



TOWN OF BRUNSWICK

PLANNING BOARD

85 UNION STREET
BRUNSWICK, ME 04011

**PLANNING BOARD
-REVISED AGENDA-
BRUNSWICK TOWN HALL
85 UNION STREET
COUNCIL CHAMBERS**

TUESDAY, OCTOBER 13, 2015, 7:00 P.M.

1. **Case # 15-045, Meadow Rose Farm Subdivision:** The Board will review and take action regarding an **Amendment to the Approved Final Plan**, submitted by Two Clarks, LLC, for the creation of an additional two lots and revision to the conditions of approval. The subdivision is accessed from Church Road, located on a 71.4 acre lot in the **Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District. Assessor's Map 17, Lot 126.**
2. ~~**Case # 15-027, Spruce Meadow Subdivision:** The Board will review and take action regarding a **Final Plan Major Development Review** Subdivision Application submitted by William Moore, for a proposed 33 lot open space residential subdivision. **(Original Assessor's Map 13, Lot 34, 66-78) in the Mixed Use 5 (MU5) Zoning District.** *Removed from agenda on 9/30/15; to be rescheduled.*~~
3. **Case # 15-040 Bangor Savings Bank:** The Board will review and take action regarding a combined **Major Development Review** application submitted by CJ Properties, Inc. for the construction of a new 3,700 square foot Bangor Savings Bank facility, including two drive-up windows, pocket park and parking lot. The project is located on a 19,641 square foot parcel at the NE corner of Maine and Mason Streets, in the **Town Center 1 (TC1) Zoning District and Village Review Overlay Zone.** (Assessor's Map U14, Lots 163 and 165. *Added to agenda on 10/2/15.*)
3. **Report on Staff Review Committee Minor Development Plan Approvals**
4. **Zoning Ordinance Rewrite Committee (ZORC) Update**
5. **Approval of Minutes**
6. **Other Business**
7. **Adjourn**

This agenda is mailed to owners of property within 200 feet of the above referenced development proposals as well as others upon request. It is the practice of the Planning Board to allow public comment on development review applications and all are invited to attend and participate.

Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.

DRAFT FINDINGS OF FACT
Major Development Review
Final Subdivision Plan
Planning Board Meeting Date: October 13, 2015

Project Name: Meadow Rose Farm Subdivision
Case Number: 15-047
Tax Map: Map 17, Lot 126
Applicant: Two Clarks, LLC c/o Paul Clark
240 Main Street
Brunswick, Maine 04011

Authorized Representative: Kevin Clark, PLS
Sitelines, PA
8 Cumberland Street
Brunswick, Maine 04011

Staff reviewed the application and has determined it is complete.

PROJECT SUMMARY

Staff review is based on the Major Development Plan Amendment Application for the Meadow Rose Farm Subdivision prepared by Sitelines, P.A., dated September 22, 2015 and revised on October 8, 2015. Additionally, a letter from the Brunswick-Topsham Land Trust (BTLT) dated September 22, 2015 regarding the proposed conservation land conveyance was received and reviewed by the Town of Brunswick Planning and Development Department during the review. The application includes a set of site plans prepared by Sitelines P.A. and listed below:

- Sheet C1 entitled “Cover” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C2 entitled “Overall Subdivision Plan Amendment 1” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C3 entitled “Subdivision Plan – Amendment 1 Lot Boundary Details” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C4 entitled “Plan and Profile: Station 0+00 to 11+00” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C5 entitled “Plan and Profile: Station 11+00 to 22+00” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C6 entitled “Site Development Details” dated July 2015 with a most recent revision date of October 9, 2015
- Sheet C7 entitled “Erosion Control Details & Notes” dated July 2015 with a most recent revision date of October 9, 2015

The proposed Amendment is in response to the proposed creation of one (1) new residential lot from the land area comprising existing Lot 1 and Lot 2, so-called; the installation of a new sewer line to serve the first five (5) lots from the entrance of Church Road; and the revision of

condition #8 of the approved Meadow Rose Farm Subdivision (Case #15-015, approved on September 10, 2015).

