System: UTM Zone 19

Soil Survey Area: Cumberland County and Part of Oxford
 County, Maine

Spatial Version of Data: 3

Soil Map Compilation Scale: 1:24000

Map comprised of aerial images photographed on these dates:
 5/7/1996; 4/27/1997

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend Summary

Cumberland County and Part of Oxford County, Maine

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DeB	Deerfield loamy sand, 3 to 8 percent slopes	8.3	50.1
Wa	Walpole fine sandy loam	1.1	6.6
WmB	Windsor loamy sand, 0 to 8 percent slopes	7.1	43.3



March 23, 2007
 Summit #17171

Mr. Robert Cole
 P.O. Box 580
 Yarmouth, Maine 04096

Reference: Subsurface Soil Infiltration Investigation
 Churchill Woods Condominiums, Brunswick, Maine

Dear Mr. Cole;

We have completed our investigation and evaluation of the proposed infiltration ponds at the Churchill Woods Condominiums site. Our scope of work included observing the excavation of a series of test pits, performing laboratory testing, and preparing this report with the results of our investigations and recommendations for infiltration rates of the existing site soils.

Exploration and Subsurface Conditions

Seven test pits were excavated at the site on March 13, 2007. The location of the test pits was established by others, and is shown on the attached Figure 1. The test pits were excavated to depths ranging from 9 to 11 feet below the existing ground surface. The soil conditions were observed and recorded in test pits logs, copies of which are attached to this report. A total of 4 samples were taken at various depths in the test pits and tested for Particle Size Distribution (ASTM D422). The results of the laboratory tests are also attached.

The soil at the site consists of 4 to 12 inches of topsoil over a clean medium to fine sand. The sand was firm and moist. At TP2 the sand became grayish-brown and dense at 7 feet. A layer of brown fine sandy silt was encountered at a depth of 10 feet in TP4. A layer of gray silty clay was encountered in TP7 at a depth of 7 feet.

The depth to groundwater and mottling for each test pit is summarized on the following table.

TEST PIT	MOTTLING (ft)		GROUNDWATER (ft)	
	Depth	Elevation	Depth	Elevation
TP-1	5	97.5	7.5	95
TP-2	6.5	96.5	NONE	NA
TP-3	5.5	97.5	NONE	NA
TP-4	5	98	9	94
TP-5	5	99	10.5	93.5
TP-6	6	97	10	93
TP-7	5	99	NONE	NA

Bedrock was not encountered in any of the test pits, excavated to depths of 9 to 11 feet below the existing ground surface.

Evaluation and Recommendations

In general, the sand soil at the site has a relatively high permeability and infiltration rate. The permeability of uniform sands can be estimated by determining the uniformity coefficient and 50 percent passing size. A correlation between these two properties and the permeability rate is provided on Figure 22.1 of Groundwater and Wells (Driscoll, 1986). The following table summarizes these values and the associated permeability.

Sample Location	Property		Estimated Permeability (in/hr)	Estimated Infiltration Rate (gallons/day/sq ft)
	Cu	D50		
TP-1, 4 ft	3.0	0.5	85	1,280
TP-3, 5 ft	2.9	0.6	115	1,700
TP-5, 5 ft	2.9	0.6	115	1,700
TP-6, 5 ft	2.8	0.5	100	1,500

We understand that the infiltration ponds will have a base at 2 feet below the existing ground surface. Based on this, there is a separation of at least 3 feet from the bottom of the infiltration pond to the seasonal high groundwater as determined by mottling. The groundwater observed in the test pits is at least 5 feet below the base of the ponds. Based on this and the results above, we recommend a maximum infiltration rate of 85 inches per hour be used for the ponds at this site.

We have appreciated the opportunity to provide geotechnical engineering services for this project. If there are any questions, please

Sincerely
Summit Geoengineering Services

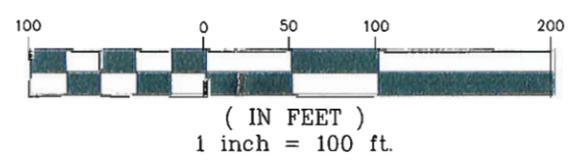
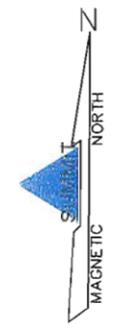
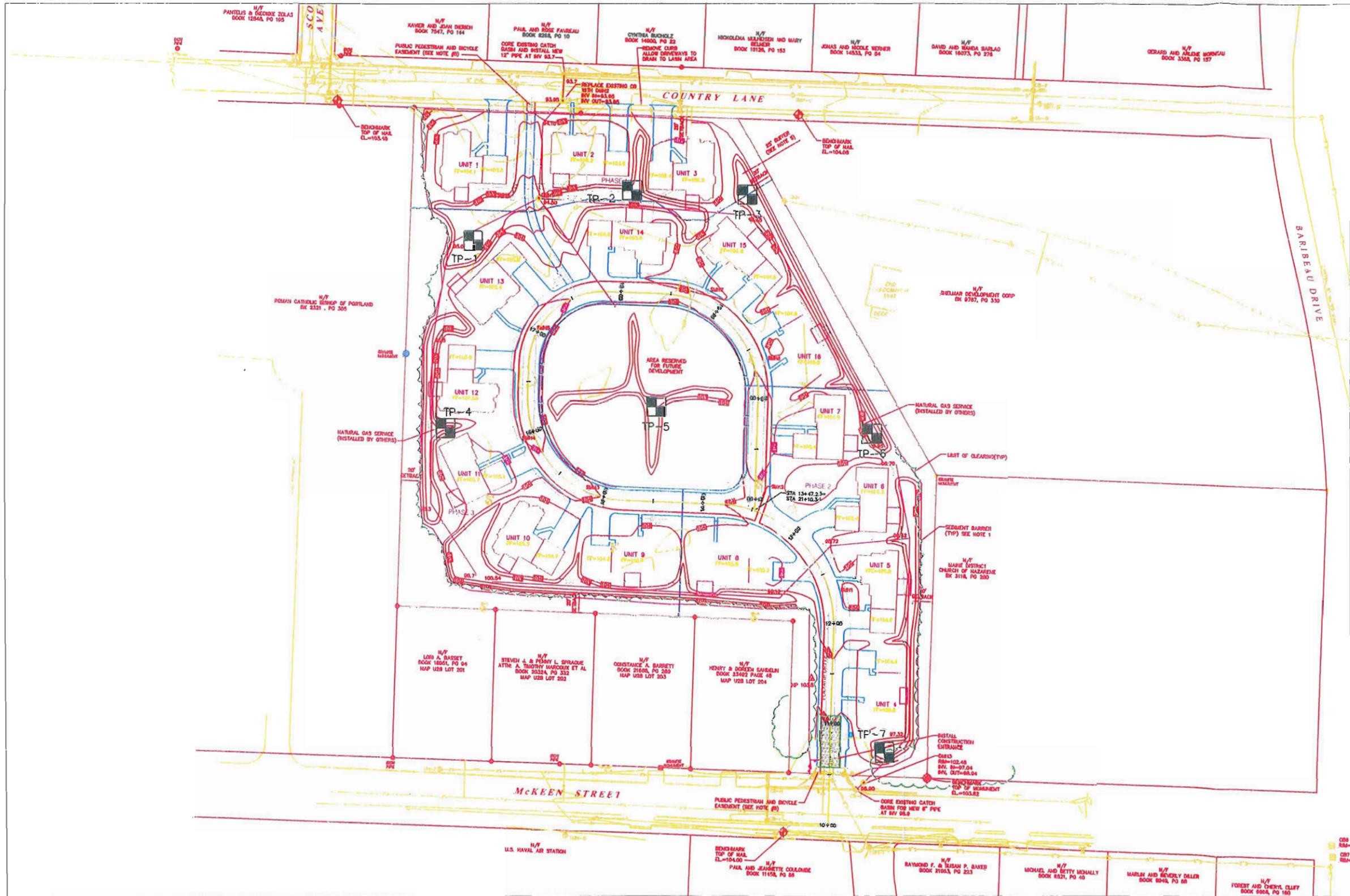


William M. Peterlein, P.E.
Principal Geotechnical Engineer



REFERENCES

Driscoll, Fletcher G. (1986), "Groundwater And Wells," 2nd Ed., Johnson Division, St. Paul, Minnesota



TEST PIT OBSERVED BY SUMMIT, 3-13-07

SOURCE:
 SITE GRADING PLAN PROVIDED BY SITELINES, DATED 8-3-06

640 Main Street Lewiston, Maine 04240 Tel.: (207) 795-6009 Fax: (207) 795-6128	TITLE: TEST PIT LOCATION PLAN		PROJECT: CHURCHILL WOODS CONDOMINIUMS MCKEEN STREET, BRUNSWICK, MAINE	
	SCALE: 1" = 100'	DRAWN BY: VMMP	CLIENT: ROBERT COLE	
	DATE: 03/23/07	APPR. BY:		
		PROJECT #: 17071		
		FIGURE:		

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit #	TP-1
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #:	17171
				Groundwater:	7.5 ft BGS
Contractor:		Ground Surface Elevation:		102.5 ft +/-	
Equipment: Case CX169 Tracked Excavator		Reference:		Site Plans by Sitelines	
Summit Staff: B. Peterlein, P.E.		Date:	3/13/2007	Weather:	Sunny
Depth (ft)	DESCRIPTION				
	ENGINEERING	GEOLOGIC/GENERAL			
1	6" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML				
2	Brown medium to fine SAND, clean, firm, moist, SP				
3					
4	Sample at 4 ft				
5	Mottled at 5 ft				
6					
7					
8	Groundwater ponded in test pit at 7.5 ft				
9	End of Test Pit at 9 ft				
10					
11					
12					
13					
14					
15					
16					
17					

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit # TP-2
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #: 17171 Groundwater: None Observed
Contractor:		Ground Surface Elevation: 103 ft +/-		
Equipment: Case CX169 Tracked Excavator		Reference: Site Plans by Sitelines		
Summit Staff: B. Peterlein, P.E.		Date: 3/13/2007	Weather: Sunny	
Depth (ft)	DESCRIPTION			
	ENGINEERING		GEOLOGIC/GENERAL	
1	6" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML			
2	Brown medium to fine SAND, clean, firm, moist, SP			
3				
4				
5				
6				
7	Mottled at 6.5 ft			
8	Becomes grayish-brown and dense			
9				
10	End of Test Pit at 10 ft			
11				
12				
13				
14				
15				
16				
17				

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit # TP-3
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #: 17171
				Groundwater: None Observed
Contractor:		Ground Surface Elevation: 103 ft +/-		
Equipment: Case CX169 Tracked Excavator		Reference: Site Plans by Sitelines		
Summit Staff: B. Peterlein, P.E.		Date: 3/13/2007	Weather: Sunny	
Depth (ft)	DESCRIPTION			
	ENGINEERING	GEOLOGIC/GENERAL		
1	12" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML			
2	Brown medium to fine SAND, clean, firm, moist, SP			
3				
4				
5			Sample at 5 ft	
6	Mottled at 5.5 ft			
7				
8				
9	End of Test Pit at 9 ft			
10				
11				
12				
13				
14				
15				
16				
17				

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit # TP-4
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #: 17171 Groundwater: Seepage at 9 ft
Contractor:		Ground Surface Elevation: 103 ft +/-		
Equipment: Case CX169 Tracked Excavator		Reference: Site Plans by Sitelines		
Summit Staff: B. Peterlein, P.E.		Date: 3/13/2007	Weather: Sunny	
Depth (ft)	DESCRIPTION			
	ENGINEERING	GEOLOGIC/GENERAL		
1	6" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML			
2	Brown medium to fine SAND, clean, firm, moist, SP			
3				
4				
5	Mottled at 5 ft			
6				
7				
8				
9	Seepage at 9 ft			
10				
11	Brown fine Sandy SILT, trace clay, mottled, wet, stiff, ML			
12	End of Test Pit at 11 ft			
13				
14				
15				
16				
17				

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit # TP-5
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #: 17171
				Groundwater: Seepage at 10.5 ft
Contractor:		Ground Surface Elevation: 104 ft +/-		
Equipment: Case CX169 Tracked Excavator		Reference: Site Plans by Sitelines		
Summit Staff: B. Peterlein, P.E.		Date: 3/13/2007	Weather: Sunny	
Depth (ft)	DESCRIPTION			
	ENGINEERING	GEOLOGIC/GENERAL		
1	4" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML			
2	Brown medium to fine SAND, clean, firm, moist, SP			
3				
4				
5	Mottled at 5 ft			
6				
7				
8				
9				
10	Groundwater seepage at 10.5 ft			
11	End of Test Pit at 11 ft			
12				
13				
14				
15				
16				
17				

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit #	TP-6
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #:	17171
Contractor:		Ground Surface Elevation:		103 ft +/-	
Equipment: Case CX169 Tracked Excavator		Reference:		Site Plans by Sitelines	
Summit Staff: B. Peterlein, P.E.		Date:	3/13/2007	Weather:	Sunny
Depth (ft)	DESCRIPTION				
	ENGINEERING		GEOLOGIC/GENERAL		
1	4" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML		Sample at 5 ft		
2	Brown medium to fine SAND, clean, firm, moist, SP				
3					
4					
5					
6	Mottled at 6 ft				
7					
8					
9					
10	Groundwater seepage at 10 ft				
11	End of Test Pit at 10.5 ft				
12					
13					
14					
15					
16					
17					

SUMMIT GEOENGINEERING SERVICES 640 Main Street Lewiston, Maine 04240		TEST PIT LOG		Test Pit # TP-7
		Project: Churchill Woods Condos McKeen Street Brunswick, Maine		Project #: 17171
				Groundwater: None Observed
Contractor:		Ground Surface Elevation: 104 ft +/-		
Equipment: Case CX169 Tracked Excavator		Reference: Site Plans by Sitelines		
Summit Staff: B. Peterlein, P.E.		Date: 3/13/2007	Weather: Sunny	
Depth (ft)	DESCRIPTION			
	ENGINEERING	GEOLOGIC/GENERAL		
1	6" Topsoil, dark-brown to black SILT, little Sand, trace rootlets, moist, ML			
2	Brown medium to fine SAND, clean, firm, moist, SP			
3				
4				
5	Mottled at 5 ft			
6				
7				
8	Gray Silty CLAY, trace fine Sand, stiff, blocky, mottled, moist, ML or CL			
9	End of Test Pit at 9 ft			
10				
11				
12				
13				
14				
15				
16				
17				

SUMMIT GEOENGINEERING SERVICES

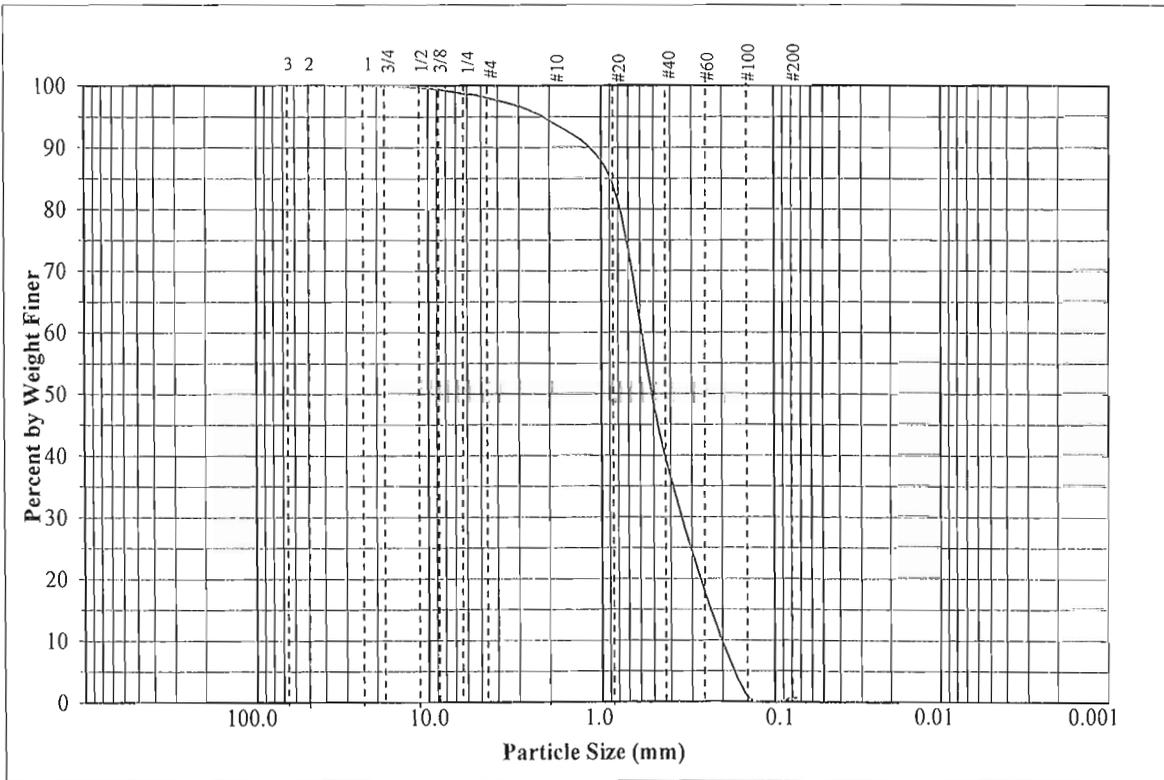
P.O. Box 4698 Augusta, Maine 04330-4698
Phone:(207) 621-8334 Fax:(207) 626-9094

GRAIN SIZE ANALYSIS - ASTM D422

PROJECT NAME:	Soil Infiltration Investigation	PROJ #:	17171
CLIENT:	Robert Cole	SAMPLE:	S1
SOIL DESCRIP:	Medium Sand SP	DATE:	3/15/07
INTENDED USE:	Site Investigation	SOURCE:	TP-1, 4' Gallin

DATA

<u>PARTICLE SIZE mm</u>	<u>% BY WT FINER</u>
76.20 (3 in)	100.0
50.80 (2 in)	100.0
38.10 (1-1/2 in)	100.0
25.40 (1 in)	100.0
19.05 (3/4 in)	100.0
12.70 (1/2 in)	99.8
9.53 (3/8 in)	99.6
6.35 (1/4 in)	98.8
4.75 (No. 4)	98.2
2.00 (No. 10)	94.4
0.85 (No. 20)	83.9
0.43 (No. 40)	39.5
0.15 (No. 100)	1.6
0.08 (No. 200)	0.6



