



TOWN OF BRUNSWICK

PLANNING BOARD

85 UNION STREET
BRUNSWICK, ME 04011

PLANNING BOARD

AGENDA

**BRUNSWICK TOWN HALL
TOWN COUNCIL CHAMBERS
85 UNION STREET**

TUESDAY, MAY 5, 2015, 7:00 P.M.

***AGENDA ITEM #1 BELOW WAS REMOVED FROM CONSIDERATION AT THE
4/28/15 PLANNING BOARD MEETING AND RESCHEDULED TO 5/5/15***

1. **Case # 15-002 Chamberlain Woods Final Subdivision:** The Board will review and take action regarding a Final Plan Major Review application, submitted by Coastal Buildings and Investments, Inc., for the development of an 9-lot residential subdivision, a 225 foot private drive, and associated site improvements, on a 7.22± acre parcel with frontage on Barrows Street and the end of Boody Street. The proposed subdivision is located in the Town Residential 5 – Columbia Avenue – Spring Street (TR5) Zoning District. Assessor's Map U27, Lot 6.
2. **Zoning Ordinance Rewrite Committee (ZORC) Update**
3. **Approval of Minutes**
4. **Other Business**
5. **Adjourn**

This agenda is mailed to owners of property within 200 feet of the above referenced development proposals as well as others upon request. It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.

**DRAFT Findings of Fact
Major Development Review
Final Subdivision Plan
May 5, 2015**

Project Name: Chamberlain Woods Subdivision
Case Number: 15-002
Zoning: Town Residential 5 (Columbia Ave – Spring St (TR5))
Tax Map: Map U27 Lot 6
Applicant: Coastal Building and Investments, Inc.
141 Pleasant Street
Brunswick, Maine 04011

Authorized

Representative: Curt Neufeld, P.E.
Sitelines, PA
8 Cumberland Street
Brunswick, Maine 04011

Staff reviewed the application and has made a determination of completeness

PROJECT SUMMARY

Staff review is based on the following application materials submitted by Sitelines P.A., Inc.:

- Final subdivision application packet, February 27, 2015.
- Staff Review Committee meeting notes, dated March 11, 2015.
- Letter from Jim Seymour of Sebagotechnics, revised April 24, 2015.
- Email from Town Engineer John Foster, dated April 28, 2015.
- Drawing C1 entitled “Cover Sheet”, revised 4-20-15.
- Drawing C2 entitled “Existing Conditions Plan”, revised 4-20-15.
- Drawing C3 entitled “Subdivision Plan”, revised 4-20-15.
- Drawing C4 entitled “Grading, Drainage, & Erosion Control Plan”, revised 4-20-15.
- Drawing C5 entitled “Utility Plan”, revised 4-20-15.
- Drawing C6 entitled “Plan & Profile”, revised 4-20-15.
- Drawing C7 entitled “Site Development Details”, revised 4-20-15.
- Drawing C8 entitled “Erosion Control Details & Notes”, revised 4-20-15.

The proposed 10-lot subdivision features eight new lots, one previously developed lot, and a 4.35 acre wooded lot to be retained by the owner. The eight new lots will be serviced by a 350± linear foot private drive, which will be offered for public acceptance upon completion. The applicant has indicated that he will develop and sell four of the lots, while selling the other four as shovel-ready. The applicant has provided a project narrative, which is included in the attached packet.

The applicant has requested the following waivers, per Section 410:

1. Class A Soil Survey. *The project is located on soils suitable for the proposed use, and the lots will be served by public water and sewer, so no wells or subsurface disposal systems will be required.*
2. Profiles, cross-section dimensions, curve radii of existing streets. *No changes are planned for Barrows Street or Boody Street.*
3. Waiver for the requirement to show all trees over 10 inches in diameter. *The entire tract is forested; however no specimen trees have been previously identified. The entire ROW will be cleared, and clearing of individual lots will be done on a site-specific basis.*

Review Standards from Section 411 of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The proposed development complies with all applicable standards of the TR5 Zoning District. *The Board finds the provisions of section 411.1 are satisfied.*

411.2 Preservation of Natural Features

There are no significant natural features identified on this parcel. It is a predominantly wooded site adjacent to a medium-high density residential neighborhood. Development of the subdivision will require the removal of all trees within the ROW. Tree removal on individual lots will be done on a site specific basis. A 4.35 acre wooded lot, which abuts the subject property to the south, is to be retained by the owner. *The Board finds the provisions of section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands, and Marine Resources

There are no wetlands, surface waters, wildlife habitats, steep slopes, or other natural resources of significance on the property. The development does not occur within or cause harm to any land which is not suitable for development. *The Board finds the provisions of section 411.3 are satisfied.*

411.4 Flood Hazard Area

The site is located within Zone C, designated as “areas of minimal flooding” on the Flood Insurance Map for the Town of Brunswick. *The Board finds the provisions of section 411.4 are satisfied.*

411.5 Stormwater Management

The site is relatively flat and is currently a forested area with two gravel trails traversing the property. The site generally drains to low area within the parcel boundaries, where ponded water infiltrates or is taken up by the vegetation. The proposed road will be constructed with a storm drain system that included ditches, which will direct runoff to Barrows Street. A storm drain was previously installed by the applicant on the west side of Barrows Street in anticipation of development of the parcel. The front of the individual lots will drain toward the street and it’s stormwater system; the rear of the individual lots will drain to the perimeter of the site and infiltrate. There are no capacity issues with the municipal stormwater system in the area. The stormwater management plan has been reviewed both by the Town Engineer and the Town’s

consulting engineer, Sebagotechnics. Their reviews have concluded that the stormwater plan is generally acceptable and has been designed in accordance with the latest Maine DEP Best Management Practices Design Manual. *The Board finds the provisions of section 411.5 are satisfied, with the conditions that, prior to issuance of Building Permits, 1) concurrence by the Town Engineer that all engineering comments have been adequately addressed, and 2) recorded stormwater drainage easements to the Town shall be provided, to the satisfaction of the Town Engineer.*

411.6 Groundwater

The project will be serviced by public water and sewer, is not located over any mapped groundwater aquifers in Brunswick. As the groundwater is shallow (approximately 4 feet below grade), buildings will need to be constructed with finished floor elevations multiple feet about existing grade to accommodate basements. The project is situated in a level lying area consisting of dense sand over deeper clay. The movement of groundwater is in a southeasterly direction across the site. The development will have no detrimental effects on the quality of groundwater. However the question of groundwater conditions is a concern given that the site can have a large fluctuation of groundwater elevations which already impact abutters on Barrow Street. The applicant has addressed this by employing a combination of open swales and a cross country perforated piping system to collect high groundwater and further protect existing Barrow Street homes from spiking groundwater conditions. The Board finds that the development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater. *The Board finds the provisions of section 411.6 are satisfied.*

411.7 Erosion and Sedimentation

The erosion and sedimentation control plan for the development is acceptable to the Town Engineer, who has determined that Maine DEP's Best Management Practices are being employed, so as to not cause unreasonable soil erosion or reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Board finds the provisions of section 411.7 are satisfied.*

411.8 Sewage Disposal

The proposed subdivision will be serviced by a new 8-inch sewer main that will be extended from the existing sewer mains in Boody Street. As part of the construction of the road, 6-inch sewer service stubs will be extended to the individual lots for future development. An updated letter from the Brunswick Sewer District confirming capacity to serve the project has been added as a condition of approval. *The Board finds the provisions of section 411.8 are satisfied.*

411.9 Water

The proposed subdivision will be serviced by a new 8-inch water main that will be extended from the existing sewer mains in Boody Street. As part of the construction of the road, 1-inch water service stubs will be extended to the individual lots for future development. A fire hydrant will be installed at the end of the roadway. A letter from the Brunswick-Topsham Water District confirming capacity to serve the project has been added as a condition of approval. *The Board finds the provisions of section 411.9 are satisfied.*

411.10 Aesthetic, Cultural, and Natural Values

The development will consist of single-family homes and is consistent with the scale and type that currently exists in this neighborhood. The development will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, significant wildlife habitat identified by the Maine Department of Environmental Protection or by the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. *The Board finds that the provisions of section 411.10 are satisfied.*

411.11 Community Impact

The impact on public services, such as police, fire, and public works, is expected to be at the same level as typical residential development of this size. All Town departments have reviewed the application and have indicated that the Town has the ability to serve the proposed project. *The Board finds that the provisions of section 411.11 are satisfied with the condition that, prior to issuance of Building Permits, proof of payment of 1) Solid Waste, 2) Recreation, and 3) Street Lighting Impact Fees is provided; further, at least one week prior to the commencement of any construction, a pre-construction conference with Public Works staff, the engineering consultant and the roadway site work contractor is required; further, a digitized electronic drawing file (CAD file and PDF) of the approved plans, in an approved format, shall be furnished to Public Works Department; further, prior to acceptance by the Town of the private street and utilities, an "as-built" or set of record drawings shall be submitted in a form acceptable to the Public Works Department upon completion of the project.*

411.12 Traffic

Based on the Institute of Traffic Engineers Manuel, the proposed subdivision will result in peak-hour vehicle trip ends of 6.16 on A.M. weekdays, 8.16 on P.M. weekdays, and 7.52 on Saturday peak hours. Given the above, the proposed development will not cause unreasonable public road congestion or unsafe conditions, and the traffic associated with the development shall maintain existing levels of service. *The Board finds that the provisions of section 411.12 are satisfied, with the condition that, prior to the commencement of any construction, a Street Opening Permit for the proposed subdivision road construction shall be obtained from the Public Works Department.*

411.13 Pedestrian and Bicycle Access and Safety

The development is located in the growth area, in a predominantly urban setting. The proposed private drive that will service the project will be 28' wide, including shoulders. The zoning ordinance does not require sidewalks for subdivisions under 25 lots, and no sidewalk is proposed. An 8 foot wide gravel trail is proposed to cut between lots 7 & 8, providing access to Crimmins Field. *The Board finds that the provisions of section 411.13 are satisfied.*

411.14 Development Patterns

The project will consist of single-family detached homes and is consistent with the scale and type that currently exists in this neighborhood. The Board finds that the street interconnection with Barrows Street would not result in the disruption of community character. *The Board finds that the provisions of section 411.14 are satisfied.*

411.15 Architectural Compatibility

The anticipated houses will be similar in appearance and spacing to those in existing neighborhoods in the vicinity. The lot configuration was designed to allow the construction of a home with a 65-foot wide building window. Although there are no design guidelines or standards for this residential district, the applicant is anticipating developing two-story houses using clapboard siding and asphalt shingles. *The Board finds that the provisions of section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

The Town Engineer has calculated a total Solid Waste impact fee of \$2,284.48. *The Board finds that the provisions of section 411.16 are satisfied with the condition that, prior to issuance of Building Permits, proof of payment for the Solid Waste Impact Fee per unit is provided by the applicant.*

411.17 Recreation Needs

The subdivision development does not set aside any land for open space or recreation. A condition has been added that, prior to issuance of Building Permits, the applicant shall show proof of payment of the Recreation Impact Fee, as provided by the Director of Parks & Recreation and/or Recreation Commission. *The Board finds the provisions of section 411.17 are satisfied with the condition that, prior to issuance of Building Permits, the applicant shall show proof of payment of the Recreation Impact Fee.*

411.18 Access for Persons with Disabilities

The development is for single-family homes on privately owned land and does not need to comply with the standards of the Americans with Disabilities Act. *The Board finds the provisions of section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The applicant (Robert Cole) is under a 2010 consent agreement with the Town of Brunswick to complete infrastructure improvements as conditioned by the Planning Board's 1995 approval of the Wood Pond Village Subdivision referenced in the final plan application. The applicant is now in the process of renewing the expired letter of credit required by the consent agreement and is being given 30 days, beginning 5/5/15, to file said letter of credit with the Town Manager. A condition will be added addressing this requirement.

This development will also require a separate performance guarantee, which has been added as a condition of approval. Security for the completion of infrastructure related to sewer and water are administered by the Sewer and Water Districts and are not part of the Town's performance guarantee. *The Board finds that the provisions of section 411.19 are satisfied, with the conditions that, prior to commencement of any construction, the applicant shall 1) file with the Town Manager a renewed letter of credit to satisfy the condition set forth in the 2010 consent agreement by June 4, 2015; 2) provide the Town with a performance guarantee in the amount of \$292,500 for all subdivision infrastructure, as required under Section 411.19; and 3) the applicant shall establish an escrow account with the Town for a construction inspection escrow fee of \$5,100.*

411.20 Noise and Dust

During construction, the demolition and construction work will be done in consideration of reasonable times and decibel levels, and in accordance with the Section 109 of the Brunswick Zoning Ordinance. Best Management Practices will be used in order to prevent dust migration during demolition and construction. Upon project completion, the proposed development is not anticipated to contribute to unreasonable noise or dust. However, the applicant still needs to add notes regarding dust control measures during construction and extension of Boody Street along with trucking materials in and out of the site during construction. *The Board finds that the provisions of section 411.20 are satisfied.*

411.21 Right, Title, and Interest

The applicant has submitted deeds for the property. *The Board finds the provisions of section 411.21 are satisfied.*

411.22 Payment of Application Fee

The final plan application fees have been paid. *The Board finds the provisions of section 411.22 are satisfied.*

**DRAFT MOTIONS
CHAMBERLAIN WOODS SUBDIVISION
CASE NUMBER: 15-002**

Motion 1: That the Major Development Review Final Subdivision Plan application is deemed complete.

Motion 2: That the Board waives the following requirements:

1. Class A Soil Survey.
2. Profiles, cross-section dimensions, curve radii of existing streets.
3. Waiver for the requirement to show all trees over 10 inches in diameter.