The proposed additional lot and associated change in lot area results in Lot 1 containing 0.83 acres, Lot 2 containing 0.79 acres, Lot 3 containing 0.99 acres and newly created Lot 13 will remain unchanged from its former designation as Lot 3.

In a letter dated September 11, 2015 and subsequent email correspondence dated September 22, 2015, the Brunswick Sewer District (District) indicated that it has willingness and capacity to serve the proposed project. The District conditions for approving the required sewer entrance permit include ownership, maintenance and construction requirements for all sewer-related activities.

Within the aforementioned BTLT letter dated September 22, 2015, Executive Director, Angela Twitchell indicated that the BTLT Board voted unanimously to approve acceptance of the proposed 33-acre land conveyance. From conversations with the applicant and the BTLT, the staff understands that prior condition #8 may result in an unexpected delay in the project due to the length of time it may take the proposed conservation parcel to be formally conveyed.

The original September 10, 2015 Findings of Fact and Conditions of Approval for the Meadow Rose Farm Subdivision are attached. The original conditions will remain in effect, with the exception of condition #8, as well as any new conditions the Board may impose.

The application packet, including a project narrative is attached hereto.

**DRAFT MOTIONS
AMENDED MEADOW ROSE FARM SUBDIVISION
CASE NUMBER: 15-047**

Motion 1: That the amended subdivision application is deemed complete.

Motion 2: That all applicable prior conditions relating to this amendment remain in effect, in addition to any new conditions contained herein with the exception of prior condition #8 which is revised as follows:

1. That prior to the issuance of a building permit the applicant shall record the proposed conservation parcel in the Cumberland County Registry of Deeds and provide a copy of the recorded conveyance to the Director of Planning and Development.

Motion 3: That the amended application is approved with the following conditions added to prior conditions currently in place:

1. That the Board's review and approval does hereby refer to the plans and materials submitted by the applicant and the written and oral comments of the applicant's representatives, reviewing officials and members of the public as reflected in the public record and that any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.

* *All Subdivisions for which Final Plan approval has been granted, and any conditions that have been imposed by the Planning Board for the subdivision or final plan shall be filed in the Cumberland County Registry of Deeds by the applicant. If the applicant fails to record the subdivision plan within 60 days after Development Plan approval by the Planning Board, the approval shall expire. No building permits associated with a subdivision shall be issued unless evidence of all recording requirements is provided by the applicant to the Codes Enforcement Officer.*

If applicable, subdivision approvals by the Planning Board shall expire at the end of five years after the date of Final Plan approval unless all infrastructure work associated with the development is completed (Section 407.4.C of the Brunswick Zoning Ordinance).

**APPROVED Findings of Fact
Major Development Review
Final Subdivision Plan
September 10, 2015**

Project Name: Meadow Rose Farm Subdivision
Case Number: 15-015
Tax Map: Map 17, Lot 126
Applicant: Two Clarks, LLC c/o Paul Clark
240 Main Street
Brunswick, Maine 04011

Authorized Representative: Kevin Clark, PLS
Sitelines, PA
8 Cumberland Street
Brunswick, Maine 04011

Staff reviewed the application and has made a determination of completeness.

PROJECT SUMMARY

Staff review is based on the Major Development Plan Application for the Meadow Rose Farm Subdivision prepared by Sitelines, P.A. and dated August 13, 2015. The application includes a set of site plans prepared by Sitelines P.A. and listed below:

- Sheet C1 entitled “Cover” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C2 entitled “Overall Subdivision Plan” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C3 entitled “Subdivision Plan Lot Boundary Details” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C4 entitled “Plan and Profile: Station 0+00 to 11+00” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C5 entitled “Plan and Profile: Station 11+00 to 23+50” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C6 entitled “Site Development Details” dated July 2015 with a most recent revision date of August 24, 2015
- Sheet C7 entitled “Erosion Control Details & Notes” dated July 2015 with a most recent revision date of August 24, 2015

The proposed Meadow Rose Farm Subdivision consists of twelve (12) lots to be developed for residential use with a new 2,200 linear foot private road to be constructed westerly from Church Road for access to the lots. The proposed road is proposed to be built in two phases. The first phase would provide access to lots 1–6 and lot 12. The second phase would see the road

completed to access lots 7-11. The property is in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District.