REMARKS: USCS Class SP, Cu=3.0, D50=0.5 mm

Reviewed. Darrell A. Gilman, CMT Manager
Sent: 3/15/07

SUMMIT GEOENGINEERING SERVICES

P.O. Box 4698 Augusta, Maine 04330-4698
Phone:(207) 621-8334 Fax:(207) 626-9094

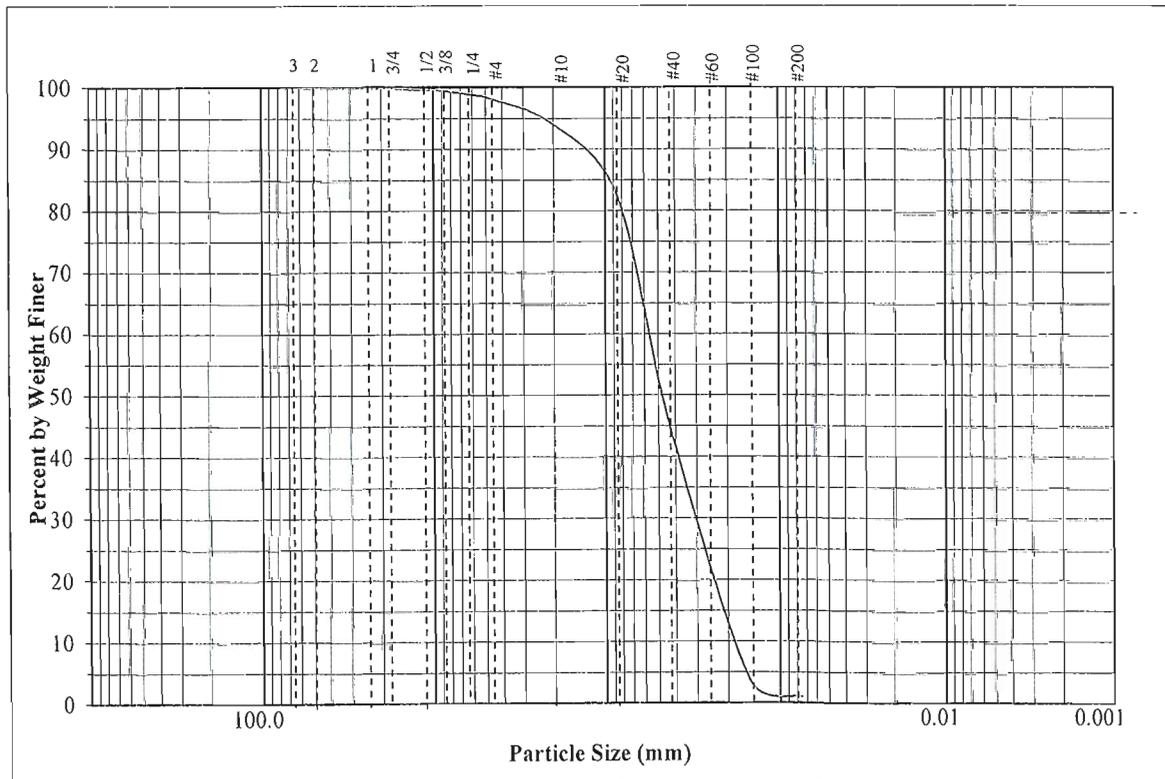
GRAIN SIZE ANALYSIS - ASTM D422

PROJECT NAME: Soil Infiltration Investigation
CLIENT: Robert Cole
SOIL DESCRIP: Medium Sand SP
INTENDED USE: Site Investigation

PROJ #: 17171
SAMPLE: S2
DATE: 3/15/07
SOURCE: TP-3, 5'
Technician: Gallin

DATA

PARTICLE SIZE mm	% BY WT FINER
76.20 (3 in)	100.0
50.80 (2 in)	100.0
38.10 (1-1/2 in)	100.0
25.40 (1 in)	100.0
19.05 (3/4 in)	100.0
12.70 (1/2 in)	99.7
9.53 (3/8 in)	99.5
6.35 (1/4 in)	98.9
4.75 (No. 4)	98.2
2.00 (No. 10)	94.0
0.85 (No. 20)	82.4
0.43 (No. 40)	44.6
0.15 (No. 100)	3.7
0.08 (No. 200)	1.0



REMARKS: USCS Class SP, Cu=2.9, D50=0.6 mm

Reviewed: Darrell A. Gilman, CMT Manager
Sent: 3/15/07

SUMMIT GEOENGINEERING SERVICES

P.O. Box 4698 Augusta, Maine 04330-4698
Phone:(207) 621-8334 Fax:(207) 626-9094

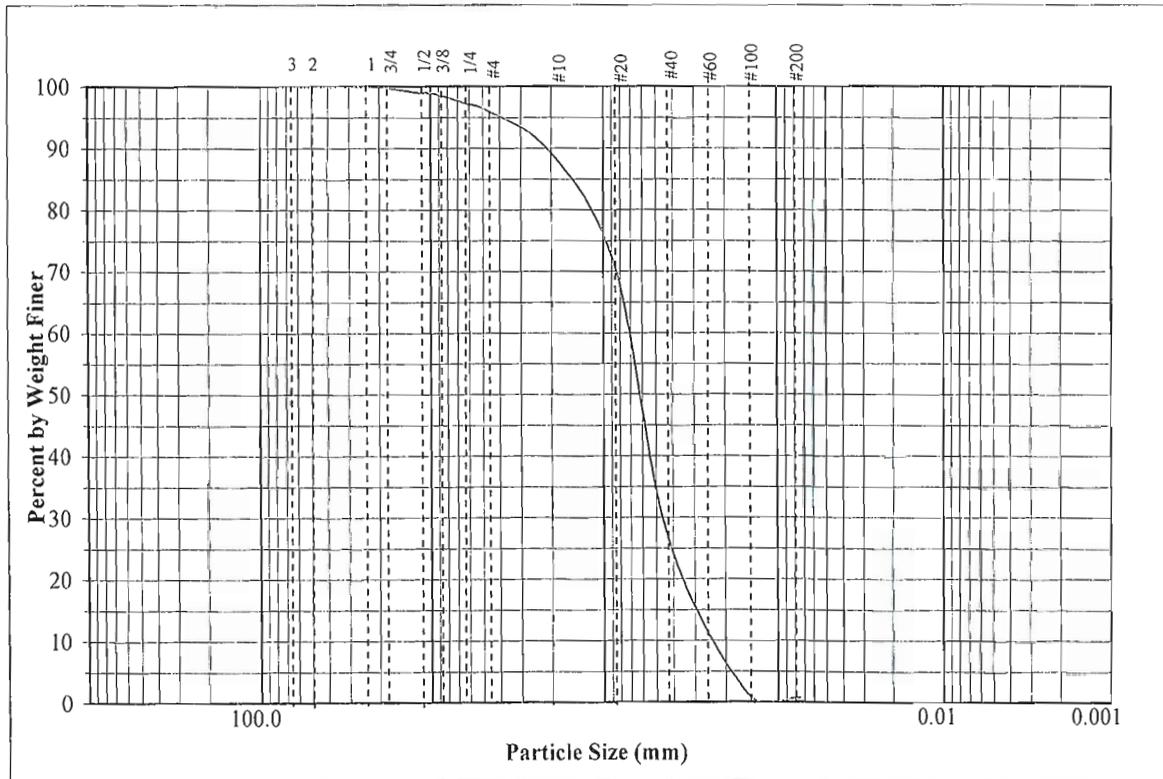
GRAIN SIZE ANALYSIS - ASTM D422

PROJECT NAME: Soil Infiltration Investigation
CLIENT: Robert Cole
SOIL DESCRIPT: Medium Sand SP
INTENDED USE: Site Investigation

PROJ #: 17171
SAMPLE: S3
DATE: 3/15/07
SOURCE: TP-5, 5'
Technician: Gallin

DATA

PARTICLE SIZE mm	% BY WT FINER
76.20 (3 in)	100.0
50.80 (2 in)	100.0
38.10 (1-1/2 in)	100.0
25.40 (1 in)	100.0
19.05 (3/4 in)	100.0
12.70 (1/2 in)	99.1
9.53 (3/8 in)	98.8
6.35 (1/4 in)	97.3
4.75 (No. 4)	96.2
2.00 (No. 10)	89.3
0.85 (No. 20)	70.5
0.43 (No. 40)	26.5
0.15 (No. 100)	1.3
0.08 (No. 200)	0.8



REMARKS: USCS Class SP, Cu=2.9, D50=0.6 mm

Reviewed: Darrell A. Gilman, CMT Manager
Sent: 3/15/07

SUMMIT GEOENGINEERING SERVICES

P.O. Box 4698 Augusta, Maine 04330-4698
Phone:(207) 621-8334 Fax:(207) 626-9094

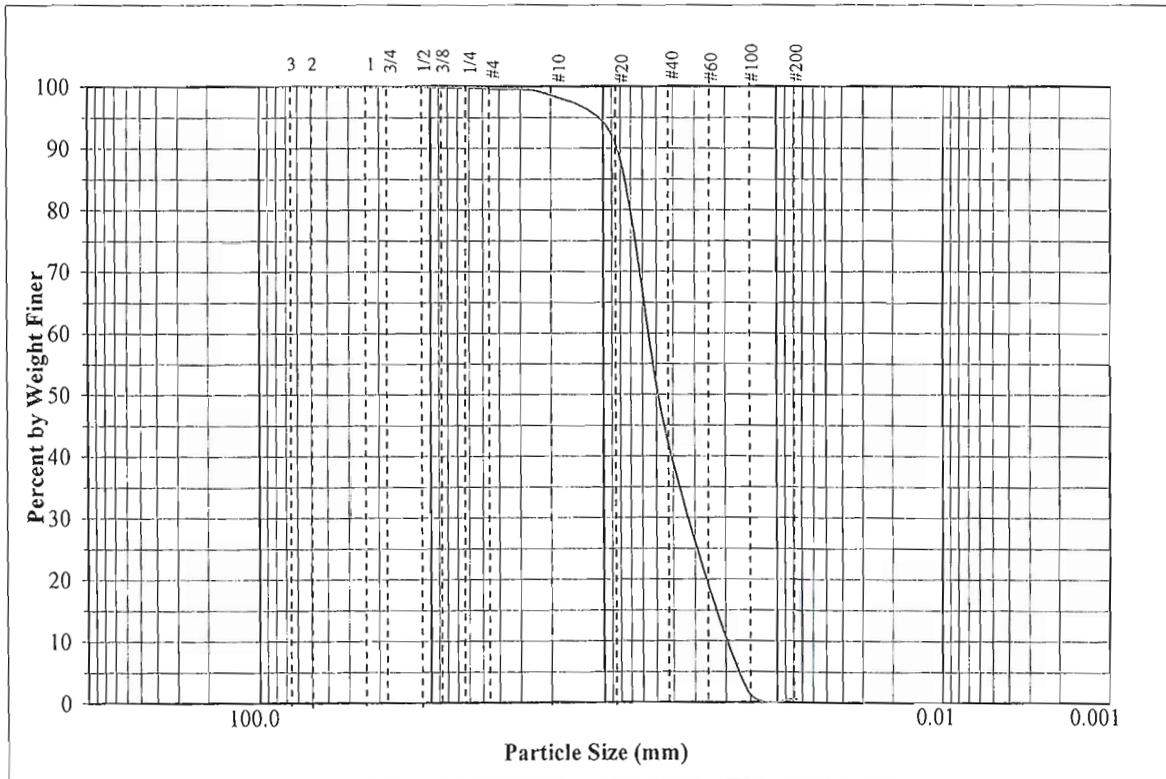
GRAIN SIZE ANALYSIS - ASTM D422

PROJECT NAME: Soil Infiltration Investigation
CLIENT: Robert Cole
SOIL DESCRIP: Medium Sand SP
INTENDED USE: Site Investigation

PROJ #: 17171
SAMPLE: S4
DATE: 3/15/07
SOURCE: TP-6, 5'
Technician: Gallin

DATA

PARTICLE SIZE mm	% BY WT FINER
76.20 (3 in)	100.0
50.80 (2 in)	100.0
38.10 (1-1/2 in)	100.0
25.40 (1 in)	100.0
19.05 (3/4 in)	100.0
12.70 (1/2 in)	100.0
9.53 (3/8 in)	99.9
6.35 (1/4 in)	99.8
4.75 (No. 4)	99.7
2.00 (No. 10)	98.6
0.85 (No. 20)	90.8
0.43 (No. 40)	42.0
0.15 (No. 100)	2.1
0.08 (No. 200)	0.6



REMARKS: USCS Class SP, Cu=2.8, D50=0.5 mm

Reviewed: Darrell A. Gilman, CMT Manager
Sent: 3/15/07

BRUNSWICK PARKS & RECREATION DEPARTMENT

30 FEDERAL STREET

BRUNSWICK ME 04011-1584

TEL (207) 725-6656
FAX (207) 725-6663

THOMAS M. FARRELL
Director

STEVEN J. BALBONI
Deputy Director

October 19, 2006

Ms. Rita Worthing, Chair
Brunswick Planning Board
28 Federal Street
Brunswick, Maine 04011

Handwritten:
1263.7
10.20.06
CWD
MA

Re: Churchill Woods Condominiums

Dear Ms. Worthing,

On Wednesday, October 18, 2006 members of the Brunswick Recreation Commission met with Mr. Charles Wiercinski, representative for the developer of the proposed Churchill Woods Condominiums project. At that time Mr. Wiercinski indicated that the developer does not propose to set aside any land for recreation as part of this development and therefore intends to pay an impact fee for the project.

To assist in calculating the recreation impact fee for the project Town Assessor, Cathy Donovan has determined the value of an undeveloped acre at the site to be \$50,000.00 (see attachment #1). The fee in lieu of land as computed via the formula set forth in the Town's Zoning Ordinance is \$29,850.00 (see attachment #2).

The Recreation Commission recommends acceptance of this fee in fulfillment of the recreation/open space requirement. Payment of the fee should be prorated and be collected at the issuance of building permits on a per unit basis. We further recommend that this fee be accepted and placed into an account for acquisition and or further enhancement of recreation facilities in accordance with the Town's Parks, Recreation and Open Space Plan and its Capital Improvement Program.

Very Truly Yours,

Handwritten signature of Jeffrey H. Ward
Jeffrey H. Ward, Chair
Brunswick Recreation Commission

Pcc
Brunswick Recreation Commission
Charles Wiercinski, Sitelines
Cathy Donovan, Assessor
Jim Fortune, Planner

Cathleen M Donovan, CMA
Assessor
Roger J Hoy, CMA
Assistant Assessor



28 Federal Street
Brunswick, Maine 04011
Telephone 207 725-6650
FAX 207 725-6663

Town of Brunswick, Maine
Incorporated 1739
Assessing Department
www.brunswickme.org

July 26, 2006

Thomas Farrell
Recreation Department
30 Federal Street
Brunswick, ME 04011

Re: McKeen Street Project
Map U28 Lot 196

Dear Tom:

As requested, I have concluded that the value of an undeveloped acre for the McKeen Street Project located on Map U28 Lot 196 to be \$50,000.

Sincerely,

Cathleen M. Donovan, CMA
Assessor

cc: Marc Dube, Sitelines

*Prepared by: Tom Farrell
October 18, 2006*

CHURCHILL WOODS CONDOMINIUMS

20 Units x 1,300 square feet per unit = 26,000 square feet

26,000 square feet \div 43,560 = .597 acres

.597 x price of an undeveloped acre = fee in lieu of land

.597 x \$50,000. = \$29,850.00

FEE IN LIEU OF LAND IS \$29,850.00

CHURCHILL WOODS CONDOMINIUMS

McKEEN STREET and COUNTRY LANE

BRUNSWICK, MAINE

LEGEND:

EXISTING		PROPOSED
● OR ■	IRON PIPE OR MONUMENT	○ OR □
⊕	BENCH MARK (SEE NOTES)	
⊙	EXISTING TEST PITS	
⊙	CATCH BASIN	
⊙	SEWER MANHOLE	
⊙	FIRE HYDRANT	
⊙	WATER GATE VALVE	
⊙	WATER SHUT-OFF	
⊙	UTILITY POLE	
⊙	SIGN	
---	PROJECT PROPERTY LINE	---
---	PROJECT PHASING LINE	---
---	ABUTTER PROPERTY LINE	---
---	EASEMENTS	---
---	SETBACK/BUFFER	---
---	SOILS BOUNDARY	---
---	CURB	---
---	EDGE OF PAVEMENT	---
---	ROAD CENTERLINE	---
▨	BUILDING	▨
---	STORM DRAIN(SEE PLAN FOR SIZE)	---
---	UNDERDRAIN(SEE PLAN FOR SIZE)	---
---	SEWER LINE(SEE PLAN FOR SIZE)	---
---	WATER LINE(SEE PLAN FOR SIZE)	---
---	NATURAL GAS LINE(SEE PLAN FOR SIZE)	---
---	OVERHEAD ELECTRIC	---
---	UNDERGROUND ELECTRIC	---
---	SPOT ELEVATION	---
---	SLOPE ARROW	---
---	CONTOURS	---
---	TREE LINE	---
---	SEDIMENT BARRIER	---
---	CONSTRUCTION ENTRANCE	---
---	PROPOSED PAVEMENT	---
---	CONCRETE	---

UTILITY CONTACTS:

CODE ENFORCEMENT:
TOWN OF BRUNSWICK
28 FEDERAL STREET
BRUNSWICK, MAINE 04011
207-725-6651

ELECTRIC SERVICE:
CENTRAL MAINE POWER
280 BATH ROAD
BRUNSWICK, MAINE 04011
207-721-8054

TELEPHONE SERVICE:
FAIRPOINT
BATH ROAD (P.O. BOX 360)
BRUNSWICK, MAINE 04011
207-442-8018

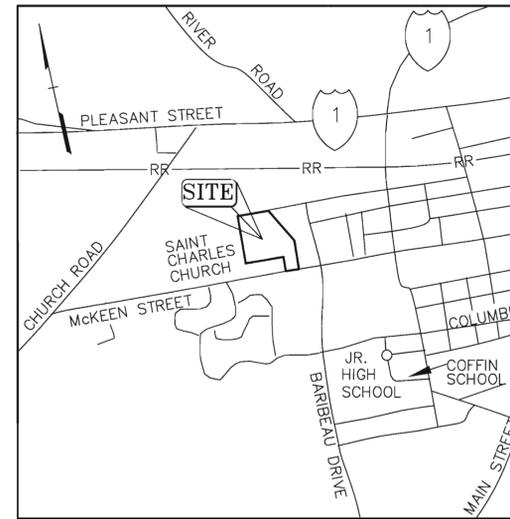
CABLE SERVICE:
COMCAST
CONSTRUCTION OFFICE
336 BATH ROAD
BRUNSWICK, MAINE, 04011
207-729-6660

WATER SERVICE:
BRUNSWICK-TOPSHAM WATER DISTRICT
266 RIVER ROAD
TOPSHAM, MAINE 04086
207-729-9956

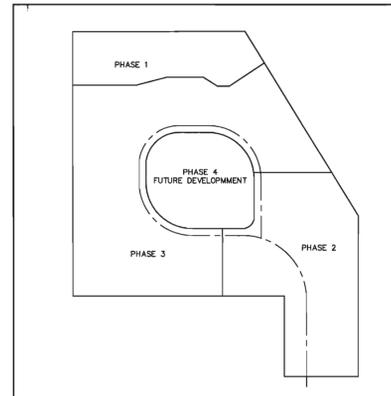
SANITARY SEWER:
BRUNSWICK SEWER DISTRICT
10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
207-729-0148

PUBLIC WORKS DEPARTMENT:
9 INDUSTRY ROAD
BRUNSWICK, MAINE 04011
207-725-6654

BRUNSWICK FIRE DEPARTMENT:
21 TOWN HALL PLACE
BRUNSWICK, MAINE 04011
207-725-5541



LOCATION MAP
NOT TO SCALE



PHASE 1 - UNITS 1,2&3
PHASE 2 - UNITS 4,5,6,7&8
PHASE 3 - 9,10,11,12,13,14,15&16

PHASE KEY MAP
NOT TO SCALE

SHEET INDEX

- 1 COVER SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 CONDOMINIUM PLAN
- 4 SITE DEVELOPMENT PLAN
- 5 UTILITY PLAN
- 6 GRADING DRAINAGE AND EROSION CONTROL PLAN
- 7 ROAD PLAN AND PROFILE
- 8 EROSION CONTROL NOTES
- 9 CONSTRUCTION DETAILS
- 10 LANDSCAPE / BUFFER PLAN
- 11 PRE-DEVELOPMENT STORMWATER PLAN
- 12 POST-DEVELOPMENT STORMWATER PLAN