Motion 3: That the Major Development Review Final Subdivision Plan is approved with the following conditions:

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. Prior to issuance of Building Permits, concurrence by the Town Engineer that all engineering comments have been adequately addressed.

3. Prior to issuance of Building Permits, the applicant shall show proof of payment of the solid waste impact fee.
4. Prior to issuance of Building Permits, the applicant shall show proof of payment of the recreation impact fee.
5. Prior to issuance of Building Permits, the applicant shall show proof of payment of the street light impact fee of \$296.03.
6. Prior to issuance of Building Permits, recorded stormwater drainage easements to the Town shall be provided, in form and substance satisfactory to the Town Engineer.
7. Prior to the recording of the plan, the applicant shall file with the Town Manager a renewed letter of credit conditioned in the 2010 Wood Pond Village consent agreement by June 4, 2015, in order to fulfill financial capacity requirements.
8. Prior to the commencement of road construction or installation of any utilities, the developer shall provide the Town with a performance guarantee in the amount of \$292,500 for all subdivision infrastructure, as required under Section 411.19.
9. Prior to the commencement of construction of the road, the applicant shall establish an escrow account with the Town for a construction inspection escrow fee of \$5,100.
10. Prior to the commencement of any construction, a Street Opening Permit for the proposed subdivision road construction shall be obtained from the Public Works Department.
11. At least one week prior to the commencement of any construction, a pre-construction conference with Public Works staff, the engineering consultant and the roadway site work contractor is required.
12. Prior to the commencement of any construction, a digitized electronic drawing file (CAD file and PDF) of the approved plans, in an approved format, shall be furnished to Public Works Department.
13. Prior to acceptance by the Town of the private street and utilities, an "as-built" or set of record drawings shall be submitted in a form acceptable to the Public Works Department upon completion of the project.

** All Subdivisions for which Final Plan approval has been granted, and any conditions that have been imposed by the Planning Board for the subdivision or final plan shall be filed in the Cumberland County Registry of Deeds by the applicant. If the applicant fails to record the subdivision plan within 60 days after Development Plan approval by the Planning Board, the*

approval shall expire. No building permits associated with a subdivision shall be issued unless evidence of all recording requirements is provided by the applicant to the Codes Enforcement Officer.

** Subdivision approvals by the Planning Board shall expire at the end of five years after the date of Final Plan approval unless all infrastructure work associated with the development is completed (Section 407.4.C of the Brunswick Zoning Ordinance).*

Jeremy Doxsee

From: James Seymour <jseymour@sebagotechnics.com>
Sent: Friday, April 24, 2015 11:26 AM
To: Curtis Neufeld; Jeremy Doxsee
Cc: John Foster; 'Tom Cole, REALTOR'; Chris Cole
Subject: RE: Chamberlain Woods response to comments
Attachments: 14382 Chamberlain Woods erm#2 4-9-15.doc

I am resending the memo as I had a typo about sidewalk inclusion that said "now" instead of "no". Sorry for the typo. No sidewalks are required. Technical item #2.
All looks Ok with me on revisions.

James R. Seymour PE

Project Manager
Sebago Technics Inc
75 John Roberts Rd-Suite 1A
South Portland, ME 04106-6963
Direct # (207) 200-2083
Cell# (207) 632-1199
e-mail : jseymour@sebagotechnics.com

From: Curtis Neufeld [mailto:cneufeld@sitelinespa.com]
Sent: Wednesday, April 22, 2015 10:33 AM
To: 'Jeremy Doxsee'
Cc: 'John Foster'; James Seymour; 'Tom Cole, REALTOR'; Chris Cole
Subject: Chamberlain Woods response to comments

I have reviewed the final plans from Sitelines sent via email on April 1, 2015 and offer the following comments:

1. The pavement radii in the cul-de-sac is not acceptable and does not meet our design standards as contained in the town's street acceptance ordinance. See Figure 1 below as shown in the ordinance. A centerline radius of 45 feet is required and sheet C3 indicates it will be 34 feet, that is way too small and tight. I am sure the project can comply as the property line radius is as required, just need to revise the pavement radii in the cul-de-sac and resubmit for approval.

The drawing / design has been revised as necessary.

2. The proposed town storm drain easement is now shown with an appendage connecting to Lot 9 and I am not sure why the town needs that as part of the public drainage easement. On sheet C4 it is indicated a stub out will be provided to serve the sump pump for Lot 9 so the easement/connection is to benefit Lot 9 then it should be an easement that is conveyed to them and not the town as we don't want any maintenance jurisdiction for their lot connection. This issue needs to be clarified.

The easement has been removed as the Town of Brunswick will not have any responsibility for that stub.

3. On sheet C4 a field inlet (pipe run P8) is shown from DMH2 and we don't object to this connection but it has been drawn on private property to be retained by the developer and outside the proposed storm drain easement. We will need the easement extended in this area to allow our maintenance of this pipe. It was also my understanding a drainage easement encumbering the development of lots 1, 3

Jeremy Doxsee

From: John Foster
Sent: Tuesday, April 28, 2015 10:46 AM
To: Anna Breinich; Jeremy Doxsee
Cc: Curtis Neufeld
Subject: RE: Chamberlain Woods response to comments
Attachments: PerfSecurityEstimateSitelines042615.pdf

Anna/Jeremy,

I have reviewed the revised plans and below responses from Curt Neufeld, Sitelines as regards my comments in my April 1 email to you for final review of the above subdivision project. My items 1 through 4, restated below, have been satisfactorily addressed and they do not need to be a special condition of approval as the plans have been revised to address my concerns. Items 5 through 10 below are typical requirements to remain included as part of the subdivision approval as they relate to actions to be taken prior to construction. Curt has sent me a estimate for the performance security at an amount of \$292,500 (includes 10% contingency as required) and that is a satisfactory amount and you may include that number in your final conditions (#6 below). The inspection fee is then \$5,100 (2%) and you may use that number in the final conditions (#7 below). I have attached a copy of the Sitelines performance security estimate for your reference. Thanks, John

John Foster, Town Engineer/Public Works Director
Town of Brunswick
207.725.6654

From: Curtis Neufeld [mailto:cneufeld@sitelinespa.com]
Sent: Wednesday, April 22, 2015 10:33 AM
To: Jeremy Doxsee
Cc: John Foster; Jim Seymour; 'Tom Cole, REALTOR'; Chris Cole
Subject: Chamberlain Woods response to comments

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1. The pavement radii in the cul-de-sac is not acceptable and does not meet our design standards as contained in the town's street acceptance ordinance. See Figure 1 below as shown in the ordinance. A centerline radius of 45 feet is required and sheet C3 indicates it will be 34 feet, that is way too small and tight. I am sure the project can comply as the property line radius is as required, just need to revise the pavement radii in the cul-de-sac and resubmit for approval.

The drawing / design has been revised as necessary.

2. The proposed town storm drain easement is now shown with an appendage connecting to Lot 9 and I am not sure why the town needs that as part of the public drainage easement. On sheet C4 it is indicated a stub out will be provided to serve the sump pump for Lot 9 so the easement/connection is to benefit Lot 9 then it should be an easement that is conveyed to them and not the town as we don't want any maintenance jurisdiction for their lot connection. This issue needs to be clarified.

The easement has been removed as the Town of Brunswick will not have any responsibility for that stub.

3. On sheet C4 a field inlet (pipe run P8) is shown from DMH2 and we don't object to this connection but it has been drawn on private property to be retained by the developer and outside the proposed storm

and 5 was to be shown at the rear of these lots so that these property owners would maintain and not fill in or develop in the shown drainage swale to be constructed by the developer as part of the site development process. I would still recommend such a private easement be provided.

The easement has been adjusted / revised to ensure the Town of Brunswick has access.

4. On sheet C4 new CB3 is proposed and it will replace an existing catch basin. The plans need to indicate the developer's contractor is responsible for completely removing the existing catch basin, salvaged frame and grate to be delivered to Public Works and the existing storm drain lateral pipe to be abandoned sealed for at least two feet with Portland cement concrete.

A note has been added to the plan as indicated.

5. For impact fees we would recommend a solid waste impact for the 8 residential lot subdivision of \$2,284.48 (8 lots x 1 ton/lot x \$258.56/ton). We would also typically require one street light be provided through our CMP rental program at the cul-de-sac area (to be located based on final pole placement) so the recommended street light impact fee is \$296.03 (1 ea. X \$296.03/street light).

Understood. Not response necessary.

6. We recommend a performance security be required for all the subdivision infrastructure. The developer will need to submit a satisfactory 100% labor and material performance guarantee to the Town Manager for review and approval prior to the start of any work. The amount of the proposed financial guarantee is to be itemized by the consultant and submitted to the Town Engineer for review and approval. The guarantee amount must include at least a 10% contingency above the Engineer's estimate.

Understood. An itemized estimate of probably costs will be submitted under separate cover.

7. We recommend the Planning Board assess an inspection escrow fee to allow us to contract for construction inspection. We would recommend the developer deposit in a Town held escrow account an amount at least equal to 2% of the construction value. Funds from this escrow account will be used to fund an engineering consultant to be hired by the Town Engineer. The consultant will oversee the project construction and report all findings, tests and recommendations to the Town Engineer. Any of the escrowed funds not used for the construction administration will be returned to the developer and the developer will be responsible for any additional inspection costs needed above the escrowed amount if such additional inspection work is needed as determined by the Town Engineer.

Understood. Not response necessary.

8. A Street Opening Permit for the proposed subdivision road construction must be obtained from the Public Works Department prior to the start of any such work.

Understood. Not response necessary.

9. A pre-construction conference with Public Works staff, the engineering consultant and the roadway site work contractor is required prior to the start of any construction. Contact Public Works when a contractor has been selected and arrange for such a meeting at least one week prior to the start of construction.

Understood. Not response necessary.

10. A digitized electronic drawing file (CAD file and PDF) of the complete final approved plans, in an approved format, must be furnished to Public Works Department prior to the start of any

construction. An "as-built" or set of record drawings shall be submitted in a form acceptable to the Public Works Department upon completion of the project

Understood. Not response necessary.

In addition to the responses of the comments made above, the plans been revised to include notes and details as recommended by Sebago Technics.

It is our hope this information will satisfy the following draft conditions of approval: 2, 3, 4, 10, 18, 19 and 21. We know that many of the other conditions of approval are completed by the contractor was the project is awarded. We are working with the applicant to obtain a letter from the bank indicating their financial capacity.

Curtis Y. Neufeld

Vice President

Sitelines PA

8 Cumberland Street

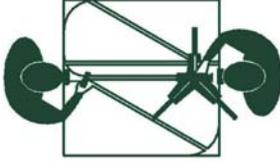
Brunswick, ME 04011

(fax) (207) 725-1114

(207) 725-1200 x18

www.sitelinespa.com

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May 1, 2015

1019.01-7

Mr. Jeremy Doxsee, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

Re: Major Subdivision Application
CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE
Tax Map U27, Lot 6

Dear Jeremy:

Sitelines PA would like to acknowledge an error and correct a statement made in the application for Chamberlain Woods. Under the section for financial capacity, Wood Pond Village was stated to be a project completed by the developer/applicant. Wood Pond Village is a phased development and is not yet complete. In addition, the completion of that project is subject to a consent decree that is still in effect between the developer and the Town of Brunswick. Although the legal entities involved are different for Wood Pond Village and Chamberlain Woods, the principles involved in each entity are the same.

Very truly yours,

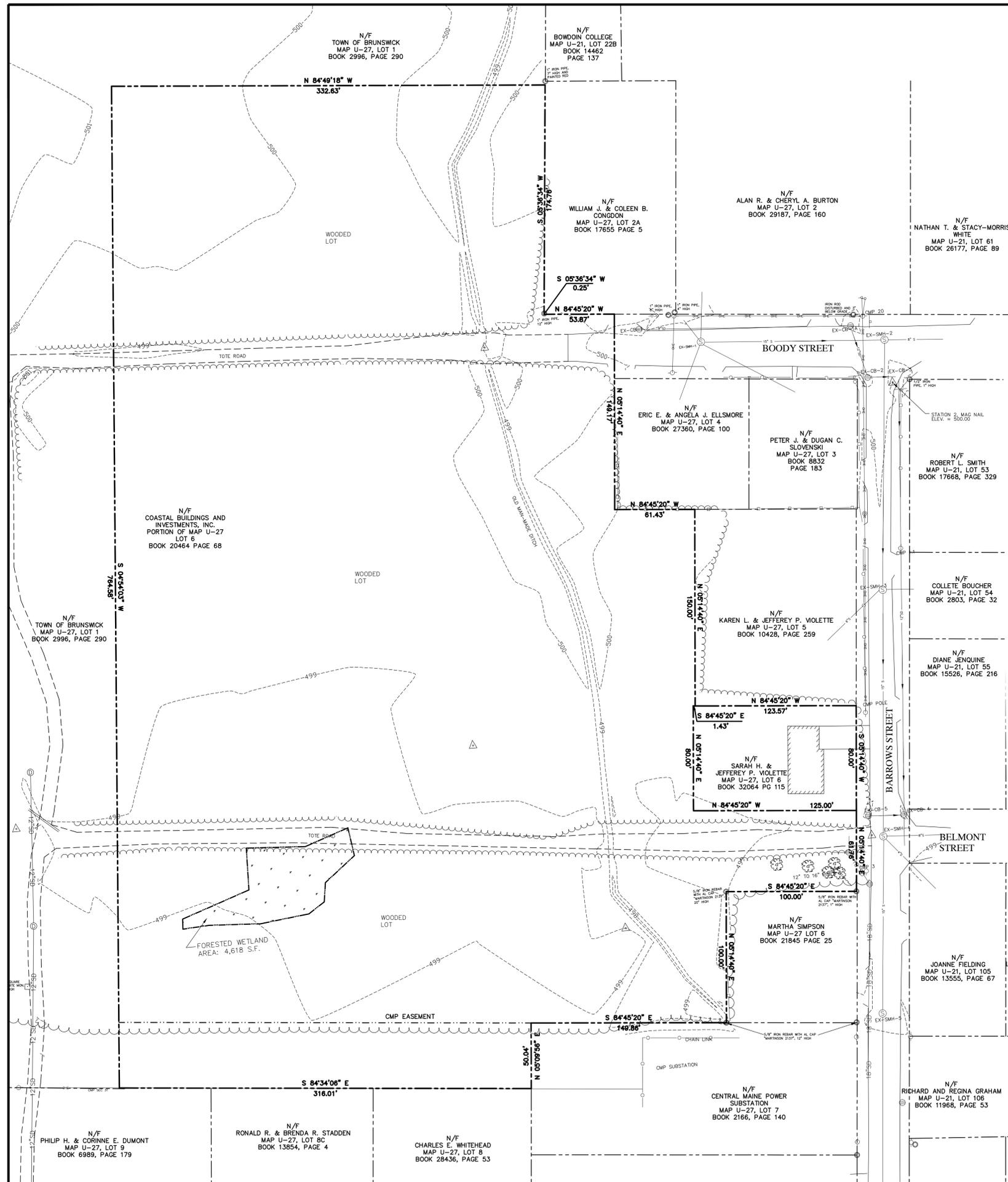
Curtis Y. Neufeld, P.E.
Vice President

cc: Chris Cole, Coastal Building Investments, Inc.