The proposed development would be serviced by public water and private wastewater disposal systems.

The application packet, including a project narrative is attached hereto.

The Sketch Plan for the Meadow Rose Subdivision was approved by the Planning Board on April 28, 2015 with the following condition:

1. The 0.5 acre lot that abuts lot #4 is a legal lot and shall be numbered on the final subdivision plan.

The following waivers have been requested by the applicant:

1. Section 412.2.B.8: Profile, cross-section dimensions, curve radii of existing streets (i.e. Church Road)
2. Section 412.2.B.16: Class A Soil Survey
3. Section 412.2.B.17: Location of existing trees over 10-inches in diameter
4. Section 511.2: (i.e. Appendix A-II.1B), Maximum Length of Dead End Street

Staff recommends approval of the requested waivers in accordance with the provisions of Section 410.1(A-D) based on the following facts:

1. ***Section 412.2.B.8: No changes are proposed to Church Road.***
2. ***Section 412.2.B.16: Test pits observed by a professional site evaluator and geologist revealed soils that are suitable for the proposed residential development.***
3. ***Section 412.2.B.17: The applicant proposes to conserve a significant portion of forested land as part of the development. Individual lot clearing will be allowed at the discretion of individual lot owners.***
4. ***Section 511.2: The proposed 2,200-linear foot road length and associated three (3) fire hydrants were reviewed and found to be acceptable by the Deputy Fire Chief. Additionally, the applicant proposes an emergency access connection to the Phase II portion of the road at the nearest available location. The proposed road is designed to provide access to twelve (12) large, rural residential lots and is oriented to avoid and minimize wetland impacts; and minimize the proposed traversed area in an existing utility easement.***

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The property is located in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District. The proposed subdivision meets dimensional, density and lot configuration requirements. The proposed development complies with all applicable standards for the Rural Brunswick Smart Growth Overlay District, within the Coastal

Protection 2 (CP2) Zoning District. *The Board finds that the provisions of Section 411.1 are satisfied.*

411.2 Preservation of Natural Features

The parcel of land proposed to be subdivided is not located in the Natural Resources Protection Zone as defined at Section 211. The parcel contains natural features as defined in Section 501.1 of the Zoning Ordinance, specifically, freshwater wetlands and a mapped Wildlife Habitat Block District (overlay district) as defined in Section 217.C.1. The applicant proposes to preserve 33.10 acres of the parcel as conservation land within the mapped Wildlife Habitat Block and in some areas that contain freshwater wetlands. Further, the applicant will preserve natural features to the extent practical and as approved by the pending Maine Department of Environmental Protection (DEP) pursuant to the Natural Resources Protection Act (NRPA) as required pursuant to 38 M.R.S. Section 480-C. The application states that the density of the proposed subdivision is less than the maximum lot density of one unit per 3.5 acres of Net Site Area as defined in Section 501.2. The property is within Zone C, “areas of minimal flooding” on the Flood Insurance Rate Map (FIRM) for the Town of Brunswick which is not considered a Special Flood Hazard Area as defined in Section 211.3. The site does not contain steep slopes and embankments as defined in Section 503. *The Board finds that the provisions of Section 411.2 are satisfied conditional upon the applicant revising the Final Subdivision Plan with any changes required by the DEP for the NRPA permit.*

411.3 Surface Waters, Wetlands and Marine Resources

Freshwater wetlands are identified on the site. The application indicates that the proposed road orientation serves to avoid and minimize wetland impacts to the greatest extent practical. The proposed wetland impacts are pending approval with the DEP under the NRPA. The development will not adversely affect the Mare Brook watershed or the water quality of Casco Bay or its estuaries. *The Board finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