2. 3-18-14 SUBMITTED FOR RE-APPROVAL RPL
1. 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

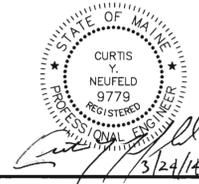
COVER SHEET

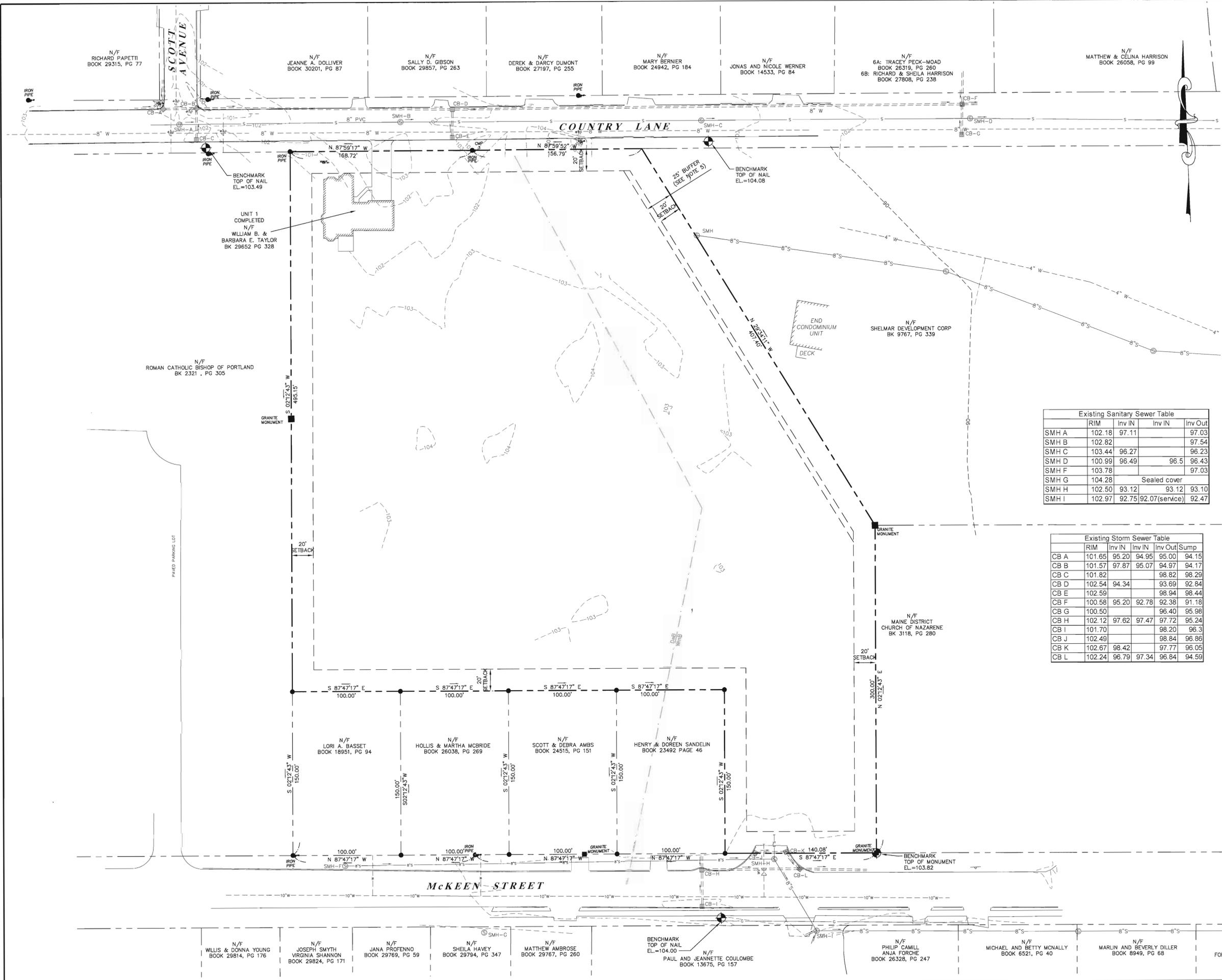
CHURCHILL WOODS CONDOMINIUMS
BRUNSWICK, MAINE

CHURCHILL, LLC
141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO	SCALE: NONE	SHEET:
DRN BY: DSE	JOB #: 1263	1
CHD BY: CRW/CYN	SS:	
DATE: 11-15-06	FILE: 1263Cover	





- PLAN REFERENCE:**
- "FINAL SUBDIVISION PLAN, CHURCHILL ESTATES," DATED MARCH 12, 2002 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 202, PAGE 345.
 - ADDITIONAL TOPOGRAPHIC SURVEY DONE BY DIRIGO LAND SERVICES, DATED AUGUST 2006.
- GENERAL NOTES:**
- THE SITE IS OWNED BY ROBERT J. COLE OF YARMOUTH, MAINE, MAP U-28, LOT 196, BOOK 17421 PAGE 90.
 - AREA OF EXISTING LOT = 5.78 AC. (251,715 S.F.)
 - ZONING REQUIREMENTS:
 ZONE: R4 (MERRIDITH DRIVE-WEST MCKEEN STREET NEIGHBORHOOD)

CRITERIA	REQUIRED
MIN. LOT AREA	15,000 S.F.
MIN. LOT WIDTH	100 FT.
MIN. FRONT YARD	20 FT.
MIN. REAR YARD	20 FT.
MIN. SIDE YARD	20 FT.
MAX. IMPERVIOUS AREA	35%
MAX. BUILDING HEIGHT	35 FT.
MAX. BUILDING FOOTPRINT	5,000 S.F. PER STRUCTURE
MAX. DENSITY	5 UNITS PER ACRE
 - THE SURFICIAL SOILS ARE CLASSIFIED BY THE SOIL SURVEY FOR CUMBERLAND COUNTY, MAINE BY THE SOIL CONSERVATION SERVICE (SHEET NUMBER 40).
 Wmb - WINDSOR LOAMY SAND, 0 TO 8% SLOPES
 Deb - DEERFIELD LOAMY SAND, 3 TO 8% SLOPES
 - A 25-FOOT BUFFER FOR VISUAL SCREENING SHALL BE MAINTAINED ON THE NORTHEAST PARCEL BOUNDARY ADJACENT TO THE RESIDENTIAL PARCEL AS SHOWN. THE BUFFER VEGETATION SHALL BE SUPPLEMENTED AND MAINTAINED TO PROVIDE SCREENING AS DESCRIBED IN THE DEED AS RECORDED IN BOOK 17421, PAGE 90 OF THE CUMBERLAND COUNTY REGISTRY OF DEEDS.

Existing Sanitary Sewer Table

	RIM	Inv IN	Inv IN	Inv Out
SMH A	102.18	97.11		97.03
SMH B	102.82			97.54
SMH C	103.44	96.27		96.23
SMH D	100.99	96.49	96.5	96.43
SMH F	103.78			97.03
SMH G	104.28		Sealed cover	
SMH H	102.50	93.12	93.12	93.10
SMH I	102.97	92.75	92.07(service)	92.47

Existing Storm Sewer Table

	RIM	Inv IN	Inv IN	Inv Out	Sump
CB A	101.65	95.20	94.95	95.00	94.15
CB B	101.57	97.87	95.07	94.97	94.17
CB C	101.82			98.82	98.29
CB D	102.54	94.34		93.69	92.84
CB E	102.59			98.94	98.44
CB F	100.58	95.20	92.78	92.38	91.18
CB G	100.50			96.40	95.98
CB H	102.12	97.62	97.47	97.72	95.24
CB I	101.70			98.20	96.3
CB J	102.49			98.84	96.86
CB K	102.67	98.42		97.77	96.05
CB L	102.24	96.79	97.34	96.84	94.59

STATE OF MAINE
 KEVIN P. CLARK
 #2245
 PROFESSIONAL LAND SURVEYOR

STATE OF MAINE
 CURTIS Y. NEUFELD
 9779
 LICENSED PROFESSIONAL ENGINEER

GRAPHIC SCALE
 1 inch = 40 ft.

- 03-18-13 SUBMITTED FOR RE-APPROVAL RPL
- 12-20-06 SUBMITTED TO MDEP MRD
- 11-28-06 SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES DSE
- 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

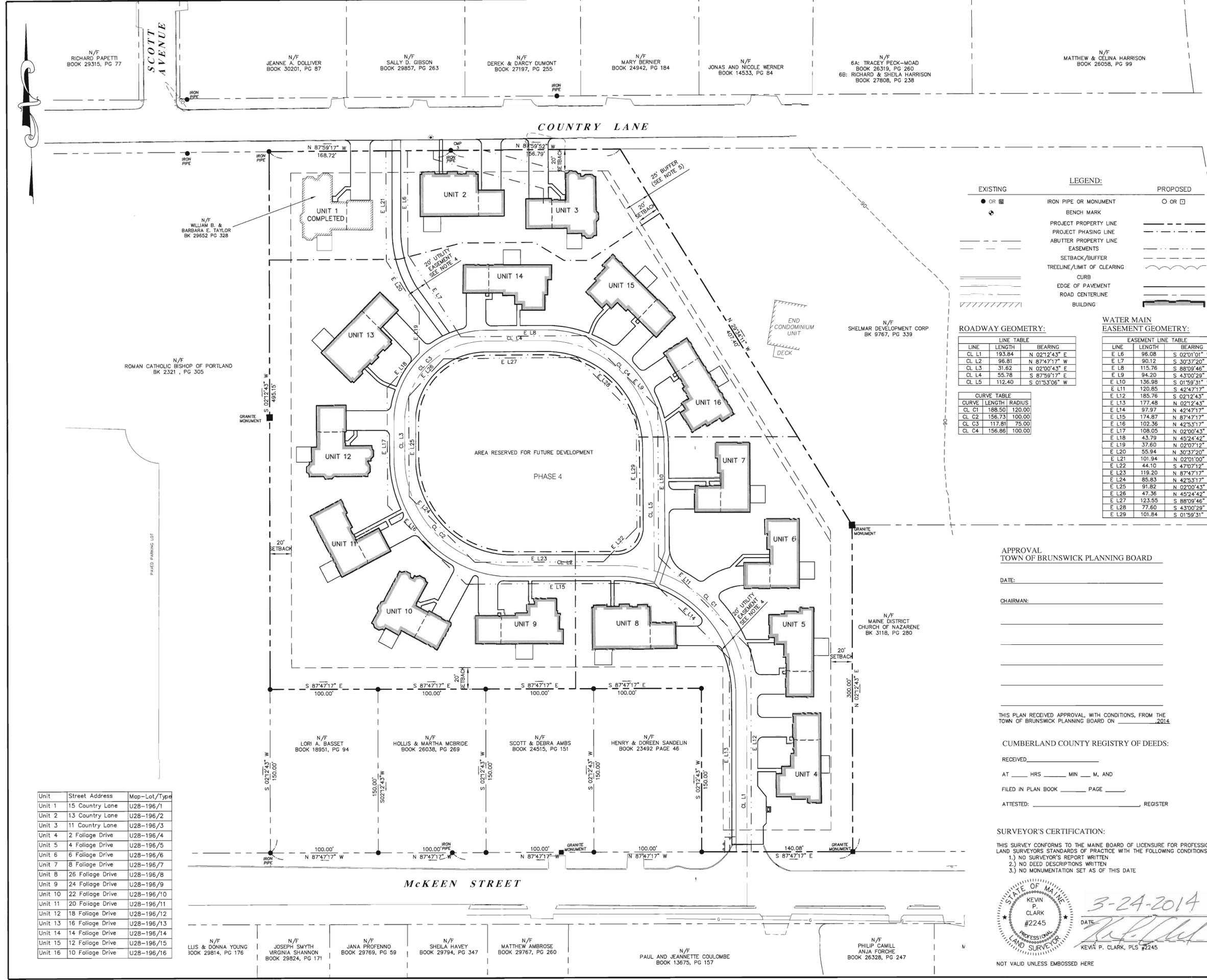
EXISTING CONDITIONS PLAN

CHURCHILL WOODS CONDOMINIUMS
 BRUNSWICK, MAINE

CHURCHILL, LLC
 141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET:
DRN BY: MRD/DSE	JOB #: 1263	2
CHD BY: CRW/CYN	SS:	
DATE: 11-10-06	FILE: 1263SITE.DWG	



Unit	Street Address	Map-Lot/Type
Unit 1	15 Country Lane	U28-196/1
Unit 2	13 Country Lane	U28-196/2
Unit 3	11 Country Lane	U28-196/3
Unit 4	2 Follage Drive	U28-196/4
Unit 5	4 Follage Drive	U28-196/5
Unit 6	6 Follage Drive	U28-196/6
Unit 7	8 Follage Drive	U28-196/7
Unit 8	26 Follage Drive	U28-196/8
Unit 9	24 Follage Drive	U28-196/9
Unit 10	22 Follage Drive	U28-196/10
Unit 11	20 Follage Drive	U28-196/11
Unit 12	18 Follage Drive	U28-196/12
Unit 13	16 Follage Drive	U28-196/13
Unit 14	14 Follage Drive	U28-196/14
Unit 15	12 Follage Drive	U28-196/15
Unit 16	10 Follage Drive	U28-196/16

LEGEND:

● OR ■	EXISTING	○ OR □	PROPOSED
—	IRON PIPE OR MONUMENT	—	BENCH MARK
—	PROJECT PROPERTY LINE	—	PROJECT PHASING LINE
—	ABUTTER PROPERTY LINE	—	EASEMENTS
—	SETBACK/BUFFER	—	TREELINE/LIMIT OF CLEARING
—	CURB	—	EDGE OF PAVEMENT
—	ROAD CENTERLINE	—	BUILDING

ROADWAY GEOMETRY:

LINE	LENGTH	BEARING
CL L1	193.84	N 02°12'43" E
CL L2	96.81	N 87°47'17" W
CL L3	31.62	N 02°00'43" E
CL L4	55.78	S 87°59'17" E
CL L5	112.40	S 01°53'06" W

CURVE	LENGTH	RADIUS
CL C1	188.50	120.00
CL C2	156.73	100.00
CL C4	156.88	100.00

WATER MAIN EASEMENT GEOMETRY:

LINE	LENGTH	BEARING
E L6	96.08	S 02°01'01" W
E L7	90.12	S 30°37'20" E
E L8	115.76	S 88°09'46" E
E L9	94.20	S 43°00'29" E
E L10	136.98	S 01°59'31" W
E L11	120.85	S 42°47'17" E
E L12	185.76	S 02°12'43" W
E L13	177.48	N 02°12'43" E
E L14	97.97	N 42°47'17" W
E L15	174.87	N 87°47'17" W
E L16	102.36	N 42°53'17" W
E L17	108.05	N 02°00'43" E
E L18	43.79	N 45°24'42" E
E L19	37.60	N 02°07'12" E
E L20	55.94	N 30°37'20" W
E L21	101.94	N 02°01'00" E
E L22	44.10	S 47°07'12" W
E L23	119.20	N 87°47'17" W
E L24	85.83	N 42°53'17" W
E L25	91.82	N 02°00'43" E
E L26	47.36	N 45°24'42" E
E L27	123.55	S 88°09'46" E
E L28	77.60	S 43°00'29" E
E L29	101.84	S 01°59'31" W

APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

DATE: _____

CHAIRMAN: _____

THIS PLAN RECEIVED APPROVAL, WITH CONDITIONS, FROM THE TOWN OF BRUNSWICK PLANNING BOARD ON _____, 2014

CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED: _____

AT _____ HRS _____ MIN _____ M, AND

FILED IN PLAN BOOK _____ PAGE _____

ATTESTED: _____ REGISTER

SURVEYOR'S CERTIFICATION:

THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE FOLLOWING CONDITIONS:

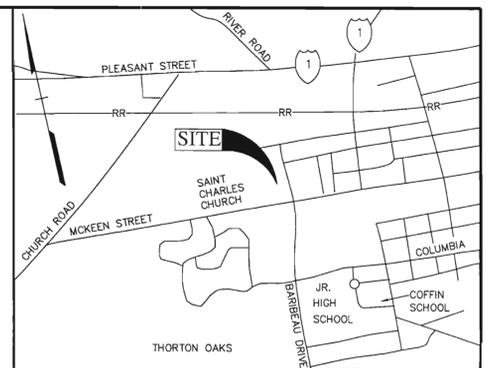
- NO SURVEYOR'S REPORT WRITTEN
- NO DEED DESCRIPTIONS WRITTEN
- NO MONUMENTATION SET AS OF THIS DATE



3-24-2014

DATE: _____

KEVIN P. CLARK, PLS #2245



PLAN REFERENCE: LOCATION MAP NOT TO SCALE

1. "FINAL SUBDIVISION PLAN, CHURCH HILL ESTATES," DATED MARCH 12, 2002 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 202, PAGE 345.

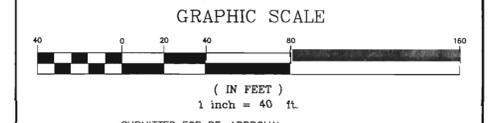
GENERAL NOTES:

- THE SITE, MAP U-28, LOT 196, IS OWNED BY CHURCHILL, LLC, 20 INDEPENDENCE DR., FREEPORT, MAINE 04032 AS RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 24799 PAGE 19.
- AREA OF EXISTING LOT = 5.78 AC. (251,715 S.F.)
- ZONING REQUIREMENTS:
ZONE: MERRIDITH DRIVE - WEST MCKEEN STREET NEIGHBORHOOD (R4)
CRITERIA REQUIRED PROPOSED
MIN. LOT AREA 15,000 S.F. 251,715 S.F. (5.78 ACRES)
MIN. LOT WIDTH 100 FT. 325 FT.
MIN. FRONT YARD 20 FT. 20 FT.
MIN. REAR YARD 20 FT. 20 FT.
MIN. SIDE YARD 20 FT. 20 FT.
MAX. IMPERVIOUS AREA 35% 82,933 S.F. (32.9%)
MAX. BUILDING HEIGHT 35 FT. 35 FT.
MAX. BUILDING FOOTPRINT 5,000 S.F. 2,744 S.F.
PER STRUCTURE (LARGEST STRUCTURE)
MAX. DENSITY 5 UNITS PER ACRE 2.77 UNITS PER ACRE (16 UNITS)
- A 20' UTILITY EASEMENT WILL BE MAINTAINED FOR THE BRUNSWICK-TOPSHAM WATER DISTRICT AND SHALL BE AS DESCRIBED BY THE WATER MAINE EASEMENT GEOMETRY ON THIS SHEET.
- A 25-FOOT BUFFER FOR VISUAL SCREENING SHALL BE MAINTAINED ON THE NORTHEAST PARCEL BOUNDARY ADJACENT TO THE RESIDENTIAL PARCEL AS SHOWN. THE BUFFER VEGETATION SHALL BE SUPPLEMENTED AND MAINTAINED TO PROVIDE SCREENING AS DESCRIBED IN THE DEED AS RECORDED IN BOOK 17421, PAGE 90 OF THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- SITE CLEARING SHALL BE LIMITED TO THE SPECIFIC PHASE BEING CONSTRUCTED. AREA FOR SUBSEQUENT PHASES SHALL BE LEFT IN A NATURAL STATE UNTIL BUILDING PERMITS HAVE BEEN ISSUED FOR THE UNITS IN THAT PHASE. PRIOR TO CLEARING FOR THE SUBSEQUENT PHASE, THE CLEARING LIMITS SHALL BE FLAGGED.
- THE AREA SHOWN AS PHASE 4 IS TO REMAIN IN ITS NATURAL STATE UNTIL A FUTURE PHASE 4 IS APPROVED BY THE TOWN OF BRUNSWICK PLANNING BOARD. NO CUTTING IS ALLOWED IN THIS AREA.
- A PUBLIC EASEMENT FOR PEDESTRIAN AND BICYCLE USE ONLY WILL EXTEND OVER THE PRIVATE SIDEWALK AND ROADWAY BETWEEN MCKEEN STREET AND COUNTRY LANE.