SITELINES

ENGINEERS ▪ PLANNERS ▪ SURVEYORS ▪ LANDSCAPE ARCHITECTS

8 Cumberland Street ▪ Brunswick, ME 04011 ▪ TEL 207 725-1200 ▪ FAX 207-725-1114 ▪ www.sitelinespa.com

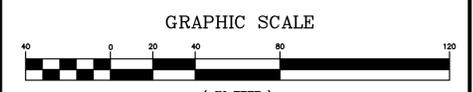


NO CHANGES
THIS SHEET



LOCATION MAP
NOT TO SCALE

- PLAN REFERENCE:**
1. BOUNDARY INFORMATION TAKEN FROM A PLAN NAMED "PRELIMINARY PLAN OF WILDWOOD ACRES" BY HOWARD F. BABBIGE, P.E., L.S. #5 FOR HENRY M. BARIBEAU DATED JUNE 1, 1978.
- GENERAL NOTES:**
- THE SITE IS OWNED BY COASTAL BUILDING INVESTMENTS INC. (141 PLEASANT STREET, #101, BRUNSWICK, ME 04011) MAP U27-LOT 6.
 - AREA OF EXISTING LOT = 7.22 AC.
 - ORDINANCE STANDARDS:
ZONE: TR5 (COLUMBIA AVE-SPRING ST NEIGHBORHOODS)
MINIMUM LOT AREA: 10,000 S.F.
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH: 65'
2.) YARD DEPTHS
A) FRONT = 20'
B) REAR = 20'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM IMPERVIOUS SURFACE COVERAGE = 35%
MAXIMUM BUILDING FOOTPRINT PER STRUCTURE = 5,000 SF
MAXIMUM DENSITY = 5 UNITS PER ACRE
 - THE SURFICIAL SOILS ARE CLASSIFIED BY THE SOIL SURVEY FOR CUMBERLAND COUNTY, MAINE BY THE SOIL CONSERVATION SERVICE
Au - AU GRES LOAMY SAND
 - BENCHMARK INFORMATION: CONTACT SITELINES PA. 725-1200
 - FLOOD ZONE INFORMATION:
PARCEL IS LOCATED WITHIN ZONE C (AREAS OF MINIMAL FLOODING) PER FEMA FIRM MAP COMMUNITY PANEL NUMBER 2300420015B EFFECTIVE DATE: JANUARY 3, 1986.
 - WETLANDS SHOWN ON THE PLAN WERE LOCATED BY SWEET ASSOCIATES.
 - ALL PARCELS WILL BE SERVED BY PUBLIC WATER AND SEWER.



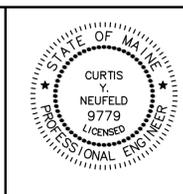
- 04/20/15 REVISED PER REVIEW COMMENTS CYN
- 03/30/15 REVISED PER REVIEW COMMENTS JJM
- 02/27/15 SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW JJM
- 01/20/15 SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN REVIEW JJM

TITLE: **EXISTING CONDITIONS PLAN**

PROJECT: **CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE**

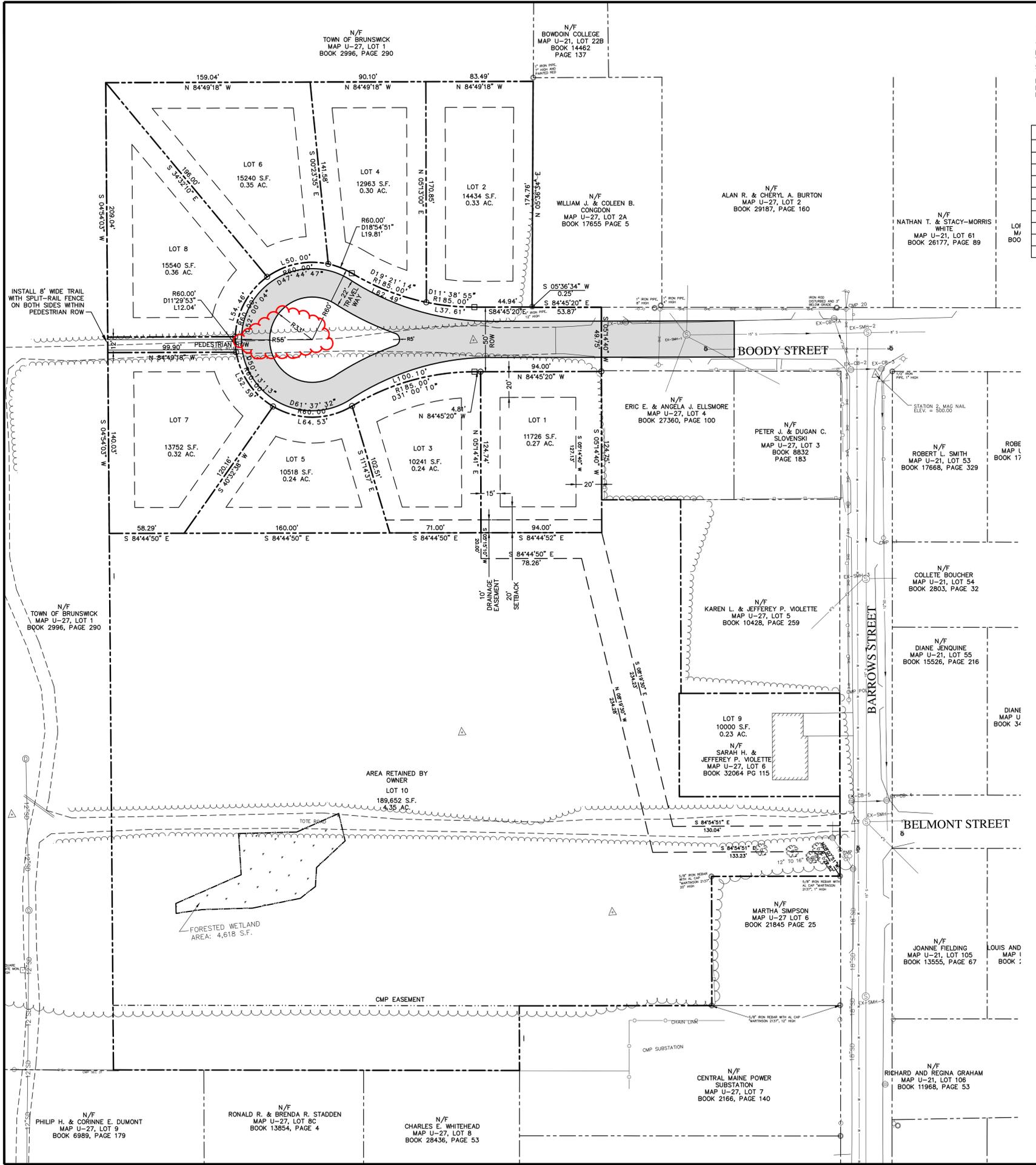
PREPARED FOR: **COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE**

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



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8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: BWM	SCALE: 1"=40'	SHEET:
DRN BY: RPL/JJM	JOB #: 1019.01	C2
CHD BY: CYN	MAP/PLOT: U27/6	
DATE: 01/19/15	FILE: 1019.01-SITE	



DENSITY COMPUTATIONS:

TOTAL AREA	324,703 S.F.	7.45 ACRES
R/W	20,511 S.F.	0.47 ACRES
WETLANDS	4,618 S.F.	0.11 ACRES
STEEP SLOPES	N/A	
NET SITE AREA	299,574 S.F.	6.88 ACRES
MAX. DENSITY=	5 UNITS PER ACRE	
MAX. UNITS=	34	

LOT #	STREET ADDRESS	MAP-LOT
LOT 1	61 BOODY STREET	U27-41
LOT 2	60 BOODY STREET	U27-34
LOT 3	63 BOODY STREET	U27-40
LOT 4	62 BOODY STREET	U27-35
LOT 5	65 BOODY STREET	U27-39
LOT 6	64 BOODY STREET	U27-36
LOT 7	67 BOODY STREET	U27-38
LOT 8	66 BOODY STREET	U27-37
LOT 9	6 BARROWS STREET	U27-6



LOCATION MAP
NOT TO SCALE

PLAN REFERENCE:
1. BOUNDARY INFORMATION TAKEN FROM A PLAN NAMED "PRELIMINARY PLAN OF WILDWOOD ACRES" BY HOWARD F. BABBIDGE, P.E., L.S. #5 FOR HENRY M. BARBEAU DATED JUNE 1, 1978.

GENERAL NOTES:
1. THE SITE IS OWNED BY COASTAL BUILDING INVESTMENTS INC. (141 PLEASANT STREET, #101, BRUNSWICK, ME 04011) MAP U27-LOT 6.
2. AREA OF EXISTING LOT = 7.22 AC.

ORDINANCE STANDARDS:
ZONE: TR5 (COLUMBIA AVE-SPRING ST NEIGHBORHOODS)
MINIMUM LOT AREA: 10,000 S.F.
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH: 65'
2.) YARD DEPTHS
A) FRONT = 20'
B) REAR = 20'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM IMPERVIOUS SURFACE COVERAGE = 35%
MAXIMUM BUILDING FOOTPRINT PER STRUCTURE = 5,000 SF
MAXIMUM DENSITY = 5 UNITS PER ACRE
*50' ON CUL-DE-SAC

4. THE SURFICIAL SOILS ARE CLASSIFIED BY THE SOIL SURVEY FOR CUMBERLAND COUNTY, MAINE BY THE SOIL CONSERVATION SERVICE
Au - AU GRES LOAMY SAND

5. BENCHMARK INFORMATION: CONTACT SITELINES PA. 725-1200

FLOOD ZONE INFORMATION:
PARCEL IS LOCATED WITHIN ZONE C (AREAS OF MINIMAL FLOODING) PER FEMA FIRM MAP COMMUNITY PANEL NUMBER 2300420015B EFFECTIVE DATE: JANUARY 3, 1986.

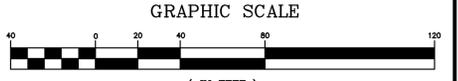
7. WETLANDS SHOWN ON THE PLAN WERE LOCATED BY SWEET ASSOCIATES.

8. ALL PARCELS WILL BE SERVED BY PUBLIC WATER AND SEWER.

GRADING AND DRAINAGE NOTES:
1. FILL SHALL MEET EXISTING GRADES AT PROPERTY LINE.
2. RECOMMENDED FFE RANGE IS 503 TO 506.
3. GARAGE ELEVATION IS TYPICALLY 0.6 TO 1.5 FEET BELOW FFE.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND REAR OF PARCEL.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPERTY SEEDING.
7. CONSTRUCTION OF FOOTERS AND/OR FINISHED SPACE MORE THAN FOUR FEET BELOW GRADE IS PROHIBITED DUE TO HIGH GROUNDWATER IN THE VICINITY. DEPTH OF FOOTER IS PERMITTED TO BE BELOW ELEVATION 496.00.
8. SUMP PUMPS ARE RECOMMENDED FOR ALL FOUNDATIONS. PUMP FORCE MAINS SHALL HAVE A BACKFLOW PREVENTOR INSTALLED. A STORM DRAIN STUB HAS BEEN PROVIDED ON EACH LOT.
9. SUMP PUMPS SHALL BE INSTALLED WITH A BACK FLOW PREVENTOR.

APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

CHAIRMAN:



4. 04/20/15	REVISED PER REVIEW COMMENTS	CYN
3. 03/30/15	REVISED PER REVIEW COMMENTS	JJM
2. 02/27/15	SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW	JJM
1. 01/20/15	SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN REVIEW	JJM

CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED _____

AT ____ HRS ____ MIN ____ M, AND

FILED IN PLAN BOOK ____ PAGE ____

ATTESTED: _____ REGISTER

SURVEYOR'S CERTIFICATION:

THE PREPARER HEREBY CERTIFIES THAT THIS SURVEY HAS BEEN UNDERTAKEN IN CONFORMANCE WITH THE RULES SET FORTH BY THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, DATED APRIL 1, 2001, FOR A BOUNDARY SURVEY.