Based on the Flood Insurance Rate Map, community panel # 230042 0015 B, effective date, January 3, 1986, the project site is located within Zone C, described as areas of minimal flooding and outside the regulatory 100-year flood zone. The development activity does not occur within a FEMA flood hazard area and therefore minimizes any risk of flooding. *The Board finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The applicant submitted a stormwater management plan prepared by Sitelines, P.A. The stormwater model used to predict post development peak runoff made assumptions of existing land cover being forest, light undergrowth of woodland for time-of-concentration calculations in wooded areas; the curve number for the existing and proposed residential lots were assumed as 12% impervious cover, 20% grass cover, and the remainder as wooded; and the minimum time of concentration used for runoff calculations is five minutes. The results of the model predict that any increase in peak runoff rate will not result in any adverse impacts to any existing drainage systems or cause flooding to adjacent properties. Since the proposed activity will result in more than one acre of disturbed area and over 20,000 square feet of impervious area in the watershed of an urban impaired stream, the “unnamed tributary to Androscoggin watershed”. As a result,

the project requires DEP approval pursuant to the Stormwater Management Law at 38 M.R.S. Section 420-D. *The Board finds that the provisions of Section 411.5 are satisfied conditional upon the applicant revising the Final Subdivision Plan with any changes required by the DEP for the Stormwater Management Law permit.*

411.6 Groundwater

The project will be served by a proposed 8-inch underground public water main and individual wastewater disposal systems. A minimum of two passing test pits were observed on each proposed lot by Mark Cenci, Licensed Site Evaluator and Certified Geologist. The proposed road stormwater ditches and buffers are designed to avoid adverse impacts to groundwater from the development. *The Board finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

The applicant's erosion and sedimentation control plan has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine DEP, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the submitted plans. The proposed development will not cause unreasonable soil erosion or reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The project will be served by individual wastewater disposal. The applicant showed the required two passing test pit logs for each lot. Further investigations will be required to design a specific wastewater disposal system on each lot in accordance with the Maine Subsurface Wastewater Disposal Rules and the Maine State Plumbing Code. The test pit locations are shown on the site plans. The proposed densities on the parcel are below the threshold for a hydro-geological study of septic system impacts. Staff determined that lot 1, so-called, is within 200 feet of the District sewer and a new building may be required to connect to public sewer. *The Board finds that the provisions of Section 411.8 are satisfied conditional upon the approval of public sewer connection by the Superintendent of the Brunswick Sewer District in a statement of whether capacity is available for any proposed building that is accessible to a sewer or drain of the District as required pursuant to 38 M.R.S. Section 1160.*

411.9 Water Supply

A new 8-inch underground public water main is proposed to serve the new residential lots. The applicant proposes to install 1-inch water service stubs to serve each individual lot in conjunction with the construction of the road. Three fire hydrants are proposed along the proposed road. The applicant sent a letter to the Brunswick-Topsham Water District to request their ability to serve the proposed development. The applicant proposes to forward a copy of the Brunswick-Topsham Water District letter. *The Board finds that the provisions of Section 411.9 are satisfied conditional upon receipt of a statement from the Brunswick-Topsham Water District of conditions under which the District will supply water, and approval of the size and location of mains, valves and hydrants proposed.*

411.10 Aesthetic, Cultural and Natural Values

The proposed residential subdivision is a permitted use and will not have any undue adverse effect on the scenic or natural beauty of the area, historic sites, or significant wildlife habitat identified by the Maine Department of Environmental Protection and Inland Fisheries & Wildlife or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. The applicant submitted survey documentation regarding three (3) potential Significant Vernal Pools and a letter from the DEP stating that based on the surveys, the vernal pools are not considered Significant Vernal Pools in accordance with the Significant Wildlife Habitat rules at 06-096 CMR 335. The parcel contains 61.80 acres of mapped Wildlife Habitat Block District (overlay district) as defined in Section 217.C.1. The applicant proposes to preserve 33.10 acres of the parcel as conservation land within the mapped Wildlife Habitat Block. *The Board finds that the provisions of Section 411.10 are satisfied.*

411.11 Community Impact

The proposed project will be located on Church Road in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District. The applicant performed a facilities impact analysis in accordance with Section 509.1(A-I). Based on the applicant's analysis, the proposed project is not likely to result in an unreasonable impact to community facilities. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