DENSITY CALCULATIONS:

TOTAL AREA OF PROPERTY:	251,715 S.F. (5.78 ACRES).
AREA OF WETLANDS:	0 ACRES
AREA OF STEEP SLOPES:	0 ACRES
AREA OF R/W:	0 ACRES
ALLOWABLE DENSITY:	5 UNITS PER ACRE

ALLOWABLE UNITS:
FOR TOTAL PROPERTY: 28.9
UNITS PROPOSED: (PHASE 1,2,&3) 16



- 03-13-14 SUBMITTED FOR RE-APPROVAL RPL
- 01-11-07 MYLAR SUBMITTED FOR SIGNATURE MRD
- 12-08-06 REVISED PER STAFF REVIEW MRD
- 11-28-06 SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES DSE
- 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE
- 11-09-06 PLAN SUBMITTED TO SEYMOUR EXCAVATING FOR PRICING MRD
- 08-22-06 FULL SUBMISSION OF SKETCH PLAN TO TOWN PLANNER (18 COPIES) MRD
- 08-08-06 DRAFT SKETCH PLAN SUBMITTED TO TOWN PLANNER (1 COPY) MRD

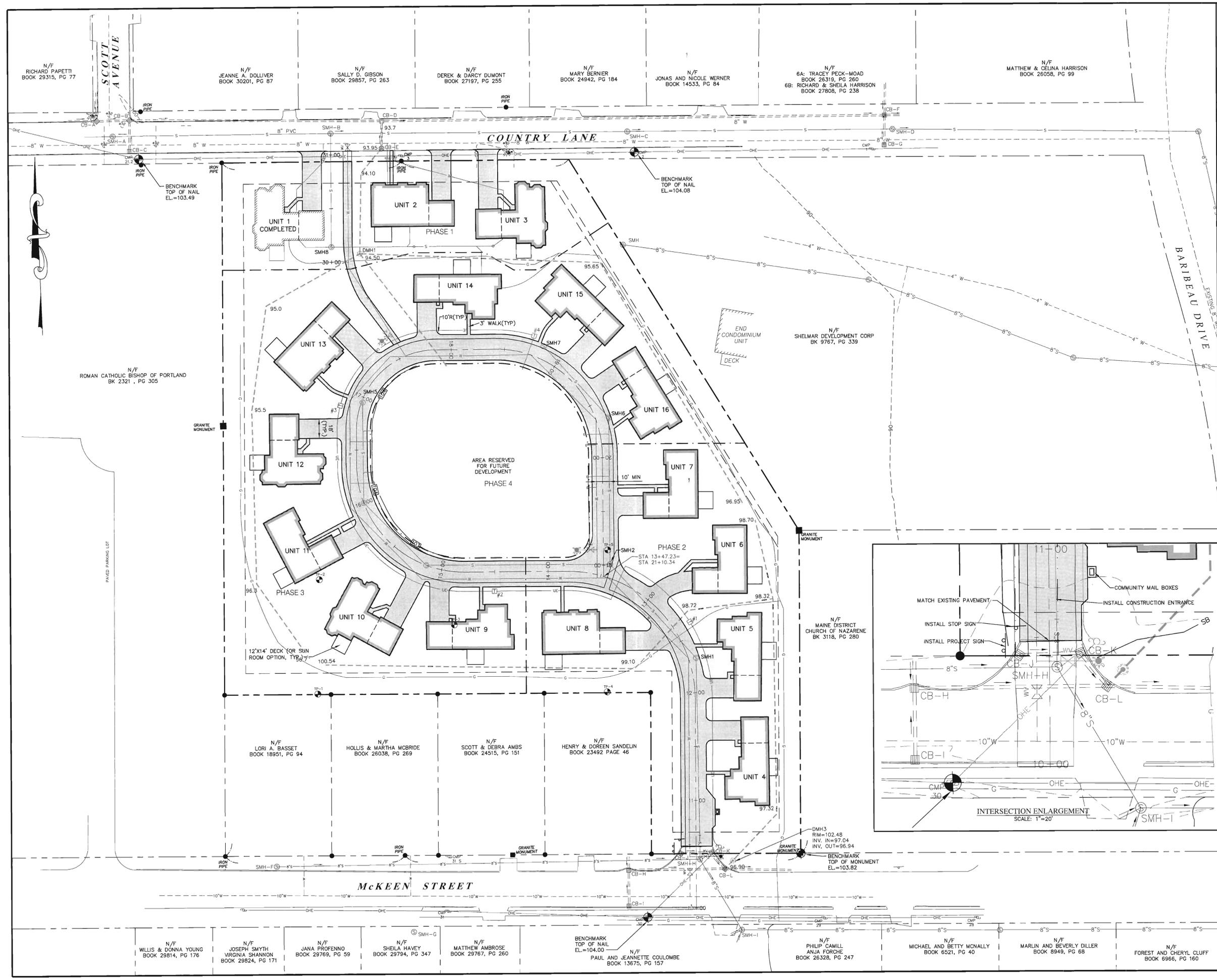
CONDOMINIUM PLAN

CHURCHILL WOODS CONDOMINIUMS
BRUNSWICK, MAINE

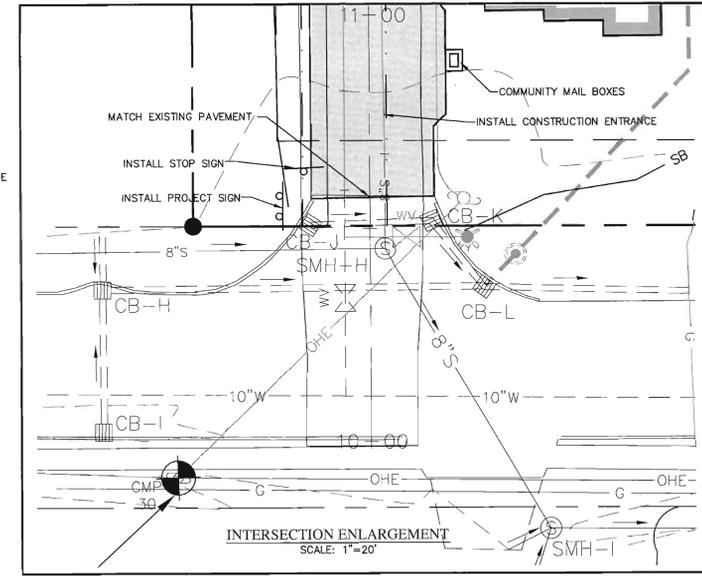
CHURCHILL, LLC
141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET:
DRN BY: MRD/DSE	JOB #: 1263	3
CH'D BY: KPC	SS:	
DATE: 08-03-06	FILE: 1263SITE.DWG	



- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL CONTROL BEFORE BEGINNING WORK.
 2. ALL DISTURBED SURFACES NOT COVERED WITH OTHER MATERIALS SHALL RECEIVE 4" TOPSOIL AND BE SEED.
 3. CLEARING DEBRIS AND GRUBBINGS SHALL BE BURNED, REMOVED, OR GROUND UP AND USED IN EROSION CONTROL.
 4. THE LIMITS OF CLEARING SHALL BE LOCATED AND MARKED PRIOR TO CUTTING OF TREES.
 5. TREES, SHRUBS, AND GROUND COVER IN AREAS NOT TO BE DISTURBED SHALL BE PROTECTED.
 6. REMOVE DEAD WOOD, PRUNE AND CLEAN UP TRIMMED VEGETATION TO THE CLEARING LIMIT IN WOODED AREAS.
 7. INSTALL TEMPORARY EROSION CONTROL BEFORE BEGINNING EARTHWORK. REMOVE WHEN UPSLOPE AREAS ARE STABILIZED.
 8. SEE PLUMBING AND ELECTRICAL PLANS FOR LOCATION AND INVERTS OF SLEEVES IN FOUNDATIONS.
 9. ELECTRIC SERVICE SHALL BE INSTALLED IN CONDUIT UNDER PAVEMENT/CONC.
 10. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL SEWER, WATER, ELECTRICAL AND SANITARY CONDUIT, MANHOLES, TRANSFORMERS, AND FITTINGS FOR APPROVAL.
 11. ALL UNDERGROUND UTILITIES LOCATED ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 12. ALL SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE MUTCD STANDARDS.
 13. ALL ACCESS ROUTES TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS.
 14. ALL WATER SERVICE WORK TO BE COORDINATED WITH LOCAL WATER DISTRICT STANDARDS.
 15. DUCTILE IRON PIPE SHALL MEET THE REQUIREMENTS OF AWWA C150 AND C151, CLASS 52, AND HAVE PUSH ON OR FLANGED JOINTS AS REQUIRED. FITTINGS SHALL HAVE MECHANICAL JOINTS WITH RETAINER GLANDS.
 16. SANITARY SEWER PIPE AND FITTINGS TO BE SDR-35 PVC.
 17. INSTALL INSULATION OVER SANITARY SEWER IN AREAS WHERE THERE IS LESS THAN 4' OF COVER.
 18. CONNECTIONS AT MANHOLES/CATCH BASINS SHALL HAVE A FLEXIBLE BOOT CAST ONTO THE BARREL AND SECURED WITH STAINLESS STEEL BANDS.
 19. SEE SHEET 5 FOR GRADING, DRAINAGE, STORM DRAIN DATA & EROSION CONTROL MEASURES.
 20. SEE SHEET 9 FOR ADDITIONAL LANDSCAPING DETAILS.
 21. BUILDING FOOTPRINT SHOWN IS NOT FOR FOUNDATION LAYOUT. REFER TO STRUCTURAL/ARCHITECTURAL DRAWINGS.
 22. NATURAL GAS SERVICE TO PHASE ONE SHALL BE INSTALLED IN THE BUILDING SETBACK BY MEANS OF DIRECTIONAL DRILLING. DISTURBANCE TO EXISTING VEGETATION SHALL BE LIMITED TO THE GREATEST PRACTICAL EXTENT. NATURAL GAS SERVICES BEHIND UNITS 1, 2, AND 3 SHALL BE INSTALLED SUCH THAT IT DOES NOT CONFLICT WITH ANY BUILDING OR DECK LOCATION SHOWN.



STATE OF MAINE
 CURTIS Y. NEUFELD
 9779
 LICENSED PROFESSIONAL ENGINEER
 3/24/14
 GRAPHIC SCALE
 0 20 40 60 80 100 120 140 160
 (IN FEET)
 1 inch = 40 ft.

7.	03-13-14	SUBMITTED FOR RE-APPROVAL	RPL
6.	04-20-07	ADDED NATURAL GAS SERVICE NOTES	CYN
5.	04-02-07	ADDED UTILITY INFORMATION	CYN
4.	12-20-06	SUBMITTED TO MDEP	MRD
3.	12-08-06	REVISED PER STAFF REVIEW	MRD
2.	11-28-06	SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES	DSE
1.	11-21-06	SUBMITTED TO PLANNER FOR REVIEW - 1 COPY	DSE

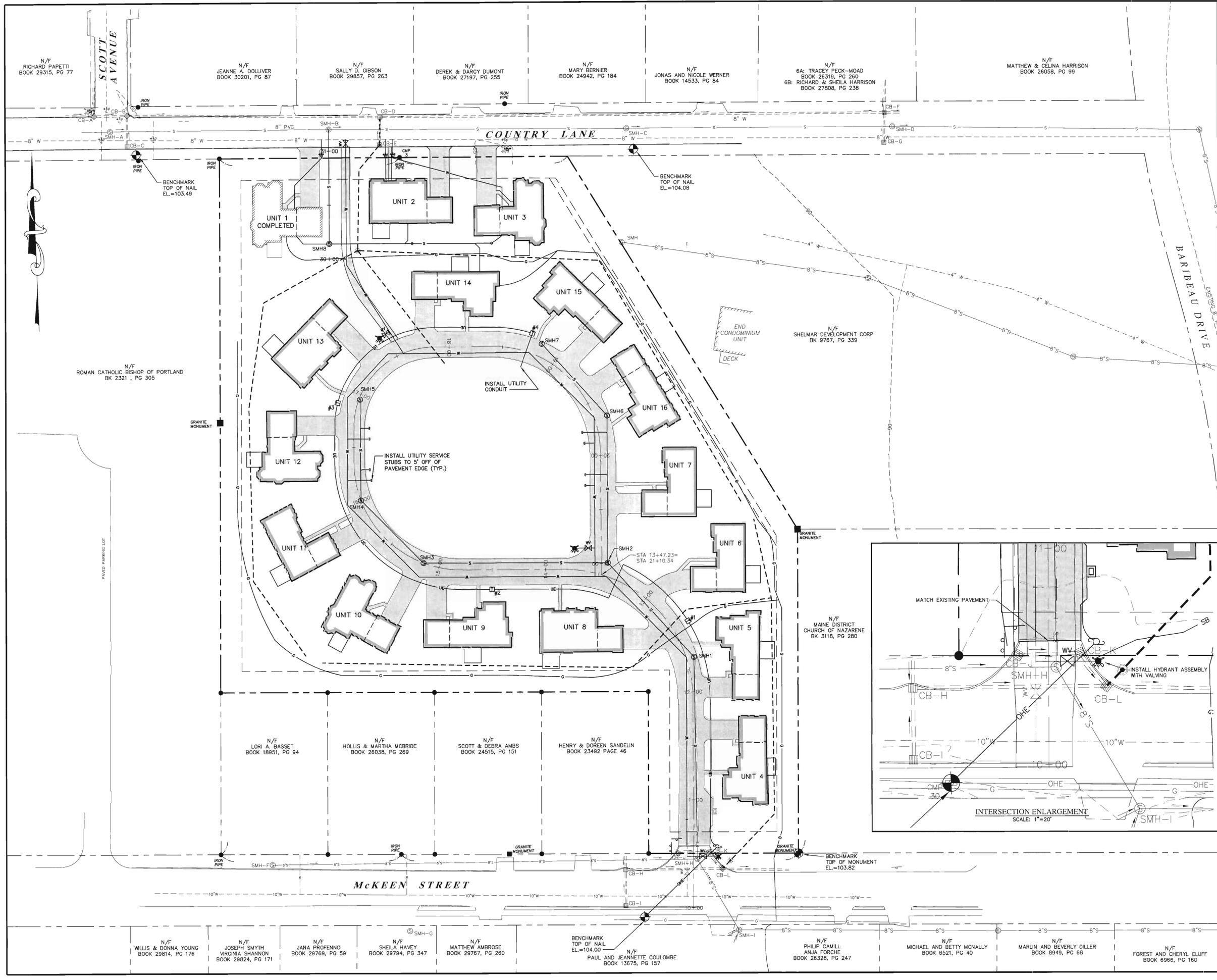
SITE DEVELOPMENT PLAN

CHURCHILL WOODS CONDOMINIUMS
 BRUNSWICK, MAINE

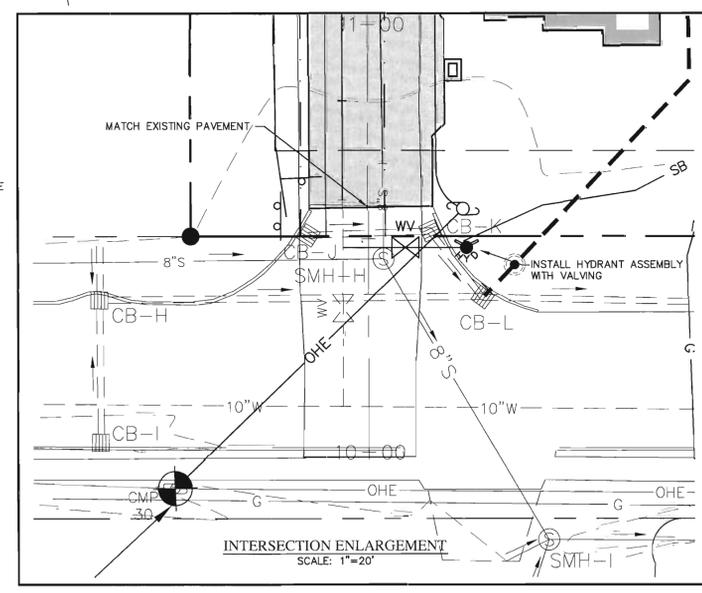
CHURCHILL, LLC
 141 PLEASANT STREET, BRUNSWICK, MAINE 04011

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FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET:
DRN BY: MRD/DSE	JOB #: 1263	4
CHD BY: CRW/CYN	SS:	
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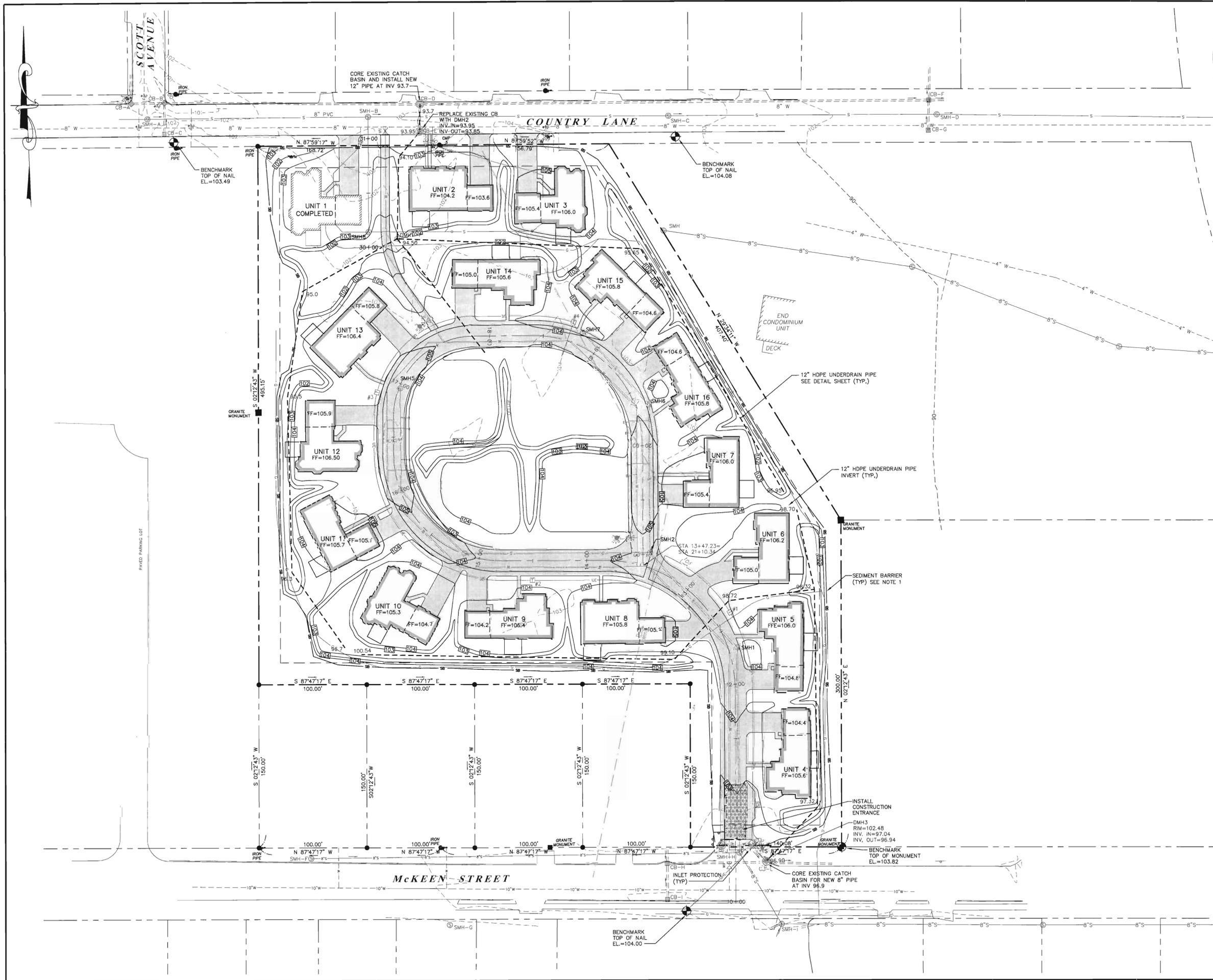


- GENERAL NOTES:**
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 20. SEE SHEET 9 FOR ADDITIONAL LANDSCAPING DETAILS.
 21. BUILDING FOOTPRINT SHOWN IS NOT FOR FOUNDATION LAYOUT. REFER TO STRUCTURAL/ARCHITECTURAL DRAWINGS.
 22. NATURAL GAS SERVICE TO PHASE ONE SHALL BE INSTALLED IN THE BUILDING SETBACK BY MEANS OF DIRECTIONAL DRILLING. DISTURBANCE TO EXISTING VEGETATION SHALL BE LIMITED TO THE GREATEST PRACTICAL EXTENT. NATURAL GAS SERVICES BEHIND UNITS 1, 2, AND 3 SHALL BE INSTALLED SUCH THAT IT DOES NOT CONFLICT WITH ANY BUILDING OR DECK LOCATION SHOWN.