DATE _____

KEVIN P. CLARK, PLS #2245

NOT VALID UNLESS EMBOSSED HERE

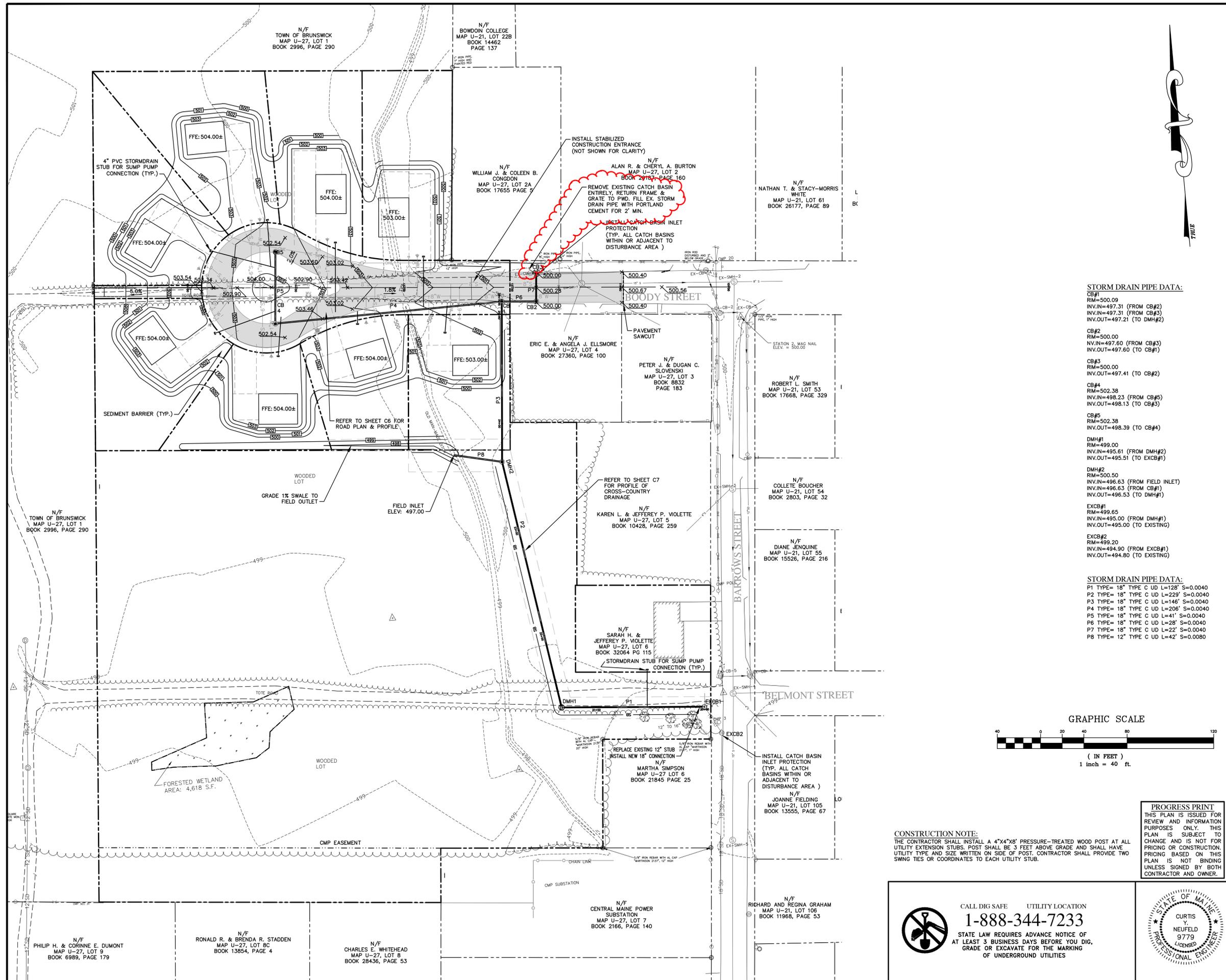
SUBDIVISION PLAN

PROJECT: CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE

PREPARED FOR: COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE

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FIELD WK: BWM	SCALE: 1"=40'	SHEET:
DRN BY: RPL/JJM	JOB #: 1019.01	C3
CHD BY: CYN	MAP/LOT: U27/6	
DATE: 01/19/15	FILE: 1019.01-SITE	



LOCATION MAP
NOT TO SCALE

- GRADING AND DRAINAGE NOTES:**
- THE CONTRACTOR SHALL PHASE GRADING EFFORTS SUCH THAT TOTAL SITE DISTURBANCE IS MINIMIZED. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING EFFORTS OR WITHOUT DELAY UPON THEIR COMPLETION, DEPENDENT UPON THE SITUATION.
 - ALL FILL SLOPES SHALL BE A MINIMUM OF 3:1 HORIZONTAL TO VERTICAL UNLESS OTHERWISE NOTED OR DIRECTED.
 - THE LIMITS OF DISTURBANCE SHALL GENERALLY BE THE MINIMAL EXTENT NECESSARY ONLY TO PERFORM THE GRADING EFFORTS SHOWN ON THE DRAWINGS. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF OBJECTS AND AREAS NOT SPECIFICALLY IDENTIFIED FOR MODIFICATION OR REMOVAL.
 - ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DRAWINGS, UNLESS INTENDED FOR OTHER SURFACE COVER.
 - STORM DRAINS SHALL BE CONSTRUCTED CONCURRENTLY WITH GRADING EFFORTS TO PROVIDE ADEQUATE CONVEYANCE FOR ANY SITE RUNOFF CONDITIONS.
 - WHERE FINAL GRADING HAS BEEN COMPLETED, SURFACE RESTORATION FOR DISTURBED AREAS WILL BE COMPLETED AS SOON AS PRACTICABLE. FOR VEGETATIVE AREAS, VEGETATION WILL BE PROGRESSIVELY ESTABLISHED.
 - UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS
 - BENCHMARK INFORMATION: SEE PLAN
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE STRUCTURES AND PIPING PRIOR TO ORDERING.
 - RIM ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS OF RETAINING WALL TO ENGINEER PRIOR TO ORDERING MATERIALS. (STELINES, P.A. 8 CUMBERLAND STREET, BRUNSWICK, MAINE 04011, 207-725-1200)
 - FILL SHALL MEET EXISTING GRADES AT PROPERTY LINE.
 - RECOMMENDED FFE RANGE IS 503 TO 506.
 - GARAGE ELEVATION IS TYPICALLY 0.6 TO 1.5 FEET BELOW FFE.
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 - PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPERTY SEEDING.
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 - SUMP PUMPS ARE RECOMMENDED FOR ALL FOUNDATIONS. PUMP FORCE MAINS SHALL HAVE A BACKFLOW PREVENTOR INSTALLED. A STORM DRAIN STUB HAS BEEN PROVIDED ON EACH LOT.

STORM DRAIN PIPE DATA:

CB#1
RIM=500.09
INV.IN=497.31 (FROM CB#2)
INV.IN=497.31 (FROM CB#3)
INV.OUT=497.21 (TO DMH#2)

CB#2
RIM=500.00
INV.IN=497.60 (FROM CB#3)
INV.OUT=497.60 (TO CB#1)

CB#3
RIM=500.00
INV.IN=497.41 (TO CB#2)

CB#4
RIM=502.38
INV.IN=498.23 (FROM CB#5)
INV.OUT=498.13 (TO CB#3)

CB#5
RIM=502.38
INV.OUT=498.39 (TO CB#4)

DMH#1
RIM=499.00
INV.IN=495.61 (FROM DMH#2)
INV.OUT=495.51 (TO EXCB#1)

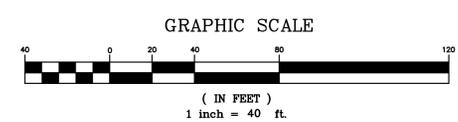
DMH#2
RIM=500.50
INV.IN=496.63 (FROM FIELD INLET)
INV.IN=496.63 (FROM CB#1)
INV.OUT=496.53 (TO DMH#1)

EXCB#1
RIM=499.65
INV.IN=495.00 (FROM DMH#1)
INV.OUT=495.00 (TO EXISTING)

EXCB#2
RIM=498.20
INV.IN=494.90 (FROM EXCB#1)
INV.OUT=494.80 (TO EXISTING)

STORM DRAIN PIPE DATA:

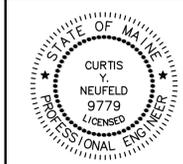
P1 TYPE= 18" TYPE C UD L=128' S=0.0040
P2 TYPE= 18" TYPE C UD L=229' S=0.0040
P3 TYPE= 18" TYPE C UD L=146' S=0.0040
P4 TYPE= 18" TYPE C UD L=206' S=0.0040
P5 TYPE= 18" TYPE C UD L=41' S=0.0040
P6 TYPE= 18" TYPE C UD L=28' S=0.0040
P7 TYPE= 18" TYPE C UD L=22' S=0.0040
P8 TYPE= 12" TYPE C UD L=42' S=0.0080



CONSTRUCTION NOTE:
THE CONTRACTOR SHALL INSTALL A 4"x4"x8' PRESSURE-TREATED WOOD POST AT ALL UTILITY EXTENSION STUBS. POST SHALL BE 3 FEET ABOVE GRADE AND SHALL HAVE UTILITY TYPE AND SIZE WRITTEN ON SIDE OF POST. CONTRACTOR SHALL PROVIDE TWO SWING TIES OR COORDINATES TO EACH UTILITY STUB.

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PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



- 04/20/15 REVISED PER REVIEW COMMENTS CYN
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TITLE: **GRADING, DRAINAGE & EROSION CONTROL PLAN**

PROJECT: **CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE**

PREPARED FOR: **COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE**

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FIELD WK: BWM	SCALE: 1"=40'	SHEET:
DRN BY: RPL/JJM	JOB #: 1019.01	C4
CHD BY: CYN	MAP/LOT: U27/6	
DATE: 01/19/15	FILE: 1019.01-SITE	

N/F PHILIP H. & CORINNE E. DUMONT
MAP U-27, LOT 9
BOOK 6989, PAGE 179

N/F RONALD R. & BRENDA R. STADDEN
MAP U-27, LOT 8C
BOOK 13854, PAGE 4

N/F CHARLES E. WHITEHEAD
MAP U-27, LOT 8
BOOK 28436, PAGE 53

N/F CENTRAL MAINE POWER SUBSTATION
MAP U-27, LOT 7
BOOK 2166, PAGE 140

N/F RICHARD AND REGINA GRAHAM
MAP U-21, LOT 106
BOOK 11968, PAGE 53

N/F SARAH H. & JEFFEREY P. VIOLETTE
MAP U-27, LOT 6
BOOK 32064 PG 115

N/F KAREN L. & JEFFEREY P. VIOLETTE
MAP U-27, LOT 5
BOOK 10428, PAGE 259

N/F PETER J. & DUGAN C. SLOVENSKI
MAP U-27, LOT 3
BOOK 8832
PAGE 183

N/F ERIC E. & ANGELA J. ELLSMORE
MAP U-27, LOT 4
BOOK 27360, PAGE 100

N/F ROBERT L. SMITH
MAP U-21, LOT 53
BOOK 17668, PAGE 329

N/F COLLETTE BOUCHER
MAP U-21, LOT 54
BOOK 2803, PAGE 32

N/F DIANE JENQUINE
MAP U-21, LOT 55
BOOK 15526, PAGE 216

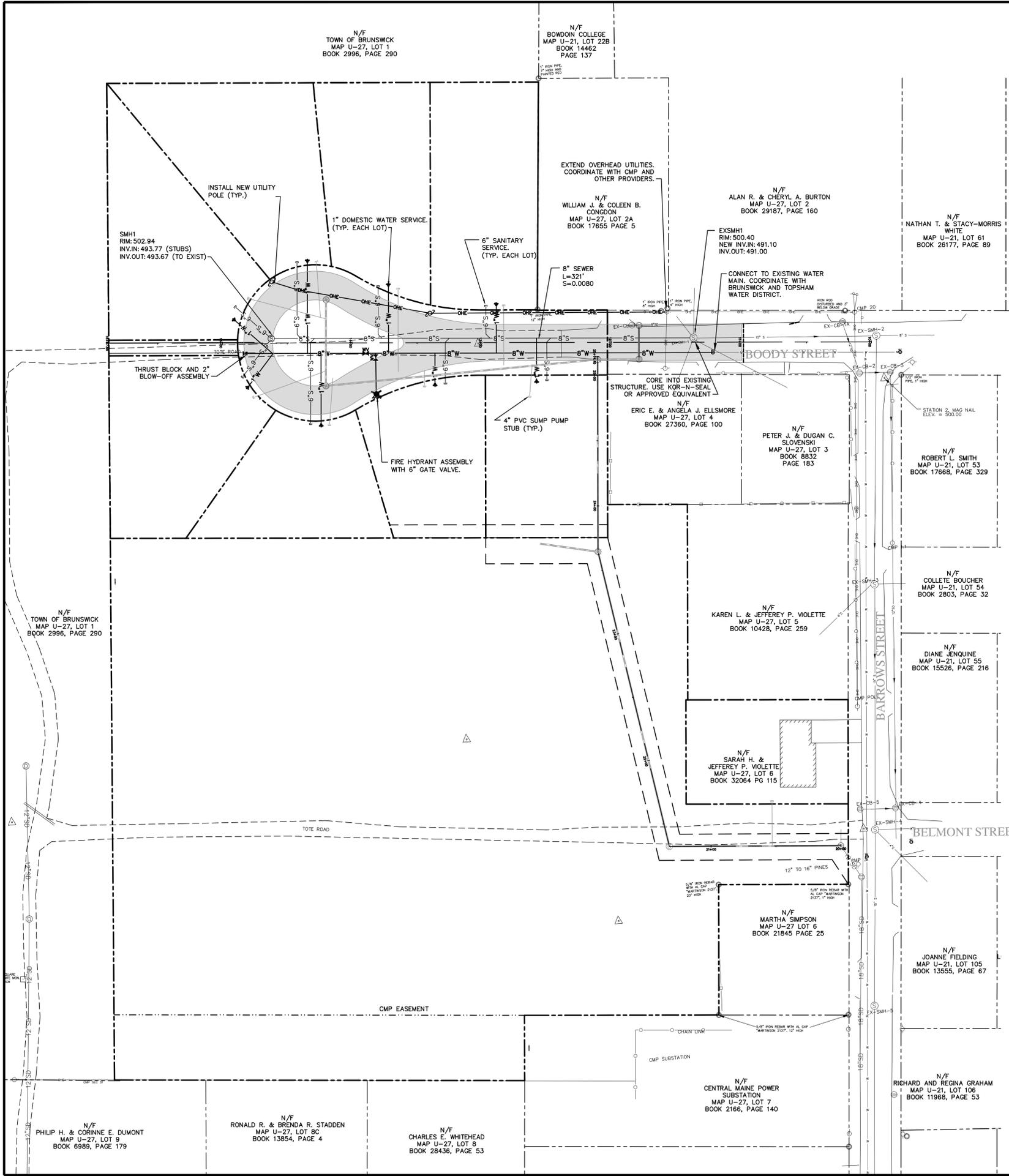
N/F WILLIAM J. & COLEEN B. CONGDON
MAP U-27, LOT 2A
BOOK 17655 PAGE 5

N/F ALAN R. & CHERYL A. BURTON
MAP U-27, LOT 2
BOOK 29767, PAGE 160

N/F NATHAN T. & STACY-MORRIS WHITE
MAP U-21, LOT 61
BOOK 26177, PAGE 89

N/F TOWN OF BRUNSWICK
MAP U-27, LOT 1
BOOK 2996, PAGE 290

N/F BOWDOIN COLLEGE
MAP U-21, LOT 22B
BOOK 14462
PAGE 137



DEWATERING NOTES
 THE FOLLOWING GENERAL PRACTICES WILL BE USED DURING CONSTRUCTION DEWATERING FOR THIS PROJECT:

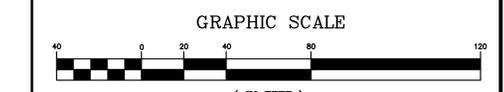
- CONSTRUCTION DEWATERING SHALL BE PERFORMED CONSISTENT WITH THE PROVISIONS OF THIS EROSION AND SEDIMENTATION CONTROL PLAN.
- GENERAL: FOR ALL EXCAVATION, THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT AND LABOR TO REMOVE WATER, AND KEEP THE EXCAVATION DEWATERED SO THAT CONSTRUCTION CAN BE PERFORMED IN A DRY CONDITION AS REQUIRED BY THE DRAWINGS. WATER CONTROL SHALL BE ACCOMPLISHED SUCH THAT NO ADDITIONAL DISTURBANCE IS DONE TO ADJACENT AREAS, CHANNELS, STORM DRAIN PIPE OR STRUCTURES, AND OTHER FEATURES. THE CONTRACTOR IS RESPONSIBLE FOR PLANNING FOR DEWATERING EFFORTS BY INVESTIGATING SITE CONDITIONS THAT MAY AFFECT THE WORK INCLUDING SURFACE WATER, LEVEL OF GROUNDWATER AND THE TIME OF YEAR THE WORK IS TO BE DONE.
- GROUNDWATER CONTROL: THE CONTRACTOR SHALL USE NECESSARY MEASURES TO MAINTAIN THE LEVEL OF GROUNDWATER BELOW EXCAVATION SUBGRADE AND MAINTAIN SUFFICIENT BEARING CAPACITY FOR ALL STRUCTURES, PIPELINES, EARTHWORK, AND ROCK WORK. SUCH MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, INSTALLATION OF PERIMETER SUBDRAINS, PUMPING FROM DRILLED HOLES (WELL POINT) OR BY PUMPING FROM TEMPORARY SUMPS EXCAVATED BELOW THE SUBGRADE ELEVATION.
- DEWATERING COLLECTION: THE CONTRACTOR SHALL ACCOMMODATE DEWATERING BY LOCATING DISCHARGE LOCATIONS DOWNSLOPE AND/OR PHYSICALLY REMOVED FROM THE EXCAVATION AREA. DISCHARGE THAT IS CLEAR AND FREE OF SEDIMENT OR FINES MAY BE DISCHARGED TO THE MUNICIPAL STORM DRAIN SYSTEM WITH APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. OTHERWISE, DEWATERING SHALL DISCHARGE INTO TEMPORARY COLLECTION SUMPS FOR STILLING AND COARSE SEDIMENT REMOVAL. TEMPORARY COLLECTION SUMPS MAY INCLUDE THE FOLLOWING:
 - EXCAVATED SUMPS
 - TEMPORARY PONDING AREAS
 - PORTABLE BLADDER (E.G. DIRTBAG) AND TANKS
- DEWATERING DISCHARGES: THE DISCHARGE OF CONCENTRATED FLOWS FROM SUMPS SHALL BE THROUGH GRAVITY FLOW AND DIRECTED THROUGH EROSION CONTROL FEATURES TO COLLECT FINE SEDIMENTS AND DISPERSE FLOW. THE CONTRACTOR SHALL AVOID IMPACTS TO SURFACE OR SUBSURFACE DRAINAGE PATTERNS OF ADJACENT AREAS. ALL EXCAVATIONS MADE AS PART OF DEWATERING OPERATIONS SHALL BE BACKFILLED. ANY DAMAGE TO ADJACENT PROPERTY RESULTING FROM THE CONTRACTOR'S ALTERATION OF SURFACE OR SUBSURFACE DRAINAGE PATTERNS SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE. CONTRACTOR SHALL REMOVE ALL TEMPORARY WATER CONTROL FACILITIES WHEN THEY ARE NO LONGER NEEDED OR AT THE COMPLETION OF THE PROJECT.
- DIRECT DISCHARGE FROM DEWATERING SUMPS PAST THE LIMITS OF THE PROJECT SITE IN CONCENTRATED FLOW IS NOT PERMITTED.
- CONTRACTOR SHALL CONTROL DUST BY REGULAR SWEEPING AND WATERING OF EXPOSED AREAS. STOCKPILES WILL BE STABILIZED PER THE EROSION CONTROL PLANS ON SHEET C8.
- THE SUMP FOR THE COLLECTION OF GROUNDWATER SHOULD BE LINED WITH CRUSHED STONE TO REDUCE SEDIMENT FROM GETTING RE-SUSPENDED BY THE EXISTING SOIL BOTTOM OR CHURNED UP BY PUMPING OR BACKFLOWS.
- PRIOR TO ANY PUMPING THAT THE TOWN ENGINEER REVIEW AND INSPECT THE PROGRAM PRIOR TO ACTIVATION TO ASSURE TOWN INFRASTRUCTURE IS WELL PROTECTED FROM IMPACTS.



LOCATION MAP
NOT TO SCALE

- UTILITY NOTES:**
- ALL TERMINATIONS AND CONNECTIONS OF SERVICES SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE APPLICABLE UTILITY DISTRICT. ALL BACKFILLING AND COMPACTION OF WATER AND SEWER LINE TRENCHES SHALL BE AS APPROVED BY THE BRUNSWICK AND TOPSHAM WATER DISTRICT AND BRUNSWICK SEWER DISTRICT, RESPECTIVELY.
 - THE CONTRACTOR SHALL CONTACT DIGSAFE (888-344-7233) PRIOR TO COMMENCING EXCAVATION.
 - THE BASIS FOR PROJECT LAYOUT AND FOR CONSTRUCTION ELEVATIONS IS THE BASELINE AND BENCHMARK EXISTING ON THE SITE AND SHOWN ON THE DRAWINGS.
 - THE CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL CONTROL BEFORE BEGINNING WORK.
 - SEE PLUMBING AND ELECTRICAL PLANS FOR LOCATION AND INVERTS OF SLEEVES IN FOUNDATIONS.
 - ELECTRIC SERVICE SHALL BE INSTALLED IN CONDUIT UNDER PAVEMENT AND CONCRETE.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL SEWER, WATER, ELECTRICAL, AND SANITARY CONDUIT, MANHOLES, TRANSFORMERS, AND FITTINGS FOR APPROVAL.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - DUCTILE IRON PIPE SHALL MEET THE REQUIREMENTS OF AWWA C150 AND C151, CLASS 52, AND HAVE PUSH ON OR FLANGED JOINTS AS REQUIRED. FITTINGS SHALL HAVE MECHANICAL JOINTS WITH RETAINER GLANDS.
 - SANITARY SEWER PIPE AND FITTINGS SHALL BE SDR-35 PVC.
 - INSTALL 2" RIGID STYROFOAM INSULATION OVER SANITARY SEWER IN AREAS WHERE THERE IS LESS THAN 4' OF COVER.
 - CONNECTIONS AT MANHOLES/CATCH BASINS SHALL HAVE A FLEXIBLE BOOT CAST ONTO THE BARREL AND SECURED WITH STAINLESS STEEL BANDS.

- LAYOUT NOTES:**
- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
 - OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
 - PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
 - BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY. REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.
 - ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
 - ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
 - BUILDING FOUNDATION SHOWN IS NOT FOR FOUNDATION LAYOUT. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.



4.	04/20/15	REVISED PER REVIEW COMMENTS	JYM	CYN
3.	03/30/15	REVISED PER REVIEW COMMENTS	JYM	
2.	02/27/15	SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW	JYM	
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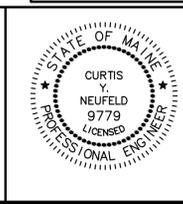
TITLE: **UTILITY PLAN**

PROJECT: **CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE**

PREPARED FOR: **COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE**

CONSTRUCTION NOTE:
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N/F PHILIP H. & CORINNE E. DUMONT
MAP U-27, LOT 9
BOOK 6989, PAGE 179

N/F RONALD R. & BRENDA R. STADDEN
MAP U-27, LOT 8C
BOOK 13854, PAGE 4

N/F CHARLES E. WHITEHEAD
MAP U-27, LOT 8
BOOK 28436, PAGE 53

N/F MARATHA SIMPSON
MAP U-27 LOT 6
BOOK 21845 PAGE 25

N/F JOANNE FIELDING
MAP U-21, LOT 105
BOOK 13555, PAGE 67

N/F RICHARD AND REGINA GRAHAM
MAP U-21, LOT 106
BOOK 11968, PAGE 53

N/F CENTRAL MAINE POWER SUBSTATION
MAP U-27, LOT 7
BOOK 2166, PAGE 140

N/F TOWN OF BRUNSWICK
MAP U-27, LOT 1
BOOK 2996, PAGE 290

N/F TOWN OF BRUNSWICK
MAP U-27, LOT 1
BOOK 2996, PAGE 290

N/F BOWDOIN COLLEGE
MAP U-21, LOT 22B
BOOK 14462
PAGE 137

EXTEND OVERHEAD UTILITIES.
COORDINATE WITH CMP AND
OTHER PROVIDERS.