STATE OF MAINE
 CURTIS Y. NEUFELD
 9779
 LICENSED PROFESSIONAL ENGINEER
 5/22/14
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.

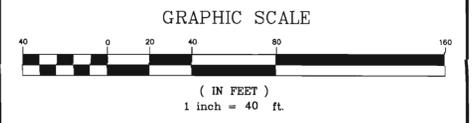
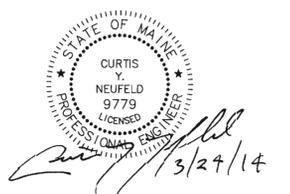
1. 03-13-14 SUBMITTED FOR RE-APPROVAL RPL		
UTILITY PLAN		
CHURCHILL WOODS CONDOMINIUMS BRUNSWICK, MAINE		
CHURCHILL, LLC 141 PLEASANT STREET, BRUNSWICK, MAINE 04011		
SITELINES P.A. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 Phone: (207) 725-1200 Fax: (207) 725-1114		
FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET:
DRN BY: RPL	JOB #: 1263	5
CH'D BY: CYN	SS:	
DATE: 03-17-14	FILE: 1263SITE.DWG	



Existing Sanitary Sewer Table				
	RIM	Inv IN	Inv IN	Inv Out
SMH A	102.18	97.11		97.03
SMH B	102.82			97.54
SMH C	103.44	96.27		96.23
SMH D	100.99	96.49	96.5	96.43
SMH F	103.78			97.03
SMH G	104.28		Sealed cover	
SMH H	102.50	93.12	93.12	93.10
SMH I	102.97	92.75	92.07(service)	92.47

Existing Storm Sewer Table					
	RIM	Inv IN	Inv IN	Inv Out	Sump
CB A	101.65	95.20	94.95	95.00	94.15
CB B	101.57	97.87	95.07	94.97	94.17
CB C	101.82			98.82	98.29
CB D	102.54	94.34		93.69	92.84
CB E	102.59			98.94	98.44
CB F	100.58	95.20	92.78	92.38	91.18
CB G	100.50			96.40	95.98
CB H	102.12	97.62	97.47	97.72	95.24
CB I	101.70			98.20	96.3
CB J	102.49			98.84	96.86
CB K	102.67	98.42		97.77	96.05
CB L	102.24	96.79	97.34	96.84	94.59

- GENERAL NOTES:**
- THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER AROUND THE AREA UNDER CONSTRUCTION FOR EROSION CONTROL. SILT SOXX OR A SEDIMENT BERM CAN BE USED.
 - SILT SACK TO BE INSTALLED AT EXISTING CATCH BASINS CB-E, D, J, K AND L.
 - ALL UNDERDRAIN SHALL BE 8" PERFORATED PIPE SET AT A MINIMUM SLOPE OF 0.005.



- 03-13-14 SUBMITTED FOR RE-APPROVAL RPL
- 01-30-07 MINOR CHANGES TO GRADING, ADDED DMH3 CYN
- 12-20-06 REVISED PER MDEP COMMENTS SUBMITTED TO MDEP MRD
- 12-15-06 REVISED PER STAFF REVIEW MRD
- 11-28-06 SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES DSE
- 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

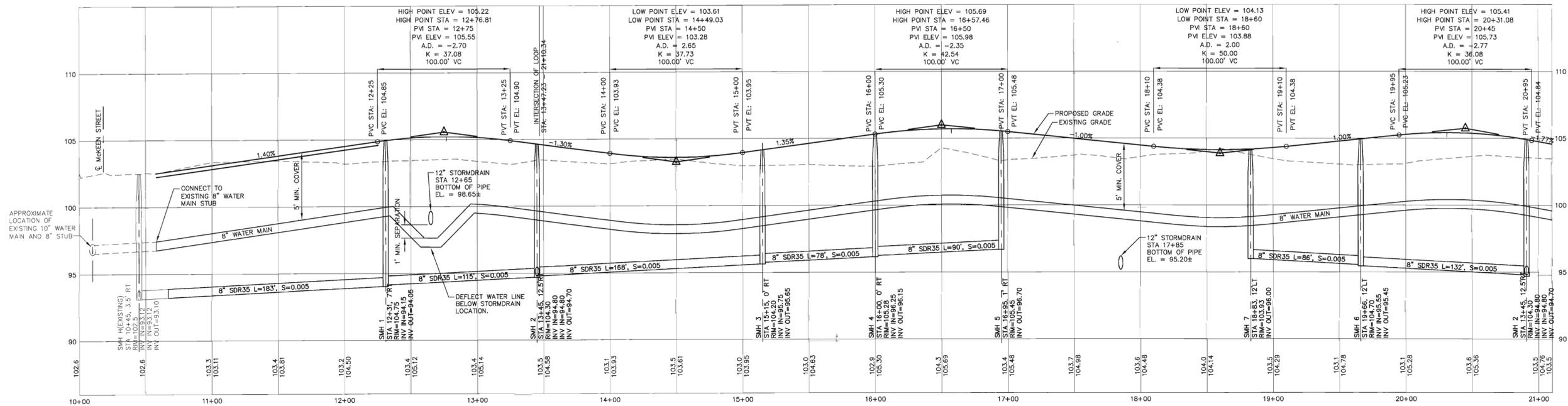
GRADING, DRAINAGE AND EROSION CONTROL PLAN

CHURCHILL WOODS CONDOMINIUMS
BRUNSWICK, MAINE

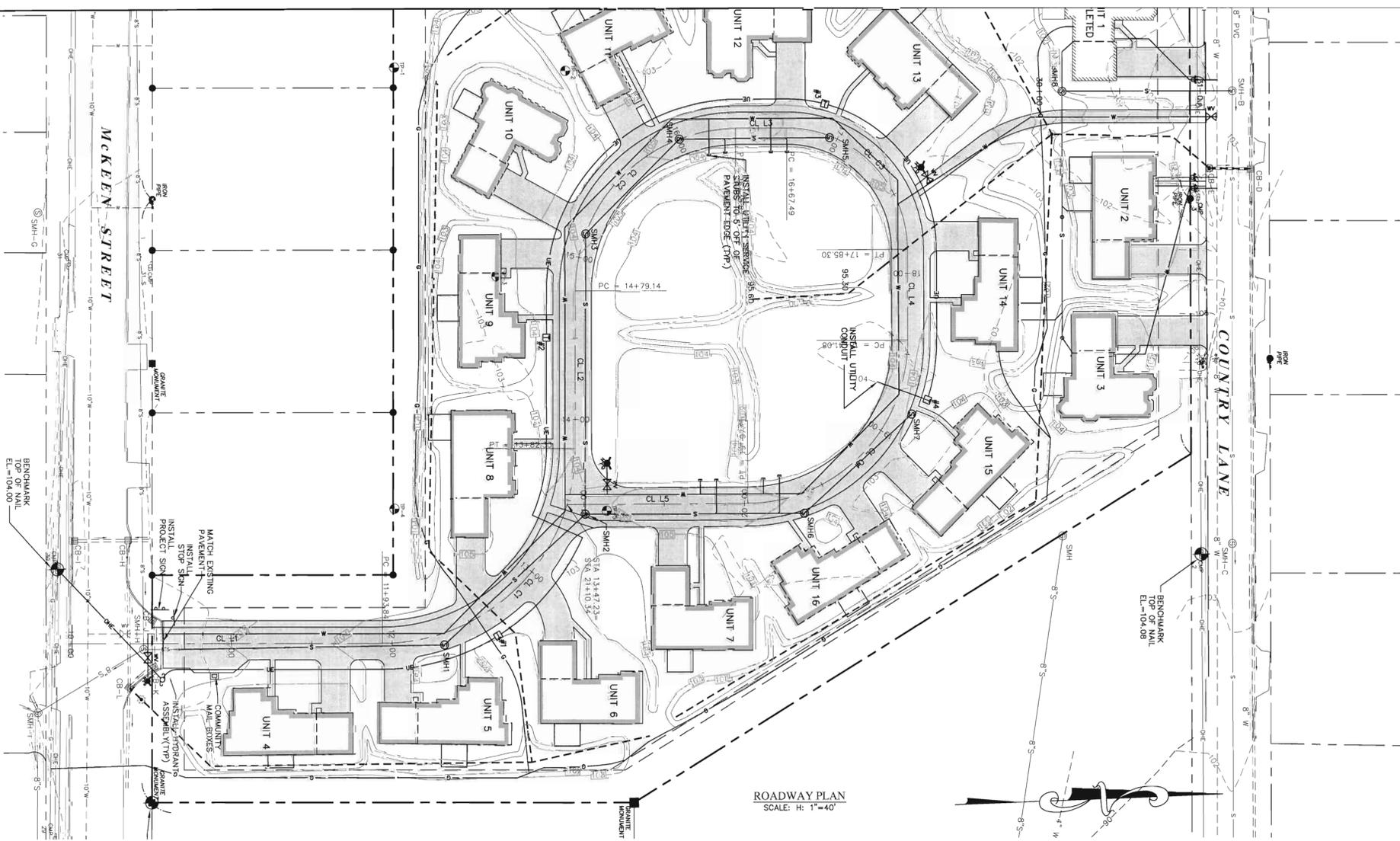
CHURCHILL, LLC
141 PLEASANT STREET, BRUNSWICK, MAINE 04011



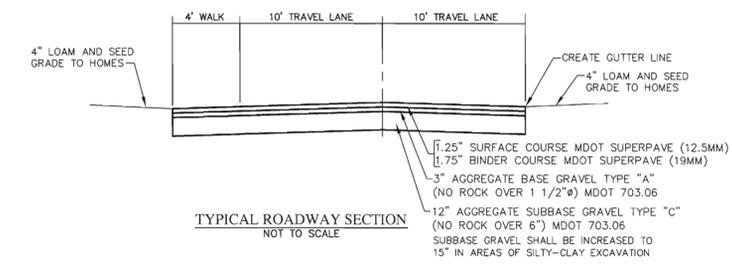
FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET:
DRN BY: MRD/DSE	JOB #: 1263	6
CH'D BY: CRW/CYN	SS:	
DATE: 08-03-06	FILE: 1263SITE.DWG	



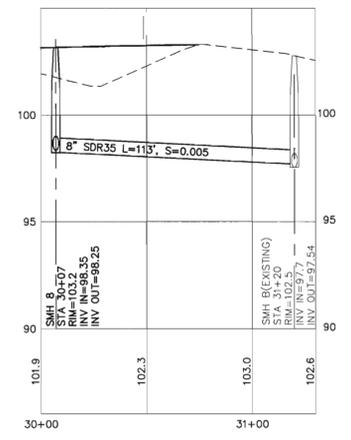
ROADWAY PROFILE
 SCALE: H: 1"=40'
 V: 1"=4'



ROADWAY PLAN
 SCALE: H: 1"=40'



TYPICAL ROADWAY SECTION
 NOT TO SCALE



SEWER PROFILE
 SCALE: H: 1"=40', V: 1"=4'

STATE OF MAINE
 CURTIS Y. NEUFELD
 9779
 LICENSED PROFESSIONAL ENGINEER
 3/24/14



- (IN FEET)
 Horiz: 1 inch = 40 ft.
 Vert: 1 inch = 4 ft.
- 4. 03-18-14 SUBMITTED FOR RE-APPROVAL RPL
 - 3. 12-20-06 SUBMITTED TO MDEP MRD
 - 2. 11-28-06 SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES DSE
 - 1. 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

ROAD PLAN & PROFILE

CHURCHILL WOODS CONDOMINIUM
 BRUNSWICK, MAINE

CHURCHILL, LLC
 141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
 ENGINEERS • PLANNERS • SURVEYORS
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 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO	SCALE: H: 1"=40', V: 1"=4'	SHEET:
DRN BY: MRD/DSE	JOB #: 1263	7
CHD BY: CYN	SS:	
DATE: 08-03-06	FILE: 1263SITE.DWG	

GENERAL NOTES:

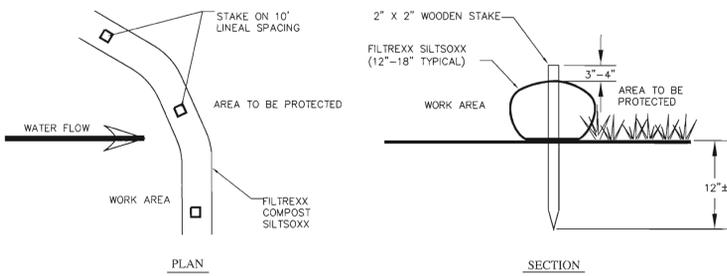
1. TOPOGRAPHIC DATA FOR THE PRE-DEVELOPMENT AND POST-DEVELOPMENT STORMWATER PLANS IS BASED ON AERIAL INFORMATION AND VERIFIED BY THE GROUND SURVEY PERFORMED BY DIRIGO LAND SERVICES, INC. TOPOGRAPHIC DATA FOR THE DESIGN DRAWINGS AND BOUNDARY INFORMATION IS BASED ON GROUND SURVEY PERFORMED BY DIRIGO LAND SERVICES, INC.
2. A SITE EVALUATION TO DETERMINE WETLANDS WAS PERFORMED BY WOODLOT ALTERNATIVES, INC. OF TOPSHAM, MAINE IN OCTOBER 1998 AND WETLANDS WERE NOT FOUND ON SITE.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. RIM ELEVATIONS OF PROPOSED DRAINAGE AND SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATIONS, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
7. CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES TO HIS SATISFACTION BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
8. ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 6 INCHES OF LOAM AND SEED.
9. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
10. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS.
11. ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED PROFESSIONAL LAND SURVEYOR (S) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
12. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
14. ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
15. THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
16. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
17. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING.
2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

GRADING AND DRAINAGE NOTES:

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 - REINFORCED CONCRETE PIPE
 - POLYVINYL CHLORIDE PIPE (PVC)
 - SMOOTH BORE POLYETHYLENE PIPE - HOPE N-12 ADS OR SDR 35
2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.



- NOTES:**
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILTSOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.
- GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:**

EROSION/SEDIMENT CONTROL DEVICES:
THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

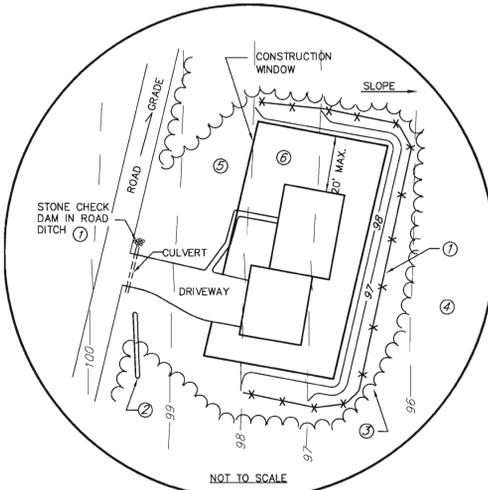
 1. SEDIMENT BARRIER: SILT SOCK, BERM OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
 2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
 3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
 4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
 5. STRAW AND HAY MULCH: USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY. CURLEX II AND EXCELMIOR MAY BE USED IN PLACE OF MULCH OVER MULCH.
 6. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

 1. SEDIMENT BARRIER ALONG THE DOWNGRADING SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
 2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
 3. CATCH BASIN INLET FILTERS (SILT SACK OR APPROVED EQUAL) WILL BE USED ON ALL CATCH BASINS DURING CONSTRUCTION AND SHALL BE PUT IN PLACE AFTER COMPLETION OF EACH BASIN'S INSTALLATION. THE INLET FILTERS SHALL BE INSPECTED AND MAINTAINED MONTHLY AND AFTER EVERY MAJOR STORM EVENT UNTIL REMOVAL.
 4. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1
 - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
 - C. STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKLER OR BY COVERING THE STOCKPILE WITH MULCH.
 - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
 5. ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 14 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
 6. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL AREAS BROUGHT TO FINAL GRADE ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, WITHIN 24 HOURS, OR PRIOR TO ANY SNOW, WHICHEVER OCCURS FIRST. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
 7. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PERMANENT EROSION CONTROL MEASURES:
THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.



- INSTALLATION:**
1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
 2. CONSTRUCT A DIVERSION DITCH TO KEEP UPLOUSE RUNOFF OUT OF WORK AREA.
 3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
 4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
 5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
 6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.
- MAINTENANCE:**
EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.