N/F WILLIAM J. & COLEEN B. CONGDON
MAP U-27, LOT 2A
BOOK 17655 PAGE 5

N/F ALAN R. & CHERYL A. BURTON
MAP U-27, LOT 2
BOOK 29187, PAGE 160

N/F NATHAN T. & STACY-MORRIS WHITE
MAP U-21, LOT 61
BOOK 26177, PAGE 89

8" SEWER
L=521'
S=0.0080

EXSMH1
RIM:500.40
NEW INV.N:491.10
INV.OUT:491.00

CORE INTO EXISTING
STRUCTURE. USE KOR-N-SEAL
OR APPROVED EQUIVALENT

N/F ERIC E. & ANGELA J. ELLSMORE
MAP U-27, LOT 4
BOOK 27360, PAGE 100

N/F PETER J. & DUGAN C. SLOVENSKI
MAP U-27, LOT 3
BOOK 8832
PAGE 183

N/F ROBERT L. SMITH
MAP U-21, LOT 53
BOOK 17668, PAGE 329

N/F COLLETTE BOUCHER
MAP U-21, LOT 54
BOOK 2803, PAGE 32

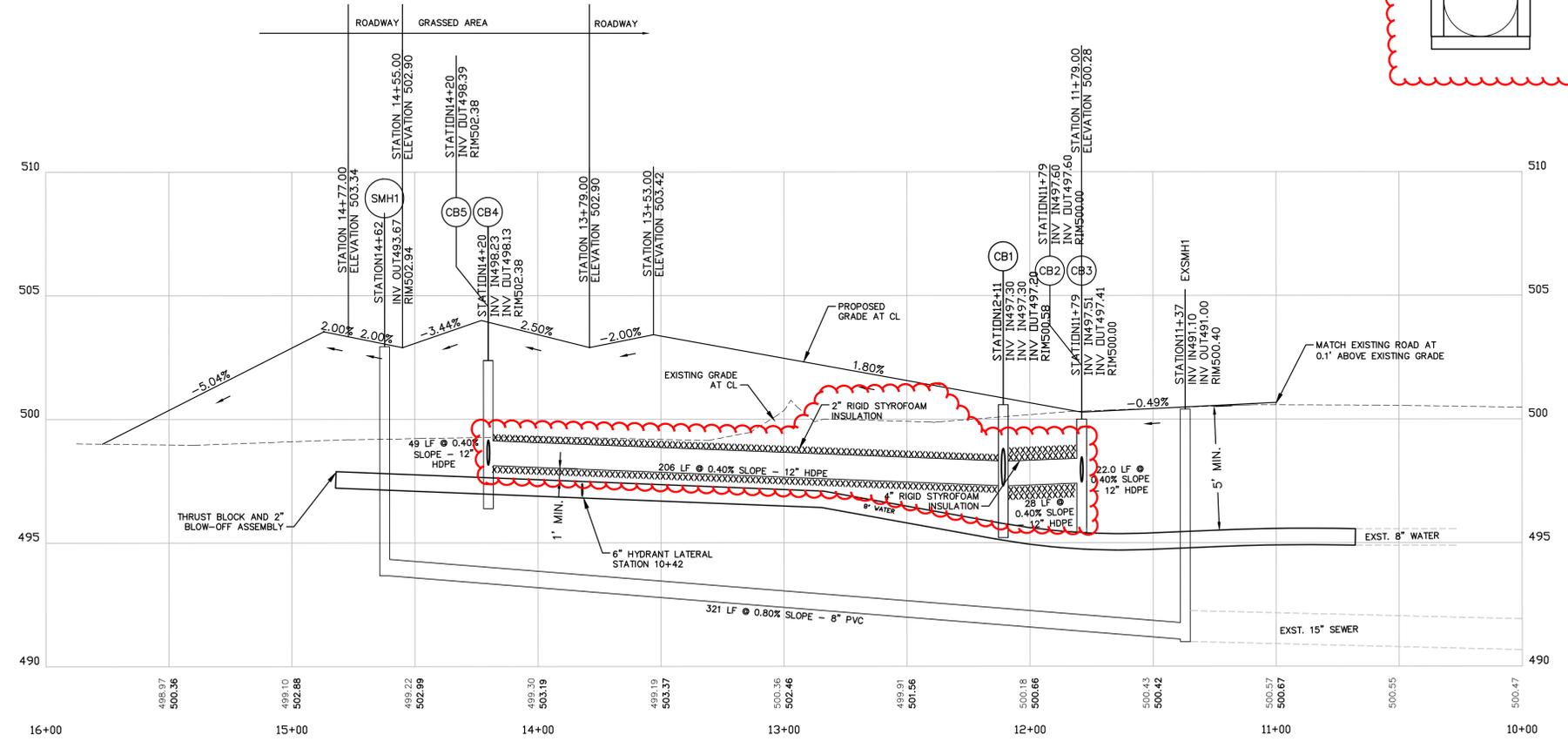
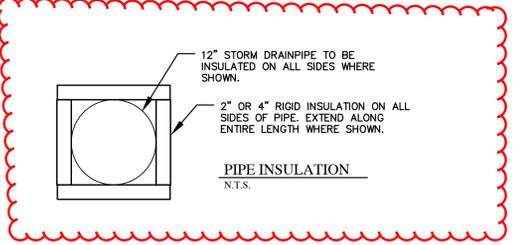
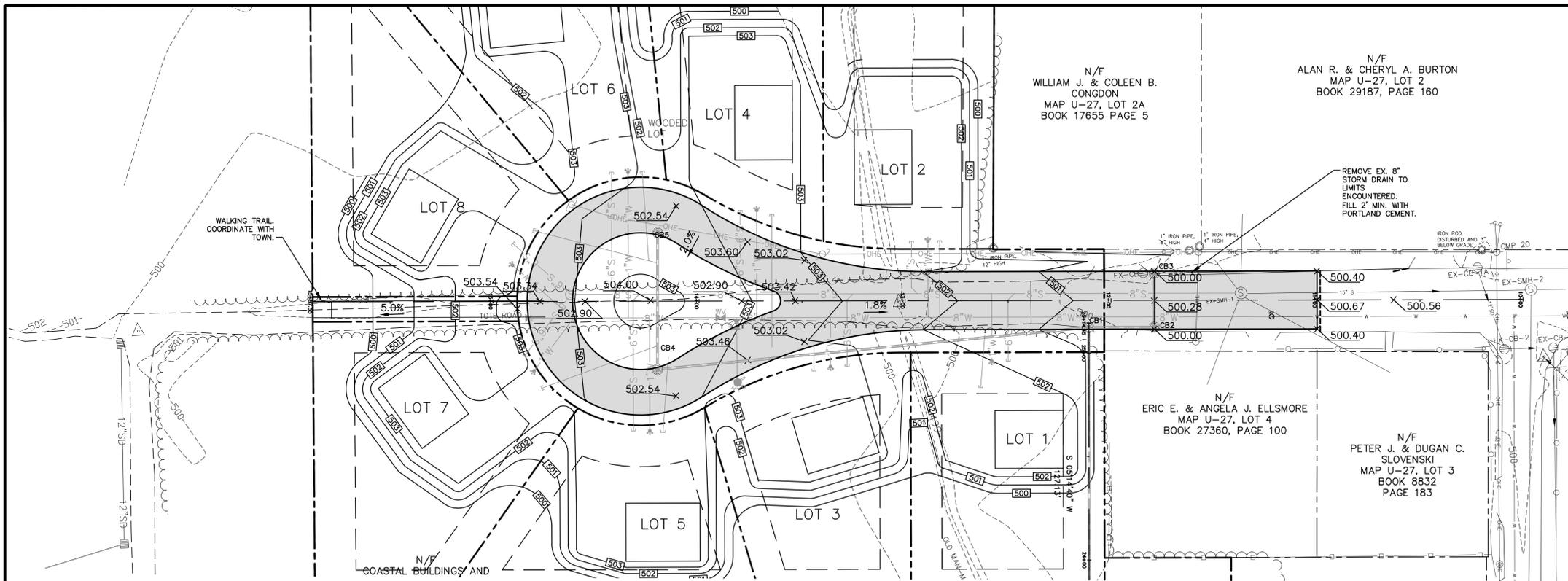
N/F KAREN L. & JEFFEREY P. VIOLETTE
MAP U-27, LOT 5
BOOK 10428, PAGE 259

N/F DIANE JENQUINE
MAP U-21, LOT 55
BOOK 15526, PAGE 216

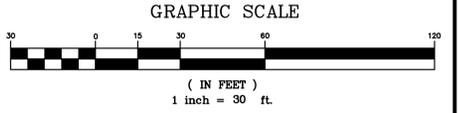
N/F SARAH H. & JEFFEREY P. VIOLETTE
MAP U-27, LOT 6
BOOK 32064 PG 115

N/F JOANNE FIELDING
MAP U-21, LOT 105
BOOK 13555, PAGE 67

N/F CENTRAL MAINE POWER
SUBSTATION
MAP U-27, LOT 7
BOOK 2166, PAGE 140



NOTE:
GROUNDWATER SHOULD BE ANTICIPATED BELOW ELEVATION 496. CONTRACTOR SHALL PROVIDE LABOR & EQUIPMENT TO DEWATER EXCAVATION TO 1' BELOW TRENCH.

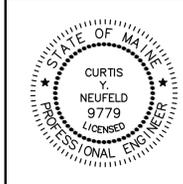


- 4. 04/20/15 REVISED PER REVIEW COMMENTS CYN
- 3. 03/30/15 REVISED PER REVIEW COMMENTS JJM
- 2. 02/27/15 SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW JJM
- 1. 01/20/15 SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN REVIEW JJM

TITLE: **PLAN & PROFILE**

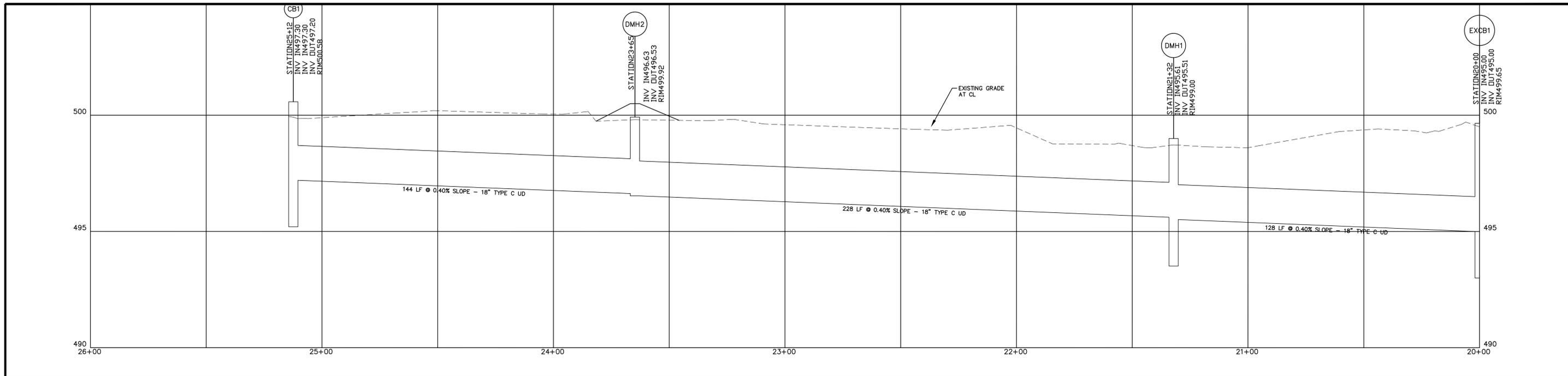
PROJECT: **CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE**

PREPARED FOR: **COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE**

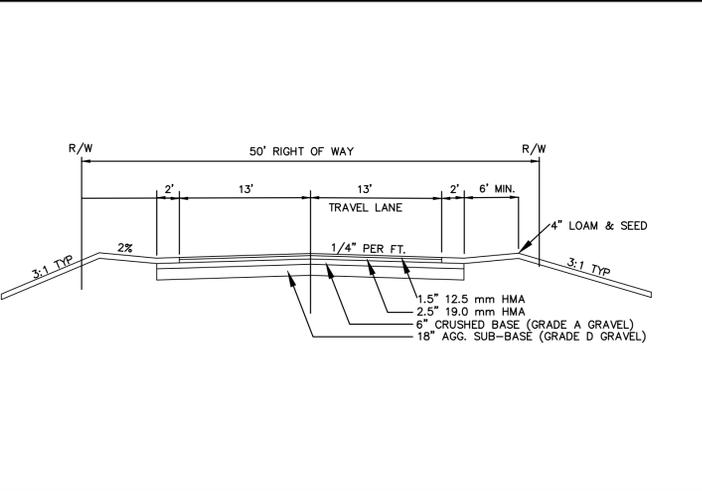


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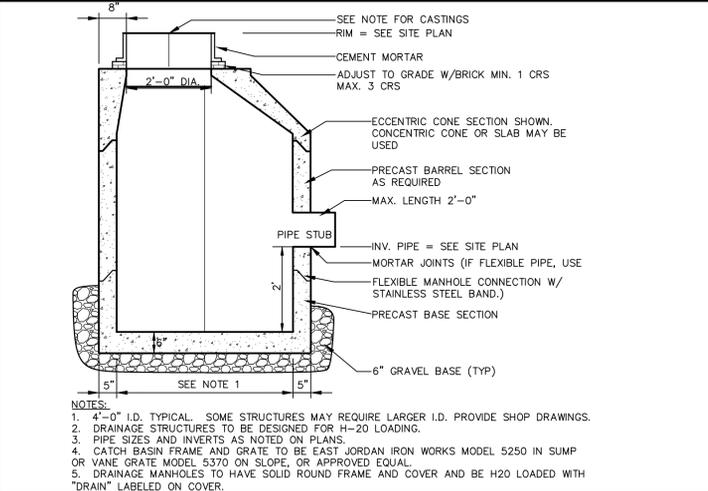
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DRN BY: RPL/JJM	JOB #: 1019.01	C6
CHD BY: CYN	MAP/LOT: U27/6	
DATE: 01/19/15	FILE: 1019.01-SITE	



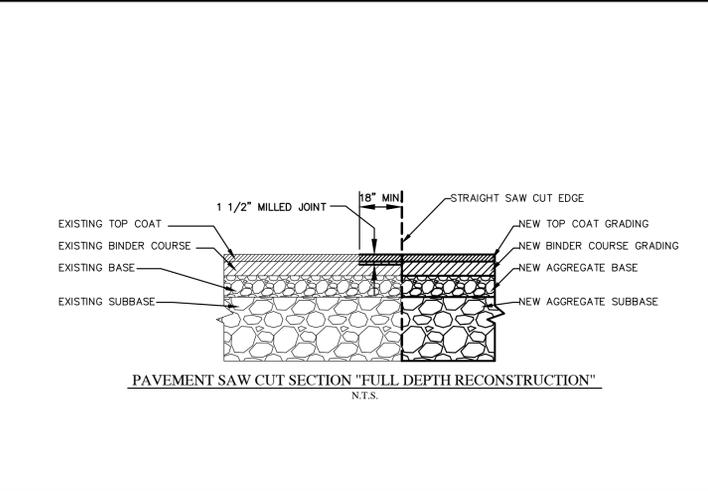
A CROSS-COUNTRY DRAINAGE PROFILE - 20+00 TO 25+14
N.T.S.



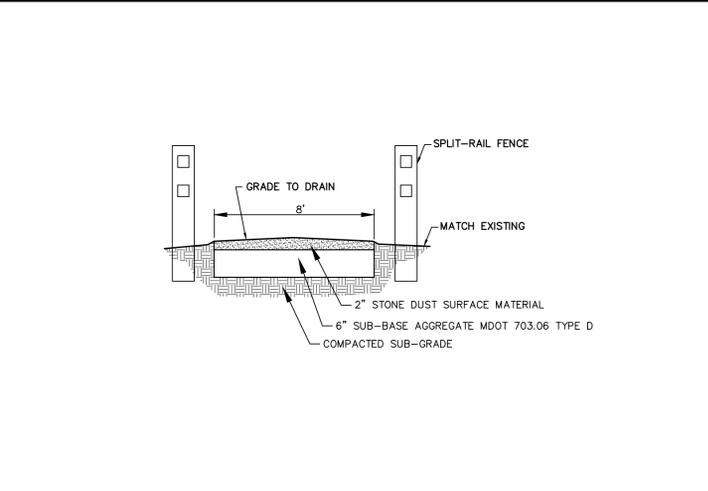
B DRAINAGE CATCH BASIN / MANHOLE
N.T.S.