HOUSE SITE - BEST MANAGEMENT PRACTICES
NOT TO SCALE

CONSTRUCTION PHASE:

- THE FOLLOWING GENERAL SEQUENCE & PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.
1. CLEARING LIMITS WILL BE FLAGGED AND REVIEWED BY THE TOWN NATURAL RESOURCES DIRECTOR PRIOR TO CUTTING.
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 3. INSTALL CATCH BASIN INLET PROTECTION AT EXISTING CATCH BASIN ADJACENT TO THE SITE.
 4. CUT AND REMOVE TREES AROUND AREA OF WORK, LEAVING THE DUFF LAYER IN PLACE.
 5. SET SEDIMENT BARRIERS AND EROSION CONTROL MEASURES AROUND THE PERIMETER OF THE LIMITS OF WORK. STUMPS SHALL BE GROUND ONSITE AND USED FOR SEDIMENT BARRIER AND/OR MULCH.
 6. CLEAR AND GRUB AREA FOR INSTALLATION OF UTILITIES AND ROADWAY. TOPSOIL SALVAGED SHALL BE STOCKPILED AND PROTECTED AGAINST EROSION.
 7. INSTALL UTILITIES AND INFRASTRUCTURE, INCLUDING DRIVEWAYS AND UTILITY SERVICE STUBS.
 8. CLEAR AND GRUB AREA FOR EXCAVATION OF UNIT FOUNDATIONS. CONTRACTOR SHALL OBSERVE CLEARING LIMITS AND MINIMIZE THE USE OF HEAVY EQUIPMENT OVER PROPOSED INFILTRATION AREAS.
 9. CONSTRUCT BUILDING FOUNDATIONS.
 10. REMOVE ANY FINE SEDIMENT DEPOSITION FROM PROPOSED INFILTRATION AREAS USING LIGHT EQUIPMENT OR MANPOWER.
 11. LOAM, SEED, AND MULCH DISTURBED AREAS.
 12. MONITOR SITE FOR SIGNS OF EROSION MONTHLY AND AFTER MAJOR STORM EVENTS.
 13. REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. 90 DAYS POST CONSTRUCTION OR UPON SATISFACTORY ESTABLISHMENT OF VEGETATION HAS BEEN OBTAINED.
 14. INSPECT SITE SEMI-ANNUALLY FOR ANY SIGN OF EROSION OR AREA REQUIRING ADDITIONAL SEEDING.
1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 14 DAYS, SEE ITEM NO. 4.
 2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
 3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING BUT NOT LIMITED TO LANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 14 DAYS SHALL BE:
 - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 - C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
 4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 14 DAYS SHALL BE EITHER:
 - A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
 - B. SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
 5. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
 6. CONSTRUCT INFILTRATION BASIN AFTER ITS RESIDING DRAINAGE AREA HAS BEEN STABILIZED WITH VEGETATION AND EROSION CONTROL MEASURES THAT WILL PREVENT SEDIMENT FROM REACHING THE BASIN. DURING CONSTRUCTION, PROTECT AREAS DESIGNATED AS INFILTRATION BASINS FROM SEDIMENT WITH THE USE OF SILT SOXX WHERE PRACTICABLE. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO REVEGETATION, REMOVE ANY ACCUMULATED SEDIMENT FROM THE INFILTRATION BASIN AREAS.

POST-CONSTRUCTION REVEGETATION:

- THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.
1. A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
 2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:
 3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
 - I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 - B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
 4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
 - A. ONLY UNFROZEN LOAM SHALL BE USED.
 - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
 - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
 - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
 - E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
 - F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
 5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED.
 - (A) SEEDED AREAS: FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
 - (B) SODDED AREAS: FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
 - (C) PERMANENT MULCH: FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
 - (D) RIPRAP: FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.
 - (E) PAVED AREAS: FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
 - (F) DITCHES, CHANNELS, AND SWALES: FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIPRAP LINING, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.
- RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING GRASS IS INADEQUATE.

MONITORING SCHEDULE:

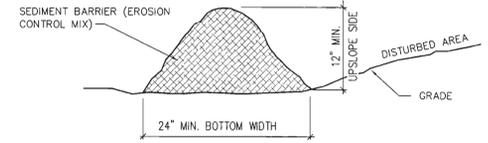
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:
1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
 2. VISUALLY INSPECT RIPRAP ONCE A WEEK AND/OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER.
 3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.
 4. VISUALLY INSPECT TEMPORARY INLET PROTECTION ONCE A WEEK AND/OR AFTER EACH SIGNIFICANT RAINFALL AND REPLACE AS NEEDED. REMOVE SEDIMENT TRAPPED IN THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE DEPTH OF THE SILT SACK.

EROSION CONTROL DURING WINTER CONSTRUCTION:

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELMIOR OR CURLEX.
8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE:

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER, TOWN OR THEIR DESIGNEE.
4. AFTER CONSTRUCTION, INSPECTIONS OF INFILTRATION BASINS SHALL BE CONDUCTED AT LEAST ON A SEMIANNUAL BASIS AND FOLLOWING MAJOR STORMS. RECORDS SHALL BE KEPT OF ALL MAINTENANCE OPERATIONS TO IDENTIFY PROBLEM AREAS.
5. INFILTRATION BASIN DRAINAGE AREAS SHALL BE INSPECTED AT LEAST SEMI-ANNUALLY FOR ERODING SOIL AND OTHER SEDIMENT SOURCES. REPAIR ERODING AREAS USING APPROPRIATE EROSION CONTROL BMPS IMMEDIATELY. CONTROL SEDIMENT SOURCES, SUCH AS STOCKPILES OF WINTER SAND, BY REMOVING THEM FROM THE BASIN'S DRAINAGE AREA OR SURROUNDING THEM WITH SEDIMENT CONTROL BMPS.
6. THE BASIN SHALL HAVE ITS SIDE-SLOPES AND FLOOR MOWED AT LEAST TWICE A YEAR TO PREVENT WOODY GROWTH. CLIPPINGS SHALL BE REMOVED TO MINIMIZE THE AMOUNT OF ORGANIC MATERIAL ACCUMULATING IN THE BASIN.
7. LIMIT ACCESS TO TURF LINED BASINS TO PASSIVE RECREATIONAL ACTIVITIES. DO NOT USE THE BASIN FOR A PLAYING FIELD, AS HEAVY FOOT TRAFFIC CAN COMPACT THE SOIL SURFACE.



- NOTES:**
1. THE EROSION CONTROL MIX SHALL CONTAIN A WELL GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
 2. PLACE BARRIER ALONG A RELATIVELY FLAT CONTOUR. CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES WHERE FINES CAN WASH UNDER THE BARRIER THROUGH GRASS BLADES AND BRANCHES.
 3. PLACEMENT OF BARRIER SHOULD BE:
 - AT THE TOE OF THE SLOPE
 - FROZEN GROUND, BEDROCK OR ROOTED FORESTED AREAS.
 - THE EDGE OF GRAVEL AND AREAS UNDER CONSTRUCTION.
 4. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 5. WHEN BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NECESSARY.

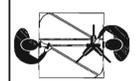
SEDIMENT BARRIER BERM
NOT TO SCALE

4. 03-18-14	SUBMITTED FOR RE-APPROVAL	RPL
3. 12-15-06	REVISED PER MOEP COMMENTS	MRD
2. 11-28-06	SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES	DSE
1. 11-21-06	REVISED NOTES SUBMITTED TO PLANNER FOR REVIEW- 1 COPY	DSE

EROSION CONTROL NOTES

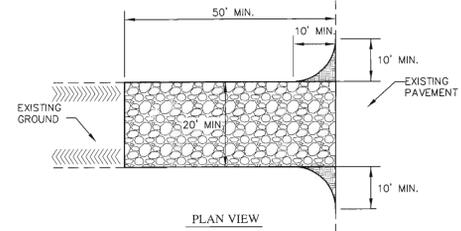
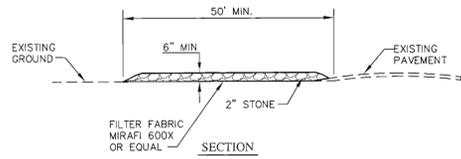
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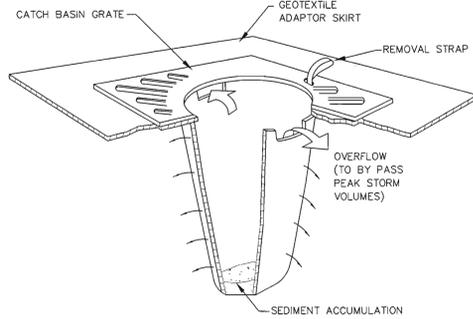


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FIELD WK:	SCALE: NOT TO SCALE	SHEET:
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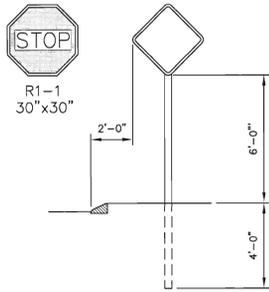


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

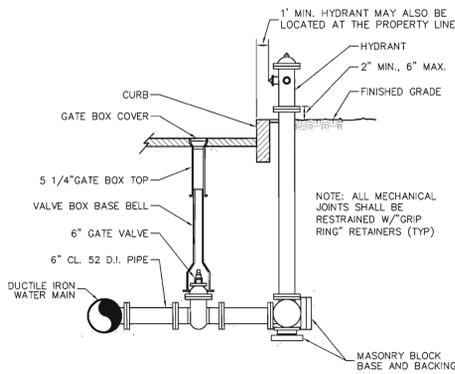


NOTES:
1. USE ON EXISTING CATCH BASINS D, E, J, K AND L.
2. CATCH BASIN PROTECTION TO BE "SILTSTACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).
3. INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.
4. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

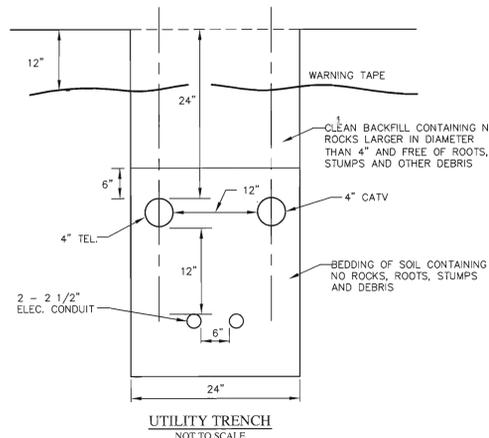
TEMPORARY INLET PROTECTION
NOT TO SCALE



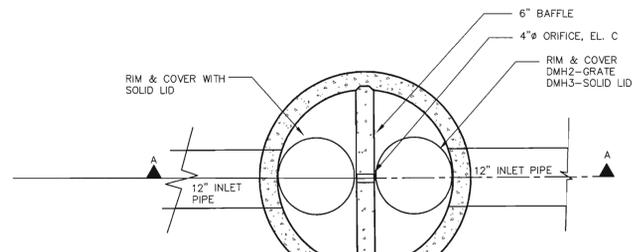
STREET SIGNAGE
NOT TO SCALE



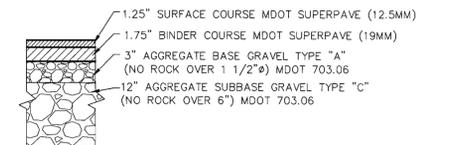
FIRE HYDRANT
NOT TO SCALE



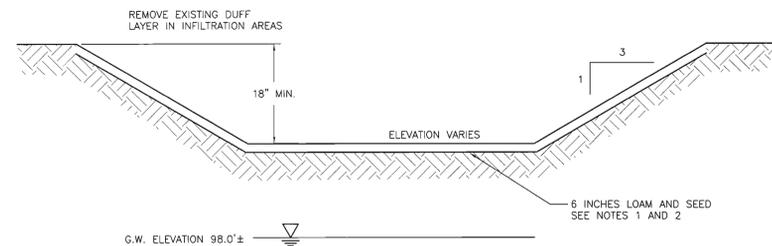
UTILITY TRENCH
NOT TO SCALE



UNDERDRAIN DETAIL
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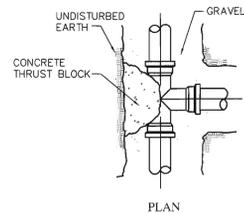


TYPICAL DRIVEWAY PAVEMENT SECTION
NOT TO SCALE



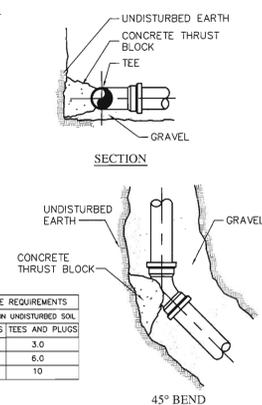
NOTES:
1. SEED MIX SHALL BE A PREMIUM WATERWAY MIX: 35% CREEPING RED FESCUE, 20% RED TOP GRASS, 20% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS, 5% ALSIKE CLOVER. SEEDING RATE SHALL BE 5-LBS./1,000 SQ. FT.
2. TILL FIRST THREE INCHES OF LOAM INTO NATIVE SOIL.
3. MINIMIZE USE OF HEAVY EQUIPMENT IN INFILTRATION AREAS
4. WHERE INFILTRATION AREA WILL BE CONSTRUCTED IN DISTURBED AREAS, USE ON SITE SOIL TO BACK FILL TO FINAL GRADE WITHOUT COMPACTION.
5. PROTECT INFILTRATION AREAS FROM SEDIMENT DEPOSITION DURING CONSTRUCTION AND WORK IN ADJACENT AREAS.
6. REMOVE ANY SEDIMENT FROM INFILTRATION AREAS PRIOR TO FINAL GRADING AND SEEDING.

INFILTRATION BASIN
NOT TO SCALE

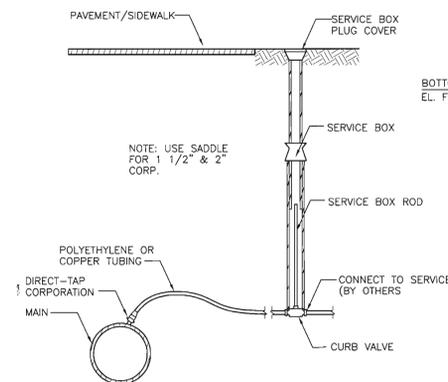


CONCRETE THRUST BLOCK SIZE REQUIREMENTS				
50 FT. OF BEARING ON UNDISTURBED SOIL				
FITTINGS	90° BENDS	45° BENDS	TEES	PLUGS
6"	4.0	2.0	3.0	
8"	8.0	4.0	6.0	
12"	15	10	10	

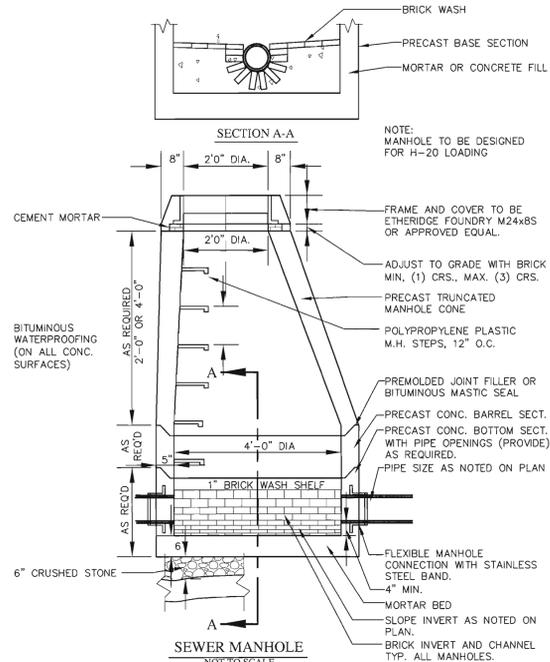
TEE & BEND THRUST BLOCK DETAIL
NOT TO SCALE



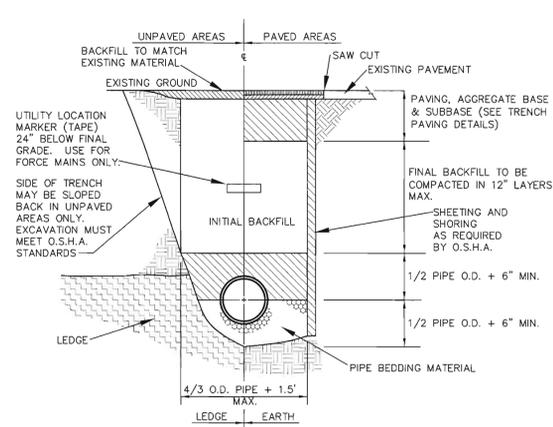
45° BEND



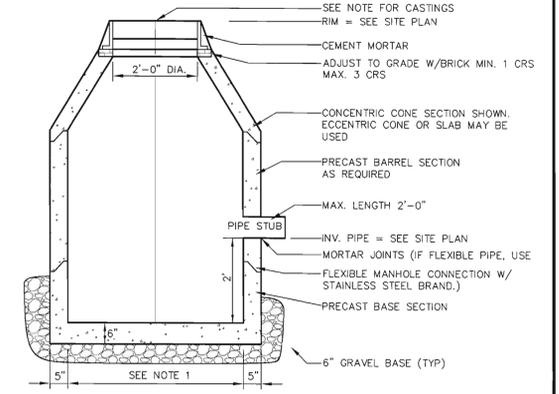
WATER SERVICE
NOT TO SCALE



SEWER MANHOLE
NOT TO SCALE



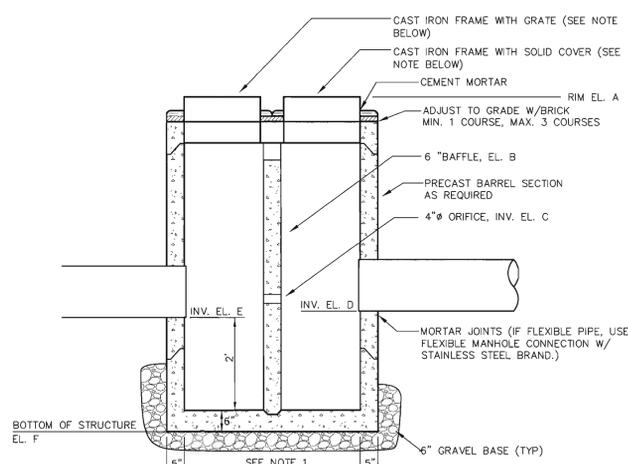
TYPICAL TRENCH DETAIL
NOT TO SCALE



CATCH BASIN OR DRAINAGE MANHOLE
NOT TO SCALE

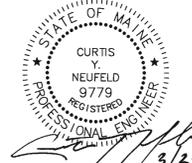
NOTES:
1. INSTALL 3 FOOT LONG IMPERVIOUS DAMS IN BEDDING/INITIAL BACKFILL MATERIAL EVERY 100 FEET TO PREVENT TRENCH GROUNDWATER FROM BEING CHANNELLED ALONG BEDDING/INITIAL BACKFILL REQUIREMENTS.
2. REFER TO LATEST MDOT SPECIFICATIONS FOR BEDDING AND BACKFILL REQUIREMENTS.
3. INITIAL BACKFILL TO BE 12 INCHES OVER TOP OF PVC PIPE ONLY.

NOTES:
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH BASIN FRAME AND GRATE TO BE EITHER EDGE FOUNDARY S 24" X 8" FRAME W/TYPE M GRATE OR APPROVED EQUAL.



NOTES:
1. 3'-0" I.D. TYPICAL. USED FOR DMH2 AND 3.
2. DMH3 TO HAVE SOLID COVERS, DMH2 TO HAVE GRATE OVER OUTLET SIDE OF THE BAFFLE, SOLID COVER OVER INLET SIDE OF THE BAFFLE.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. RIMS & COVERS: LEBARON FOUNDRY MODEL LF-244-2 (GRATE) AND LA-248 (SOLID COVER) OR APPROVED EQUAL.

FLOW CONTROL STRUCTURE ELEVATION SCHEDULE		
CODE	STRUCTURE DMH2	STRUCTURE DMH3
A	102.59	102.48
B	96.28	99.37
C	93.95	97.04
D	93.95	97.04
E	93.85	96.94
F	91.35	94.44



- 5. 03-18-14 SUBMITTED FOR RE-APPROVAL RPL
- 4. 01-30-07 REVISED PER MDEP COMMENTS MRD
- 3. 12-20-06 SUBMITTED TO DEP MRD
- 2. 11-28-06 SUBMITTED TO PLANNER FOR REVIEW - 18 COPIES DSE
- 1. 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

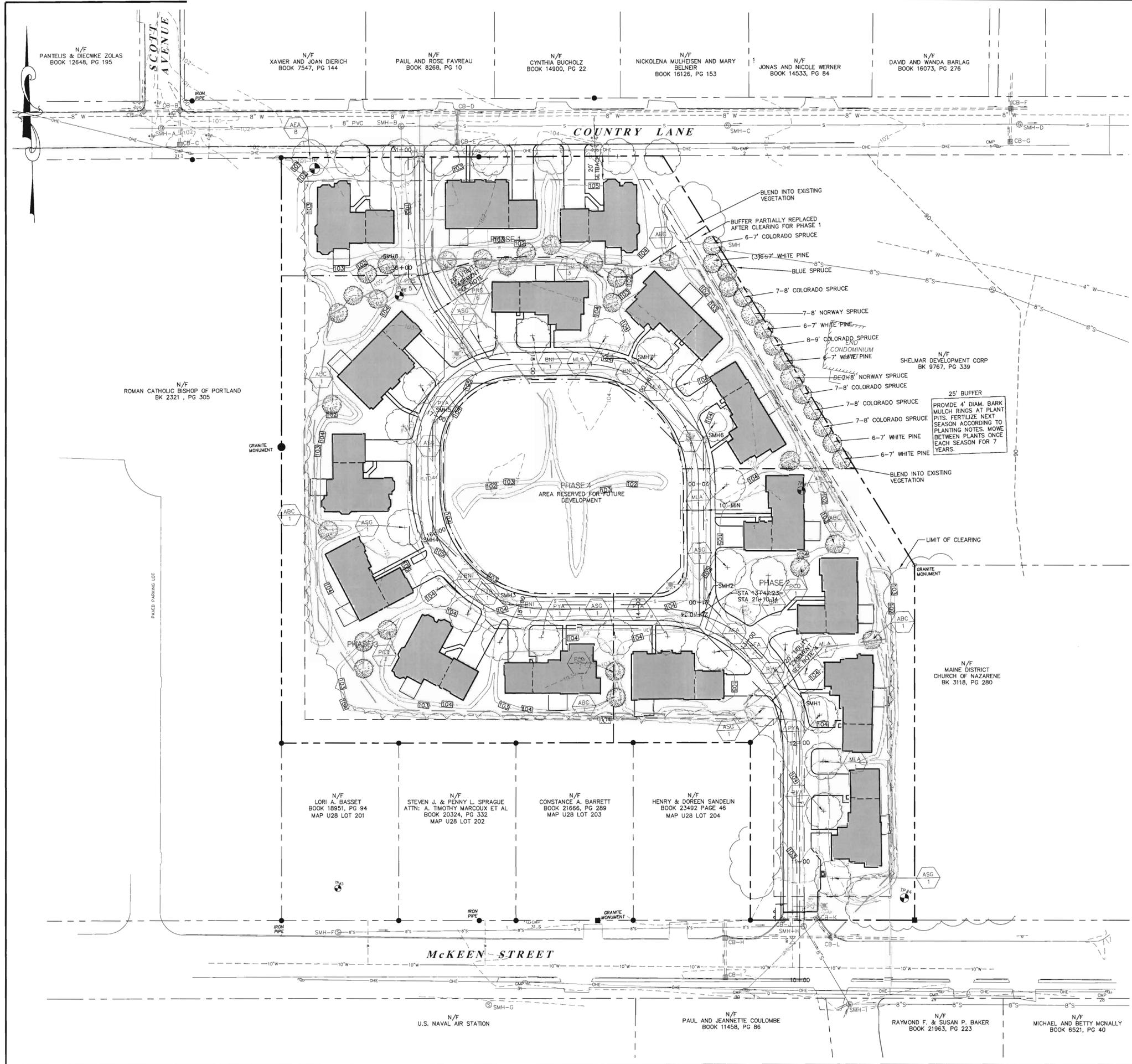
CONSTRUCTION DETAILS

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BRUNSWICK, MAINE

CHURCHILL, LLC
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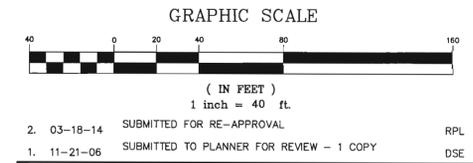
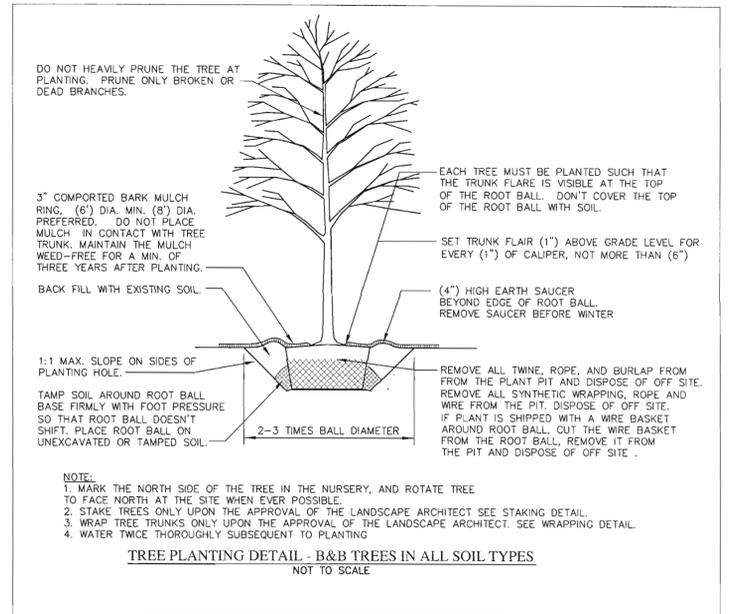


Date: OCTOBER 25, 2006

Client Name: CHURCHILL ESTATES
Address: McKEEN STREET, BRUNSWICK, MAINE

Description: PLANT SCHEDULE

ID NO.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
Trees:				
ABC	Abies concolor	White Fir	7	6/7'
AFA	Acer x freemani 'Celebration'	Celebration Maple	10	2"
ASG	Acer saccharum 'Green Mountain'	Sugar Maple	7	2"
BNI	Betula nigra 'Heritage'	Heritage River Birch	6	10-12' clump
MLA	Magnolia accuminata	Cucumber Magnolia	5	2" cal
PCD	Picea glauca 'Densata'	Black Hills Spruce	8	5/6'
PGP	Picea pungens 'Glauca'	Colorado Blue Spruce	18	5/6'
PNS	Pinus strobus	White Pine	11	6/7'
PYA	Pyrus calleryana 'Aristocrat'	Aristocrat Ornamental Pear	7	2"
TOT	Thuja occidentalis 'Nigra'	Dark American arborvitae	19	4-5'
123	SAMPLE	SAMPLE	1	1
Shrubs:				
JCS	Juniperus chinensis 'Hetzii Glauca'	Blue Hetzii Juniper	18	#5



LANDSCAPE / BUFFER PLAN

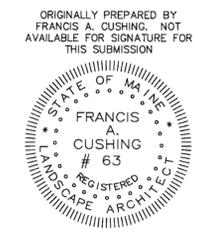
CHURCHILL WOODS CONDOMINIUMS
BRUNSWICK, MAINE

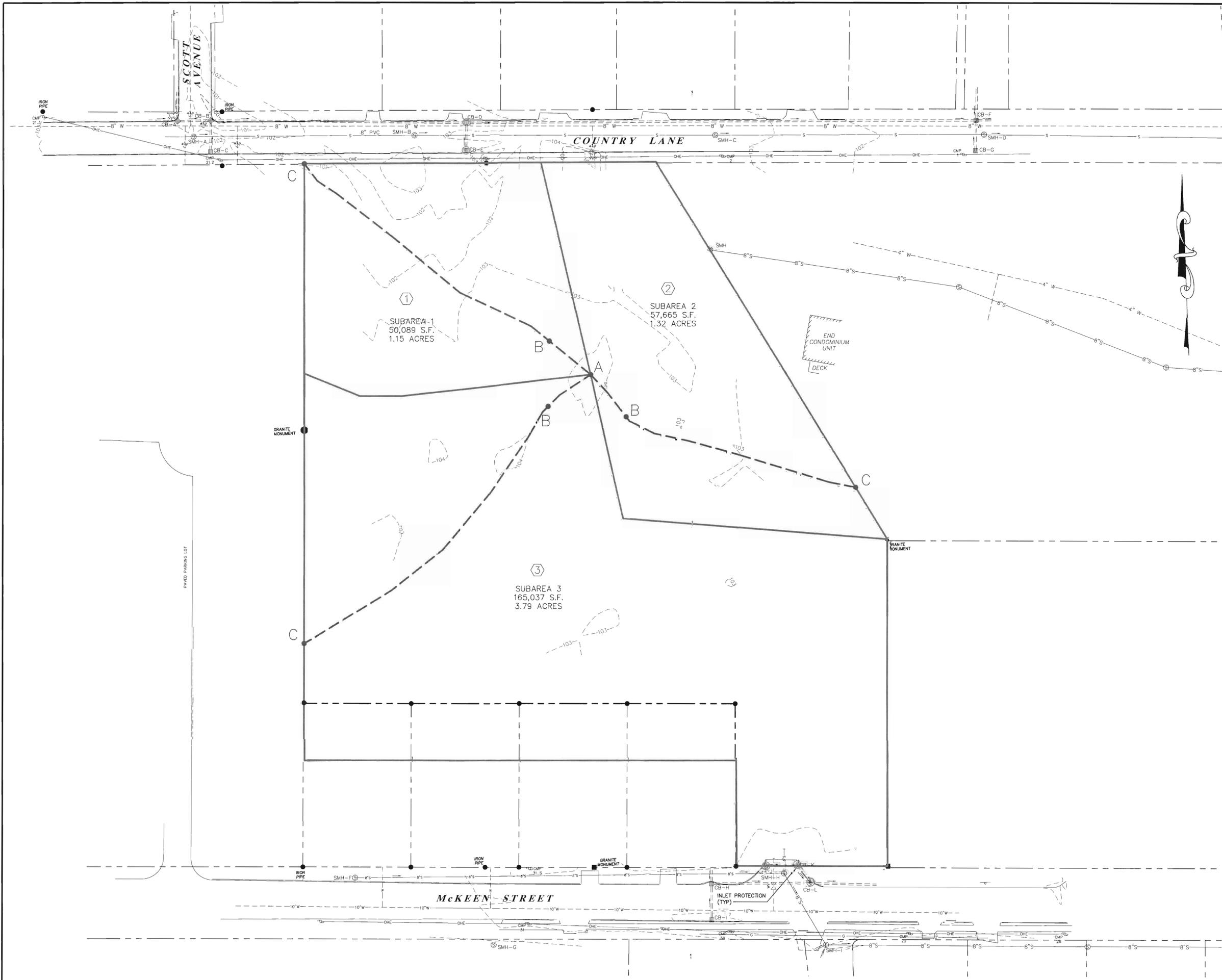
CHURCHILL, LLC
141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO SCALE: 1"=40' SHEET:
DRN BY: FAC JOB #: 1263
CH'D BY: CYN SS:
DATE: 10-25-06 FILE: 1263SITE.DWG

10



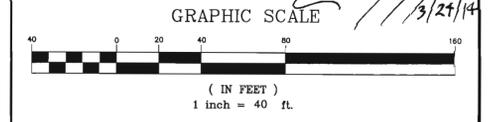
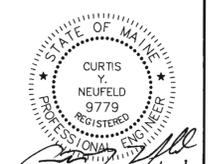


LEGEND:
 SUBAREA (1S)
 POND/ANALYSIS POINT (A)
 SUBAREA OUTLINE (---)
 TC FLOW PATH (---)

SUBAREA 1 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	50'	0.014	SHEET
B-C	255'	0.010	SHALLOW

SUBAREA 2 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	50'	0.010	SHEET
B-C	235'	0.007	SHALLOW

SUBAREA 3 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	50'	0.005	SHEET
B-C	317'	0.005	SHALLOW



- 2. 03-18-14 SUBMITTED FOR RE-APPROVAL RPL
- 1. 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

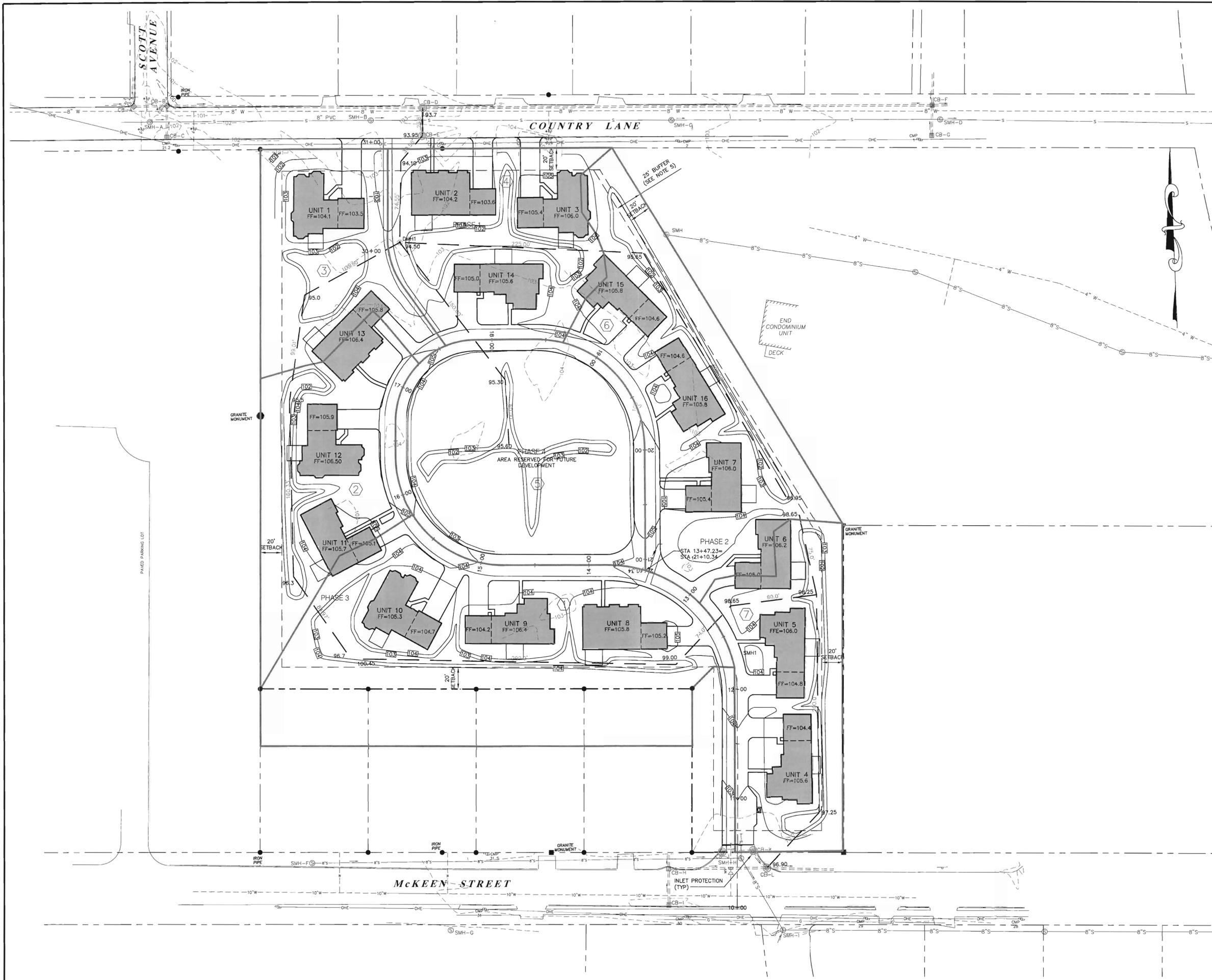
**PRE-DEVELOPMENT
 STORMWATER PLAN**

CHURCHILL WOODS CONDOMINIUMS
 BRUNSWICK, MAINE

CHURCHILL, LLC
 141 PLEASANT STREET, BRUNSWICK, MAINE 04011



FIELD WK: DIRIGO	SCALE: 1"=40'	SHEET: 11
DRN BY: MRD	JOB #: 1263	
CHD BY: CYN	SS:	
DATE: 08-03-06	FILE: 1263SITE.DWG	



LEGEND:

- SUBAREA 15
- POND/ANALYSIS POINT △
- SUBAREA OUTLINE
- TC FLOW PATH

SUBAREA 1 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

SUBAREA 2 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

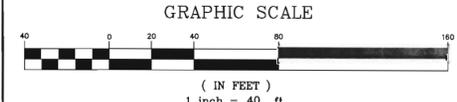
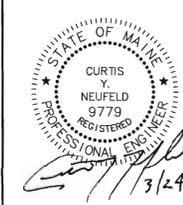
SUBAREA 3 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

SUBAREA 4 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

SUBAREA 5 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

SUBAREA 6 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET

SUBAREA 7 TC FLOW SEGMENT			
SEGMENT	LENGTH	SLOPE	TYPE
A-B	10'	0.050	SHEET



- 2. 03-18-14 SUBMITTED FOR RE-APPROVAL RPL
- 1. 11-21-06 SUBMITTED TO PLANNER FOR REVIEW - 1 COPY DSE

**POST-DEVELOPMENT
STORMWATER PLAN**

CHURCHILL WOODS CONDOMINIUMS
BRUNSWICK, MAINE

CHURCHILL, LLC
141 PLEASANT STREET, BRUNSWICK, MAINE 04011

SITELINES P.A.
ENGINEERS • PLANNERS • SURVEYORS
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8 CUMBERLAND STREET, BRUNSWICK, ME 04011
Phone: (207) 725-1200 Fax: (207) 725-1114

FIELD WK: DIRIGO	SCALE: 1"=40'	12
DRN BY: MRD	JOB #: 1263	
CH'D BY: CYN	SS:	
DATE: 08-03-06	FILE: 1263SITE.DWG	

**DRAFT Findings of Fact
Major Development Review
Final Site & Condominium Subdivision Plan
April 8, 2014**

Project Name: Churchill Woods Condominiums

Case Number: 14-010

Zoning: R4 (Meredith Drive – West McKeen Street Neighborhood)

Tax Map: Map U28 Lots 196

Applicant: Churchill LLC
141 Pleasant Street
Brunswick, Maine 04011

Authorized Representative: Kevin P. Clark, PLS
Sitelines, P.A.
8 Cumberland Street
Brunswick, Maine 04011

Staff reviewed the application and has made a determination of completeness

PROJECT SUMMARY

Staff review is based on the following application materials submitted by Sitelines P.A., Inc.:

- Final Plan application packet, including a cover letter dated March 23th 2014.
- A Wetland Investigations Letter from Steve Walker of Woodlot Alternatives, Inc., dated October 26, 1998.
- A Subsurface Soil Infiltration Investigation letter from William Peterlein of Summit Geoenvironmental Services, dated March 23, 2007.
- Brunswick Planning Board Meeting Minutes from September 5, 2006.
- A letter from Jeffrey Ward, Chair of the Recreation Commission, regarding the Recreation Fee, dated October 19, 2006.
- A recorded copy of the Declaration of Condominium of Churchill Woods.
- A copy of the Findings of Fact and Order from the Maine DEP regarding the Stormwater Permit application, dated March 29, 2007.
- Sheet 1 entitled “Cover Sheet”, revised 3-18-14.
- Sheet 2 entitled “Existing Conditions Plan”, revised 3-18-14.
- Sheet 3 entitled “Condominium Plan”, revised 3-18-14.
- Sheet 4 entitled “Site Development Plan”, revised 3-18-14.
- Sheet 5 entitled “Utility Plan”, revised 3-18-14.
- Sheet 6 entitled “Grading and Drainage and Erosion Control Plan”, revised 3-18-14.
- Sheet 7 entitled “Road Plan and Profile”, revised 3-18-14.