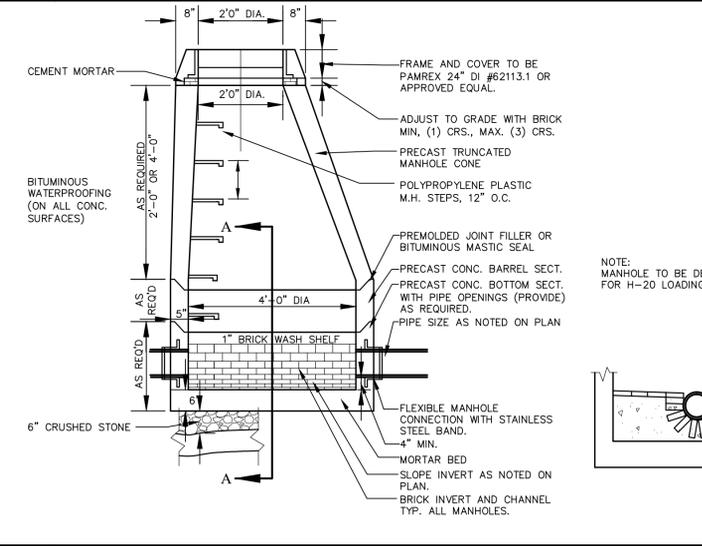
C PAVEMENT SAW CUT DETAILS
N.T.S.



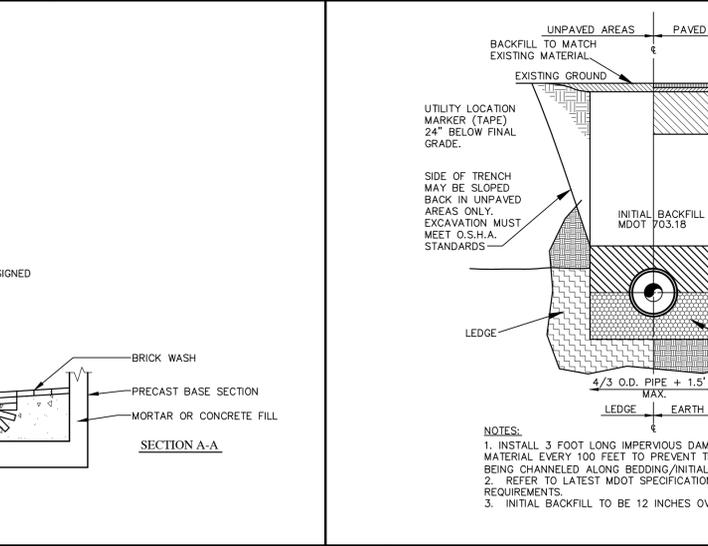
D WALKING TRAIL CROSS SECTION
N.T.S.



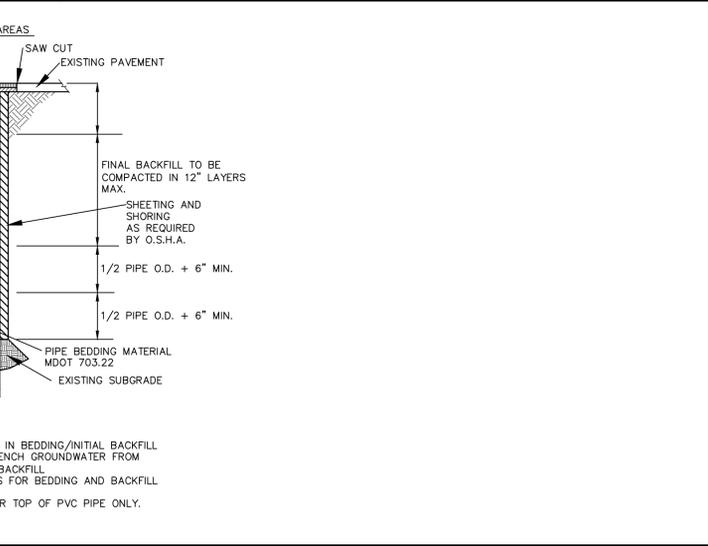
E TYPICAL ROAD SECTIONS
N.T.S.



F DRAINAGE CATCH BASIN / MANHOLE
N.T.S.



G TYPICAL PIPE TRENCH DETAIL
N.T.S.



H TYPICAL PIPE TRENCH DETAIL
N.T.S.

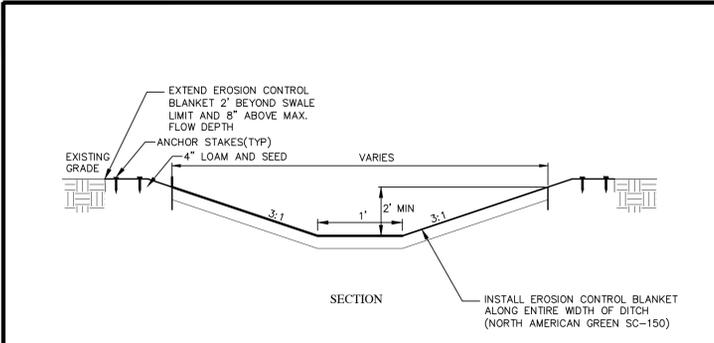
<p>4. 04/20/15 REVISED PER REVIEW COMMENTS CYN</p> <p>3. 03/30/15 REVISED PER REVIEW COMMENTS JJM</p> <p>2. 02/27/15 SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW JJM</p> <p>1. 01/20/15 SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN REVIEW JJM</p>	
<p>TITLE: SITE DEVELOPMENT DETAILS</p> <p>PROJECT: CHAMBERLAIN WOODS SUBDIVISION BOODY STREET, BRUNSWICK, MAINE</p> <p>PREPARED FOR: COASTAL BUILDING AND INVESTMENTS, INC. BRUNSWICK, MAINE</p>	
<p>SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com</p>	
<p>FIELD WK: BWM</p> <p>DRN BY: RPL/JJM</p> <p>CHD BY: CYN</p> <p>DATE: 01/19/15</p>	<p>SCALE: NTS</p> <p>JOB #: 1019.01</p> <p>MAP/LOT: U27/6</p> <p>FILE: 1019.01-DETAILS</p>
<p>SHEET: C7</p>	

I SANITARY SEWER MANHOLE
N.T.S.

J TYPICAL PIPE TRENCH DETAIL
N.T.S.

K TYPICAL PIPE TRENCH DETAIL
N.T.S.

L TYPICAL PIPE TRENCH DETAIL
N.T.S.



A CHANNEL STABILIZATION
N.T.S.

PLAN

NOTES:

1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
2. SILT/COMPOST/SILT/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
3. SILT/COMPOST/SILT/ROCK/SEED FILL IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER
4. COMPOST MATERIAL TO BE DISPersed ON SITE, AS DETERMINED BY ENGINEER.
5. SILT FENCE MAY BE USED AS AN ALTERNATE "SEDIMENT BARRIER OPTION"

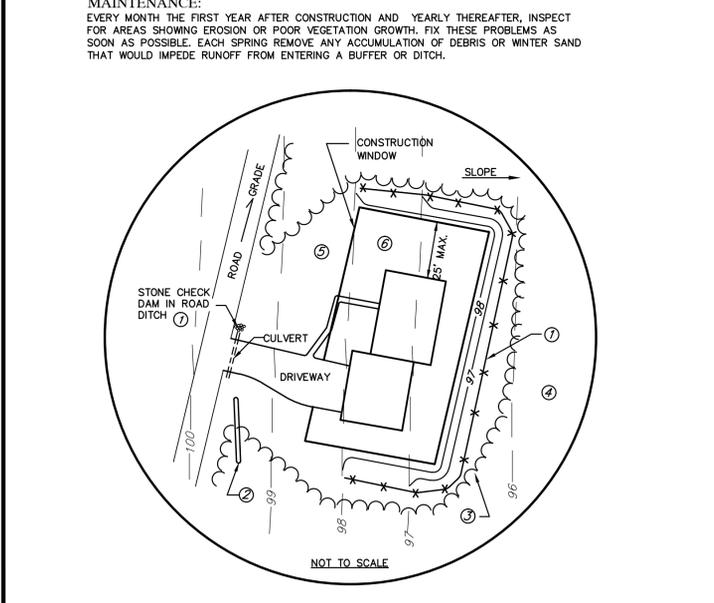
B FILTREXX SILT/COMPOST/SILT/ROCK/SEED FILL "SEDIMENT BARRIER OPTION"
N.T.S.

INSTALLATION:

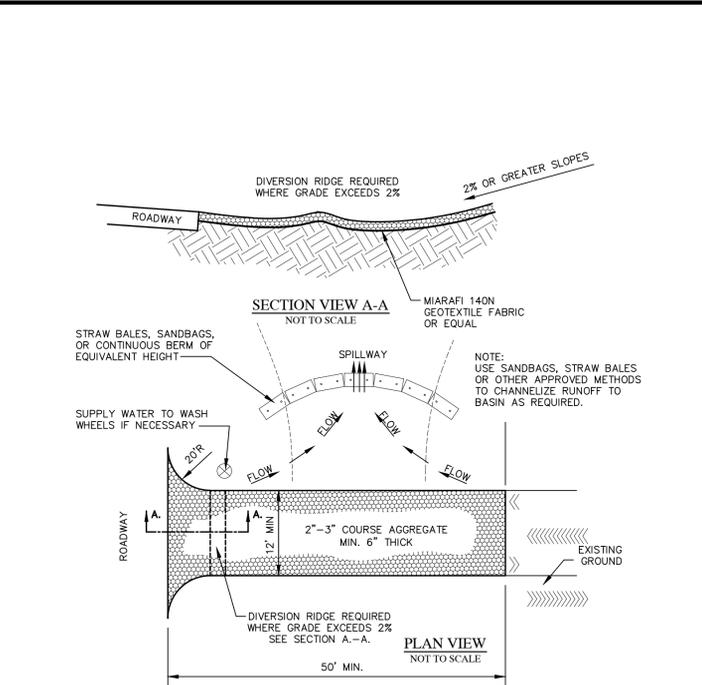
1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
2. CONSTRUCT A DIVERSION DITCH TO KEEP UPSLOPE RUNOFF OUT OF WORK AREA.
3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.

MAINTENANCE:

EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.



D HOUSE SITE - BEST MANAGEMENT PRACTICES
N.T.S.



C STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

NOTE:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.

C STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:

EROSION/SEDIMENTATION CONTROL DEVICES:

THE FOLLOWING EROSION/SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

1. SEDIMENT BARRIER: SILT SOCKS OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
5. STRAW AND HAY MULCH: USED TO COVER DENuded AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:

PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

1. SEDIMENT BARRIER ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
 - C. STABILIZE STOCKPILES WITHIN 7 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
 - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
4. ALL DENuded AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOIL WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENuded AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PERMANENT EROSION CONTROL MEASURES:

THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP. (NONE ANTICIPATED)

POST-CONSTRUCTION REVEGETATION:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFTTUFF", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW: (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQFT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 1/2 OZ. PER 1,000 SQFT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUILEGIA CANADENSIS COLUMBINE, ASCLEPIAS TUBEROSE, BUTTERFLY MILKWEED, ASTER NOVAE-ANGLIAE NEW-ENGLAND ASTER, BAPTISIA AUSTRALIS WILD INDIGO, BOLTONIA ASTEROIDES FALSE ASTER, CHRYSANTHEMUM LEUCANTHEMUM OXEYE DAISY, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER OFFICINALE ORIENTAL POPY, RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQFT. OR 4 OZ. PER 1,000 SQFT. IN COMBINATION

WET POND MIX:

- TRANSITION ZONE (WHICH IS 4 FEET ABOVE AND BELOW PERMANENT POOL ELEVATION) SHALL BE NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA, (413) 548-8000. APPLY PER RECOMMENDED RATES.
- BANKING (FROM TRANSITION ZONE TO TOP OF BANK) SHALL BE NEW ENGLAND CONSERVATION/WILDLIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA, (413) 548-8000. APPLY PER RECOMMENDED RATES.

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
 - I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 - III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
- B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.