- Sheet 8 entitled “Erosion Control Notes”, revised 3-18-14.
- Sheet 9 entitled “Construction Details”, revised 3-18-14.
- Sheet 10 entitled “Landscape / Buffer Plan”, revised 3-18-14.
- Sheet 11 entitled “Pre-development Stormwater Plan”, revised 3-18-14.
- Sheet 12 entitled “Post-development Stormwater Plan”, revised 3-18-14.

This plan was previously reviewed and approved by the Planning Board on September 5, 2006. The site and condominium subdivision plan is for the development of a 16-unit condominium project off McKeen Street (Map U28 Lot 196). The lot is a 5.78 acre undeveloped parcel that was part of a larger parcel that received subdivision approval from the Town for four single-family lots along McKeen Street. The property is in the Residential 4 (R4) Zoning District where the maximum density is five units per acre. The Churchill Woods Condominium development will consist of sixteen detached single-family condominium units. Access for the new development will be from a new private dead end loop road off McKeen Street and will be connected to Country Lane via a pedestrian easement. A thru street will not be constructed. The project will be constructed in three phases, with the Phase I consisting of three units along Country Lane with each unit having its own separate driveway entrance on Country Lane. Phase 2 will include units 4-8, and Phase 3 would include units 9-16. Phase 4 has been shown as possible future development, should the zoning for the R4 District be amended to permit an increased limit in impervious area coverage. The interior road servicing the condominium project would be extended in accordance with the construction schedules of Phases 2 and 3.

One of the main issues that arose during the 2006 review and approval was construction of a thru-street connecting McKeen Street to Country Lane. During those discussions the Board heard sustained opposition against approval of this road from homeowners on Country Lane and Hennessey Avenue, who all felt the road was neither desirable nor necessary. After considerable discussion, the consensus of the Board was that the condominium development could work as a dead end loop road with a bicycle and pedestrian connection to Country Lane, in accordance with Section 511.3. This section of the Ordinance allows for pedestrian and bicycle connections to satisfy the requirement for neighborhood interconnections. The proposed 1,100 lineal foot loop road will be maintained by the condominium association.

Overall, the applicant has submitted the identical 2006 approved plan. Staff notes that the State of Maine adopted a new DEP Stormwater Law in 2006, and this project was approved under these new stormwater rules. The applicant is seeking reapproval of the DEP Stormwater Permit concurrently with the requested reapproval of the site plan.

The applicant has requested the following waivers, per Section 410:

1. Waiver for the requirement to show all trees over 10 inches in diameter, per Section 412.2.B.17. *Staff agrees with the applicant and supports this waiver since a substantial portion of the lot will be cleared for development (the area within the circle formed by the loop road will be left in its natural state; clearing limits will be marked on-site).*
2. Waiver for the requirement to show cross section and profiles of existing roads, per Section 412.2.B.8. *Staff supports this waiver. No changes are planned for existing roads and the applicant has provided spot elevations of pavement at connection points and the*

horizontal and vertical location of all utility connections. Profiles of the new subdivision road and utilities are provided).

Review Standards from Section 411 of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The application is for the development of a 16-unit condominium project, consisting of sixteen detached single-family units. The parcel is in the Residential 4 (R4) zone, which permits up to five units per acre. The applicant has provided a net site area calculation of 5.78 acres, which would allow for up to twenty-eight residential condominium units on this property. The Churchill Woods Condominium development will consist of sixteen detached single-family condominium units; or 2.3 units per acre. The plan shows a building envelope, showing that there will be no structures closer than 20 feet from any property boundary.

The overall impervious area for this project is based on development of sixteen condominium units with garages and decks, associated driveways, walkways and the new street, for a total of 32.9% impervious area coverage. The development comes close to reaching the maximum impervious area allowed in the R4 Zone because the sixteen housing units are single-story detached units. More housing units might be allowed if some or all of the units were two-story, resulting in smaller footprints for those units. The developer has opted for the one-story detached units, which results in fewer housing units overall. Note: The difference in the stated impervious area coverage in the stormwater management plan and what is shown on the plan is related to four additional units that might be built in the future. These four units could not be built now because of limitations in impervious area coverage allowed. The final plan still shows these units. Prior to signing the recording plan, the four units (Phase 4) will need to be removed from the plan. The area on the plan will need a note stating that the area is to remain in its natural state until a future Phase 4 is approved by the Town of Brunswick Planning Board. No cutting will be allowed in this area. The future build-out to 20 units could only be applied for if the zoning ordinance is amended to allow greater impervious area, as the R4 Zone currently allows for a maximum of 35% impervious area. *The Board finds the provisions of section 411.1 are satisfied, with a condition that, prior to issuance of a Building Permit, the final plan shall be revised to show that areas/phases shown for future development (including Phase 4) are to remain in their natural vegetative state until respective Building Permits are issued.*

411.2 Preservation of Natural Features

There are no significant natural features identified on this parcel. It is a predominantly wooded site adjacent to a medium-high density residential neighborhood. Development of the subdivision will require the removal of all trees on the property, except for the area enclosed within the loop of the road. This area is reserved for future development (Phase 4) and will remain in its natural state in the current development. Site clearing for the development shall be limited to the specific areas required for individual phases of the project; areas for subsequent phases shall be left in a natural state until such time as the site work for that phase commences, which shall not occur until building permits have been issued. A deed covenant was put in place when the parcel was sold by the developer of the adjacent McKeen Woods Condominiums that required a buffer to be planted along the boundary between the two parcels. The developer of Churchill Woods has recently planted a double row of mixed varieties of trees; a third row will be planted when Phase

3 is developed. The buffer is shown on the landscaping plan. Town Arborist Peter Baecher has reviewed the plan and concurs that the quantity, types, sizes and location of plantings are acceptable. *The Board finds the provisions of section 411.2 are satisfied; with the condition that, prior to issuance of a Building Permit, the final plan shall be revised to show that areas/phases shown for future development (including Phase 4) are to remain in their natural vegetative state until respective Building Permits are issued.*

411.3 Surface Waters, Wetlands, and Marine Resources

A wetland investigation was conducted in 1998, which found no wetlands or areas of saturated soil conditions on the site. There are no other areas of special natural resources or marine resources on the site. Abutting properties to the south, along the north side of McKeen Street have identified problems with basement flooding. This issue is discussed below under stormwater management in Section 411.5. *The Board finds the provisions of section 411.3 are satisfied.*

411.4 Flood Hazard Area

The development is not within a flood hazard area and will not impose any risk of flooding. *The Board finds the provisions of section 411.4 are satisfied.*

411.5 Stormwater Management

A copy of the approved Findings of Fact and Order from the Maine DEP regarding the Stormwater Permit application, dated March 29, 2007, has been included with the application. The applicant is seeking reapproval of the DEP Stormwater Permit concurrently with the requested reapproval of the site plan. This will be listed as a condition of approval. The sixteen-unit development will result in approximately 1.9 acres of disturbed area (building footprints/driveways/walkways/roads). Most of the remaining land will be landscaped for lawns and buffers. The stormwater management plan includes the build-out of four additional units (for a total of 20). Abutting property owners along McKeen Street have indicated that there is a problem with runoff on their properties. Discussions with the neighbors, the developer and Town staff indicates that the problem is mostly groundwater infiltration causing flooding in the basement of these homes. The applicant's stormwater management plan will alleviate some of this. *The Board finds the provisions of section 411.5 are satisfied; with the condition that, prior to obtaining building permits for Phases 2 and 3, the stormwater management plan is approved by the Town Engineer and that the Chapter 500 Stormwater Permit is reapproved by the Maine DEP.*

411.6 Groundwater

The development is not located over any mapped groundwater aquifers in Brunswick. The project will be served by public sewer and water. A geotechnical survey has been submitted for this development. The survey indicates that groundwater conditions will not be adversely affected by this development, and the soil conditions are suitable for the building foundations. An identified problem with groundwater infiltration for the abutting McKeen Street homes will be dealt with in the stormwater management plan (See Finding 411.5 above.). The Board finds that the development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater. *The Board finds the provisions of section 411.6 are satisfied.*

411.7 Erosion and Sedimentation

The applicant submitted an erosion and sedimentation control plan for the development, which has been approved by the Town Engineer. Best Management Practices will be employed so as to not cause unreasonable soil erosion or reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Board finds the provisions of section 411.7 are satisfied.*

411.8 Sewage Disposal

The development will use public sewer, which will be extended from existing lines in McKeen Street. The three homes on Country Lane will be served by existing utilities in Country Lane. The Brunswick Sewer District approved this project in 2006, and has provided an updated letter confirming capacity to serve the project, and that the project has been designed in accordance with all local, state, and federal requirements. *The Board finds the provisions of section 411.8 are satisfied.*

411.9 Water

The development will use public water. At the request of the Brunswick-Topsham Water District, the water line will be a new lateral extension from McKeen Street to Country Lane, and will be owned by the water district. The Brunswick-Topsham Water District approved this project in 2006, and has provided an updated letter confirming capacity to serve the project and that the project will have no adverse impacts on existing water supplies. *The Board finds the provisions of section 411.9 are satisfied.*

411.10 Aesthetic, Cultural, and Natural Values

The development will consist of single-family homes and is consistent with the scale and type that currently exists in this neighborhood. Other nearby housing developments similar to Churchill Woods are: Mallard Pond and Pheasant Run with 34 units each, McKeen Woods with 13 units and Thornton Oaks with 152 units. The development will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, significant wildlife habitat identified by the Maine Department of Environmental Protection or by the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. The development will include a landscaping and buffer plan to replace the aesthetic values of the property. *The Board finds that the provisions of section 411.10 are satisfied; with the condition that, prior to issuance of Building Permit, a revised landscaping plan be submitted to the satisfaction of the Director of Planning and Development and Town Arborist.*

411.11 Community Impact

The impact on public infrastructure is expected to be at the same level as a typical residential condominium development. The Brunswick Sewer District and the Brunswick-Topsham Water District have approved the project. In 2006 the Town Engineer calculated a per-unit solid waste impact fee of \$258.60 per ton. The total fee for the Solid Waste Impact Fee was \$4,137.60. The Director of Parks and Recreation in 2006 calculated a recreation impact fee of \$29,850.00 for this project; or \$1,865.62 per unit. *The Board finds that the provisions of section 411.11 are satisfied with the condition that, prior to issuance of Building Permits, an updated Solid Waste Impact Fee is approved by the Director of Public Works, and an updated Recreation Impact Fee*

is approved by the Recreation Commission, and proof of Impact Fee payments per unit are provided by the applicant.

411.12 Traffic

The development proposes to add one new dead end street on an existing curb-cut on McKeen Street. The sixteen-unit condominium development is expected to have relatively minor impact on traffic conditions in the immediate McKeen Street area. A traffic impact analysis was not required for this project and none was requested. There will be no impact on Country Lane, other than for the addition of three single-family units which have individual driveway access on that street. Planning and Development Department staff recommends that a dead end road is acceptable based on input from the Town Engineer, Deputy Fire Chief and Police Commander. Given the above, the proposed development will not cause unreasonable public road congestion or unsafe conditions, and the traffic associated with the development shall maintain level of service within 200 feet of the existing curb-cut. *The Board finds that the provisions of section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The development is located in the growth area, in a predominantly urban setting. The proposed private roadway that will service the project will be 24' wide, and be composed of two 10-foot travel lanes and 4-foot pedestrian/bicycle lane. There is also a proposed 8-foot wide pedestrian/bicycle path linking the internal loop road and Country Lane, and which is shown within a 20-foot wide utility easement, in the northwest corner between units 1 & 13 on the west and units 2 & 14 on the east. A public access easement – within the utility easement - will need to be provided to allow pedestrians to cross from Country Lane to McKeen Street. The new subdivision road will be a dead end loop road that will carry only local traffic related to the sixteen homes in the development. Due to the relatively low level of traffic expected on the new street with dirt shoulders, and a pedestrian/bicycle path to Country Lane, no additional pedestrian and bicycle amenities are needed. The development will connect into the pedestrian and bicycle routes (i.e. sidewalks and bike lanes) on McKeen Street. *The Board finds that the provisions of section 411.13 are satisfied, with the conditions that 1) a public access easement be added to the plan to allow public pedestrian access over the pedestrian path and internal street, and 2) a detail is provided for the proposed public path.*

411.14 Development Patterns

As noted in Section 411.10 above, the condominium development will consist of single-family detached homes and is consistent with the scale and type that currently exists in this neighborhood. Other nearby housing developments similar to Churchill Woods a: Mallard Pond and Pheasant Run with 34 units each, McKeen Woods with 13 units and Thornton Oaks with 152 units. The Board finds that the street interconnection would result in the disruption of community character and that the pedestrian and bicycle connections satisfy the requirements of Section 511.3. *The Board finds that the provisions of section 411.14 are satisfied.*

411.15 Architectural Compatibility

The applicant has submitted elevations for four different house styles that will be available to prospective buyers. Each will be a contemporary single-story home with attached garage. The

single-family style homes will likely have similar styles as those in the surrounding urban area. *The Board finds that the provisions of section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

As noted in Section 411.11 above, the Town Engineer in 2006 calculated a Solid Waste impact fee of \$4,137.60 (\$258.60 per unit). *The Board finds that the provisions of section 411.16 are satisfied with the condition that, prior to issuance of Building Permits, an updated Solid Waste Impact Fee is approved by the Director of Public Works, and proof of payment per unit is provided by the applicant.*

411.17 Recreation Needs

The condominium development does not set aside any land for open space or recreation. In 2006 the Director of Parks and Recreation calculated a recreation impact fee of \$29,850.00 (\$1,865.62 per unit). *The Board finds the provisions of section 411.17 are satisfied with the condition that, prior to issuance of Building Permits, an updated a Recreation Impact Fee is approved by the Director of Parks & Recreation and/or Recreation Commission, and proof of payment per unit is provided by the applicant.*

411.18 Access for Persons with Disabilities

The development is for single-family homes on private owned association land and does not need to comply with the standards of the Americans with Disabilities Act. *The Board finds the provisions of section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The development will require a performance guarantee for the public or common area improvements in Phases 2 and 3, including but not limited to the road construction, pedestrian path, erosion and sedimentation controls, fire protection, and stormwater infrastructure. Phase 1 does not include common or public infrastructure improvements and does not need to have a performance guarantee. Security for the completion of infrastructure related to sewer and water are administered by the Sewer and Water Districts and are not part of the Town's performance guarantee. *The Board finds that the provisions of section 411.19 are satisfied, with the condition that, prior to issuance of Building Permits for respective phases, the developer shall provide the Town with a performance guarantee for Phases 2 and 3.*

411.20 Noise and Dust

During construction, the demolition and construction work will be done in consideration of reasonable times and decibel levels, and in accordance with the Section 109 of the Brunswick Zoning Ordinance. Best Management Practices will be used in order to prevent dust migration during demolition and construction. Upon project completion, the proposed development is not anticipated to contribute to unreasonable noise or dust. *The Board finds that the provisions of section 411.20 are satisfied.*

411.21 Right, Title, and Interest

The applicant has submitted deeds for the property. *The Board finds the provisions of section 411.21 are satisfied.*

411.22 Payment of Application Fee

The final plan reapproval application fees have been paid. *The Board finds the provisions of section 411.22 are satisfied.*

**DRAFT MOTIONS
CHURCHILL WOODS CONDOMINIUMS
CASE NUMBER: 14-010**

Motion 1: That the Major Development Review Final Site and Condominium Subdivision Plan application is deemed complete.

Motion 2: That the Board waives the following requirements:

1. Section 412.2.B.17: Waiver for the requirement to show all trees over 10 inches in diameter.
2. Section 412.2.B.8: Waiver for the requirement to show cross section and profiles of existing roads.

Motion 3: That the Major Development Review Final Site Plan is reapproved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. That, prior to issuance of a Building Permit, the developer shall provide the Town with a performance guarantee for Phases 2 and 3, to be approved by the Town Engineer.
3. That, prior to issuance of a Building Permit, the developer shall provide a public access easement to allow access between Country Lane and the internal loop road.
4. That, prior to issuance of a Building Permit, the final plan shall provide a detail of the proposed pedestrian/bicycle path.
5. That, prior to issuance of a Building Permit, the stormwater management plan is approved by the Town Engineer and that the Maine D.E.P. Chapter 500 Stormwater Permit is reapproved.

6. That, prior to issuance of Building Permits, an updated Solid Waste Impact Fee is approved by the Director of Public Works, and proof of payment per unit is provided by the applicant.
7. That, prior to issuance of Building Permits, an updated a Recreation Impact Fee is approved by the Director of Parks & Recreation and/or Recreation Commission, and proof of payment per unit is provided by the applicant.
8. That, prior to issuance of Building Permit, a revised landscaping plan be submitted to the satisfaction of the Director of Planning and Development, showing site clearing for the development limited to the specific areas required for individual phases of the project; areas for future development shall be left in a natural state until such time as the site work for individual phases commences, which shall not occur until building permits have been issued for the individual phases.
9. That, prior to issuance of a Building Permit, the final plan shall include a phasing schedule on the cover sheet to include projected start dates for Phases 2 & 3.

** Please note that Development Review Site Plan approvals by the Planning Board shall expire at the end of two years after the date of final approval unless all construction has been completed by that date (Section 407.4.B of the Brunswick Zoning Ordinance).*

** All Subdivisions for which Final Plan approval has been granted, and any conditions that have been imposed by the Planning Board for the subdivision or final plan shall be filed in the Cumberland County Registry of Deeds by the applicant. If the applicant fails to record the subdivision plan within 60 days after Development Plan approval by the Planning Board, the approval shall expire. No building permits associated with a subdivision shall be issued unless evidence of all recording requirements is provided by the applicant to the Codes Enforcement Officer.*

** If applicable, subdivision approvals by the Planning Board shall expire at the end of five years after the date of Final Plan approval unless all infrastructure work associated with the development is completed (Section 407.4.C of the Brunswick Zoning Ordinance).*