- 4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
- A. ONLY UNFROZEN LOAM SHALL BE USED.
- B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
- C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
- D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.8 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
- E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
- F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
- 5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

CONSTRUCTION PHASE:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 7 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
 - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - B. SEEDDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 - C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE EITHER:
 - A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
 - B. SEEDDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

THE FOLLOWING CONSTRUCTION SEQUENCE IS MANDATORY:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND MAINTAIN UNTIL SITE IS PAVED.
2. ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION WILL BE DISTURBED.
3. PRIOR TO THE START OF CONSTRUCTION, SEDIMENT BARRIER WILL BE INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING; AND/OR JUST ABOVE ANY ADJACENT TRAVELLED WAY TO PROTECT IT FROM CONSTRUCTION-RELATED EROSION.
4. CLEAR AND GRUB WORK SITE AS NEEDED TO EXECUTE PLANS USING CAUTION NOT TO OVER EXPOSE THE SITE.
5. STORMWATER MANAGEMENT SYSTEM AND CATCH BASINS WILL BE INSTALLED PRIOR TO CONSTRUCTION OF SITE ELEMENTS THAT DISCHARGE TO THESE SYSTEMS. CATCH BASIN INLET PROTECTION SHALL BE INSTALLED IN ALL NEW AND EXISTING CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT. NO STORMWATER SHOULD BE DIRECTED TO THE SUBSURFACE SAND FILTER SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
6. DISTURBED AREAS WILL BE PERMANENTLY STABILIZED WITHIN 7 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 7 DAYS OF THE INITIAL DISTURBANCES OF SOILS. DISTURBED AREAS WILL BE STABILIZED BEFORE STORMS. LOAM WILL BE SAVED FOR LATER USE WHERE POSSIBLE. EXCESS SOIL MATERIALS WILL BE USED AS FILL OR REMOVED FROM SITE TO AN APPROVED LOCATION.
7. AT A MINIMUM, THE EROSION CONTROL MEASURES SHALL BE REVIEWED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6 INCHES AND BE DISCARDED ON THE SITE. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS.
8. INSTALL UTILITIES AND APPURTENANCES.
9. CONSTRUCT PARKING AREAS.
10. INSTALL PAVEMENT.
13. LOAM, LIME, FERTILIZE, SEED, AND MULCH LANDSCAPED AND OTHER DISTURBED AREAS.
14. ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
15. TOUCH UP LOAM AND SEED.

NOTE: ALL DENuded AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP OR GRAVEL SHALL BE REVEGETATED.

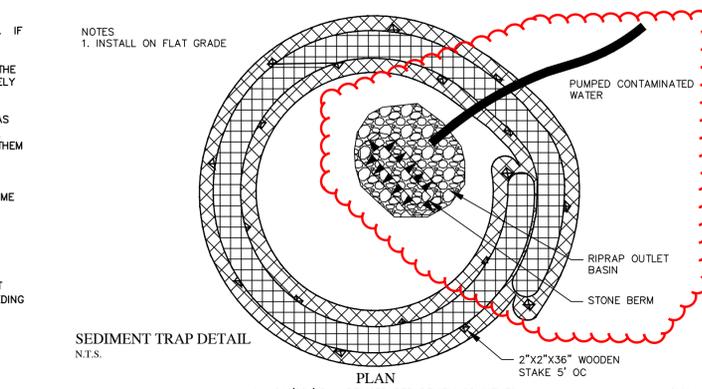
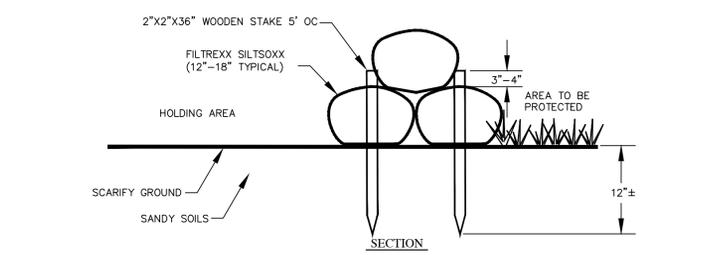
EROSION CONTROL DURING WINTER CONSTRUCTION:

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH STRAW-COCONUT EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL).
8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE:

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.



NOTES

1. INSTALL ON FLAT GRADE

DATE	REVISED PER REVIEW COMMENTS	CYN
04/20/15	REVISED PER REVIEW COMMENTS	CYN
03/30/15	REVISED PER REVIEW COMMENTS	JJM
02/27/15	SUBMITTED TO TOWN OF BRUNSWICK FOR FINAL PLAN REVIEW	JJM
01/20/15	SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN REVIEW	JJM

EROSION CONTROL DETAILS AND NOTES

PROJECT: CHAMBERLAIN WOODS SUBDIVISION
BOODY STREET, BRUNSWICK, MAINE

PREPARED FOR: COASTAL BUILDING AND INVESTMENTS, INC.
BRUNSWICK, MAINE

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: BWM	SCALE: N/A	SHEET:
DRN BY: RPL/JJM	JOB #: 1019.01	C8
CHD BY: CYN	MAP/LOT: U27/6	
DATE: 01/19/15	FILE: 1019.01-DETAILS	

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
APRIL 28, 2015**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jeremy Evans, Dale King and Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jeremy Doxsee

A meeting of the Brunswick Planning Board was held on Tuesday, April 28, 2015 in Meeting Room 206, 2nd Floor, 85 Union Street. Chair Carlie Frizzle called the meeting to order at 7:00 P.M.

1. Case # 15-015 Meadow Rose Farm Subdivision: The Board will review and take action regarding a Sketch Plan Major Review application, submitted by Two Clarks, LLC, for a proposed 11-lot residential subdivision and 1,500 linear foot private lane off of Church Road; located on a 71.4 acre lot in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection (CP2) Zoning District. Assessor's Map 17, Lot 126.

Jeremy Doxsee introduced the Sketch Plan Major Review application for Meadow Rose Farm Road Subdivision. Jeremy said that this application was before the Staff Review Committee on April 15th; meeting notes included in packet. Jeremy reviewed the sketch plan requirements and stated that this proposal is for an 11 lot subdivision on a 1,500 gravel road that is proposed to remain private. This proposal includes 71 acres of land with roughly 60 developable acres and is located in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection (CP2) Zoning District and also included within a Wildlife Habitat Block. Jeremy pointed out that the zone would allow for a higher density than proposed, but noted that the applicant has decided to develop 11 larger lots with some Open Space.

Kevin Clark, of Sitalines PA, reviewed the proposed layout and stated that the applicant has conducted a boundary survey and wetlands delineation as conducted by Tim Forrester of Eco-Analysts. In net calculations for the area, total acreage was 71.4 and after removing wetlands and right-of-ways, they end out with 60.28 acres which was then used to calculate density. Kevin said that they are encumbered by wildlife habitat and they have tried to trace that boundary as best they can on the plan. Kevin said that the applicant proposes to develop 11 lots and reiterated Jeremy Doxsee's comment that the density will allow up to 17 lots in the design, but that the applicant has chosen to move forward with a rural type subdivision with a private gravel road and larger lots. Kevin added that they have included a future connection to the adjacent property in case it is ever needed. Kevin reviewed the open space areas which have been computed to be approximately 37.7 acres to be preserved. Kevin stated that the applicant proposes to have private wells and subsurface wastewater disposal systems. In response to the Staff Review comments, Kevin replied that in one location they need to cross under the CMP easement lines and will need a minimum clearance between the road and the wires once they have a final road design approval. Kevin said that they are proposing a small corner lot that is going to be conveyed to the abutter and Jeff Hutchinson indicated that this may need to be a

numbered lot on the final plan; Charlie Frizzle replied that this is not the case if the land is transferred prior to the final plan submittal. Kevin said that one suggestion was to have one common septic systems, but that they are not prepared to do this due to the size of the lots and pointed out that they would need more lines throughout the roadway in order to gather the lots to drain to a common system. Kevin said that one thought was to revise the road line and place the system under the CMP lines, but this is not something CMP would consider possible. Kevin said that another question was who would hold the conservation easement, and this is still open to discussion. With respect to vernal pools, due to the late spring, Kevin said that Tim Forrester will be back to check on these wetlands this week. Jeremy Doxsee asked that they show the impact areas of the wildlife habitat on the plan and Kevin replied that they will show the border. Kevin said that the Fire Department is looking for some type of hydrant extension into the development and the applicant is still researching this.

Richard Visser asked for the applicant to clarify the roads on the final plan. Margaret Wilson pointed out that there is no indication of the hash marks in the legend; this will be corrected for the final plan. Margaret asked when Eco Analysts conducted the survey and Kevin Clark replied that Tim Forrester conducted the survey in late fall 2014 and that they will provide a copy of the report in the final application. Kevin Clark added that because of the late spring Tim Forrester has not been able to go back to the property to take a look and verify whether or not the three potential pools are in fact vernal pools, but that they have determined that without a question that the ones furthest into the property are absolutely not. Paul said that the pool touching Friendship Lane was found to have a limited number of egg masses and that Tim Forrester will be going back to make a determination this coming week. Margaret Wilson said that it would be helpful if the applicant would show the building envelopes on the final plan.

Charlie Frizzle opened the meeting to public comment.

Holly Greene, resident of 202 Church Road, maintained that there is a vernal pool on lot shaped like a lightning bolt (lot 4) and that she is worried about the wildlife. Holly said that the area is very wet and is concerned about water impacts. Holly said that she conducted her own research and asked how they determine vernal pools. Holly noted that she did see some egg clusters on her inspection and believes that it is significant. Paul Clark clarified that Tim Forrester did go out for a preliminary look last fall based on research that the town had conducted in the past, but that he went back yesterday and could not make a determination given the late spring and that he would be going back again in about another week.

Thomas Carney, resident of 84 Greenwood Road, provided handouts to the Board and pointed out that the little fingers shown on the handout that go out all drain into the pond and is the drainage for a third of this lot. Tom said that if this pond is disturbed, they are in trouble. Tom stated that he would like to make sure that septic systems are maintained because if they overflow, this could compromise his residence. Tom would like to know the ability of the area to drain as the area is always wet with loamy sand. Margaret Wilson clarified that the yellow area on the handout is the pond and asked that the applicant show the area on the final plan.

Catherine Leonard, abutter, noticed that there is a right of way planned for future development and asked where it was. Kevin Clark replied that the road connection would go up to the Gleason

property, not the street and that it was in case they needed fire protection or possible future development on the Gleason property. Catherine wonders why they have it, Charlie Frizzle replied that it is helpful, when dealing with dead-end developments, to provide connections to adjacent properties so that they can be connected if development occurs.

Dennis Levandoski, resident of 92 Greenwood Road, said that the pond is quite shallow and given the fact that it is not very deep, makes it more susceptible to disturbance. Dennis would like to see caution as the development moves forward. Dennis asked about the easement and if it served this property. Kevin Clark replied that it is a 15 foot strip that was left out with two properties were sold on Greenwood Road that is not wide enough to construct a road on or serve a purpose. The applicant will either keep it as a path or convey it to the abutter.

Lee Townley, resident of 98 Greenwood Road, said that her basic concerns are the high water table for the area and noted that the land is very wet. Lee said that she has a dug well and the water level is 4 ½ feet below the ground not, but that last week above ground level; very concerned about the impact of any development where it is so fragile and does not need any more flooding. Lee's other concern is that lot 7 has a lot of wetlands and pointed out that lot 1 that is very small; when you put your setback in place, lot 1 will make a very odd shaped house with septic.

Robert Burgess, resident of 64 Friendship Street, asked if the developer is proposing any type of covenant in this development as to size and design. Charlie Frizzle reviewed the requirements of sketch plan approval. Anna Breinich added that they do not get involved in a covenant other than having the association in place if that is the way the developer wants to have it setup after. Robert reiterated the wetlands comments and said that they have had damage from some culverts that had gotten washed out and is concerned about the redirection of the water from the lands that are disturbed.

Paul Clark replied that they plan on having a covenant in place to maintain neighborhood character. Paul said that with density bonuses they could have created up to 22 lots, but they wanted to do something different with design review to protect values and this allows them to accommodate a variety of different buyer types. Paul said that the soil indicates that there are some areas that drain into the pond and that there are some wetlands, but that he is also concerned about the environment and the 11 lots seemed not only economical, but at the same time would minimize impact on the land.

Charlie Frizzle closed the meeting to the public hearing.

Richard Visser said that it seems like lot 1 is very small compared to the rest and suggested that it may be worth reconsidering this property or perhaps wiping it out. Paul Clark replied that one of the reasons why this lot is so tight is because they want to cross wetland at the narrowest point and the other narrowest point is under the power lines. Margaret Wilson and Charlie Frizzle both agreed that they had no problems with the size of this lot.

MOTION BY DALE KING TO DEEM THE SKETCH PLAN MAJOR REVIEW APPLICATION COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

Jeremy Doxsee reviewed the condition on the sketch plan.

MOTION BY JEREMY EVANS TO APPROVE THE SKETCH PLAN MAJOR REVIEW APPLICATION WITH THE FOLLOWING CONDITION:

1. The 0.5 acre lot that abuts lot #4 is a legal lot and shall be numbered on the final subdivision plan.

MOTION SECONDED BY MARGARET WILSON, APPROVED UNANIMOUSLY.

2. Case # 15-002 Chamberlain Woods Final Subdivision: The Board will review and take action regarding a Final Plan Major Review application (tabled from 4/14/15), submitted by Coastal Buildings and Investments, Inc., for the development of an 9-lot residential subdivision, a 225 foot private drive, and associated site improvements, on a 7.22+ acre parcel with frontage on Barrows Street and the end of Boody Street. The proposed subdivision is located in the Town Residential 5 – Columbia Avenue – Spring Street (TR5) Zoning District. Assessor’s Map U27, Lot 6.

This application review was pulled by the applicant and rescheduled for the May 5, 2015 Planning Board Meeting.

3. Zoning Ordinance Rewrite Committee (ZORC) Update

Anna Breinich said that staff has begun to feed the consultant revisions and that Clarion has already begun the editing process. Anna said that ZORC will be scheduling 3-4 meetings in May and plan to have the mapping and Draft 2 hopefully completed by late June.

4. Approval of Minutes

MOTION BY DALE KING TO APPROVE THE MINUTES OF FEBRUARY 10, 2015 AS AMENDED. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

MOTION BY RICHARD VISSER TO APPROVE THE MINUTES OF MARCH 3, 2015 AS AMENDED. MOTION SECONDED BY DALE KING, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

MOTION BY CHARLIE FRIZZLE TO APPROVE THE MINUTES OF MARCH 10, 2015. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

5. Other Business

No other business.

6. Adjourn

This meeting was adjourned at 7:50 P.M.