The proposed subdivision plan has been reviewed by the Town Engineer who indicated that the proposed development will not create or further contribute to unsafe traffic conditions. As requested by the Town Engineer, a note was added to the Final Subdivision Plan which states that, "the proposed subdivision road has not been designed to public road standards and will not be offered for acceptance as a public way. The roadway will be maintained as part of a homeowner's association agreement". The Final Subdivision Plan shows the development of Phase 1 and Phase 2 and a proposed temporary turnaround to be removed and replaced with a stormwater buffer upon the completion of the proposed Phase 2 portion of the road. The applicant provided a draft road maintenance agreement. The proposed subdivision road has been reviewed by the Deputy Chief who indicated that the proposed 18-foot road must have an unobstructed width of not less than 20 feet (6.1 meters) in accordance with the NFPA Fire Code (2009 Edition) at Section 18.2.3.4.1.1. The applicant proposes 2-foot shoulders adjacent to the 18-foot road which yields a 20-foot unobstructed area. The DEP is reviewing the proposed road and associated stormwater management plan pursuant to the Stormwater Management Law at 38 M.R.S. Section 420-D. *The Board finds that the provisions of Section 411.12 are satisfied conditional upon the applicant revising the Final Subdivision Plan with any changes required by the DEP's Stormwater Management Law permit.*

411.13 Pedestrian and Bicycle Access and Safety

The proposed development will accommodate bicyclists and addresses pedestrian access, safety and circulation both within the site and to points outside the site. *The Board finds that the provisions of Section 411.13 are satisfied.*

411.14 Development Patterns

The proposed development is residential and located on a road of residential uses in the Rural Area of town. The project is within a Wildlife Habitat Block District and subject to Rural

Brunswick Smart Growth (RBSG) standards. The applicant has met RBSG requirements by permanently protecting land through a conservation easement in accordance with Section 217.6 of the Zoning Ordinance. The Brunswick-Topsham Land Trust (BTLT) submitted a letter outlining the conceptual terms of the proposed conservation agreement and the intention of the BTLT to accept the possible donation pending a written proposal for the review and approval of the BTLT Board. The neighborhood is residential in a rural setting with large areas of undeveloped land surrounding it. As proposed, the development is respectful of Brunswick's historic development pattern and will have no adverse impact on adjacent residential areas. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

While the architecture of the homes will be determined by individual lot owners, the applicant indicates that housing values are targeted at \$250,000 and up. The residential homes will be compatible with the surroundings in terms of size, scale, mass and design. *The Board finds that the provisions of Section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

The Solid Waste Impact Fee for each of the new housing units was calculated by the applicant to be \$258.56 per unit for a total of \$3,102.72. The applicant requests that the Solid Waste Impact Fee be paid separately for each lot prior to the issuance of building permits. *The Board finds that the provisions of Section 411.16 are satisfied conditional upon the payment of the Solid Waste Impact Fees for an individual lot prior to the issuance of a building permit for the associated lot.*

411.17 Recreation Needs

The applicant proposes to dedicate 33.10 acres to the Brunswick-Topsham Land Trust and reserve 3.92 acres for open space to be managed by the Homeowner's Association. The applicant stated that the proposed land contains potential recreational uses to be determined by the future easement or open space agreement. The application contains draft covenants which include recreation standards for the proposed open space land. A Recreation Impact Fee has not been approved by the Director of Parks and Recreation or the Recreation Commission. *The Board finds that the provisions of Section 411.17 are satisfied conditional upon filing the conservation agreement and proposed open space with the Cumberland County Registry of Deeds; and a Recreation Impact fee is approved by the Director of Parks and Recreation and/or the Recreation Commission, and proof of payment per unit is provided by the applicant.*

411.18 Access for Persons with Disabilities

The development shall comply with the Americans with Disabilities Act as applicable, which will be reviewed as part of the building permit application. *The Board finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The application indicates that the applicant has completed numerous residential developments in the Midcoast area. The applicant proposes to prepare a performance guarantee for the utility improvements within the public right-of-way for approval by the Director of Public Works in accordance with Section 521 of the Zoning Ordinance. A letter dated June 25, 2015 from Bath Savings Institution confirming a commercial mortgage development loan of up to \$250,000 was provided as part of the applicant's final submission materials. *The Board finds that the provisions of Section 411.19 are satisfied conditional upon approval of the performance guarantee by the Director of Public Works.*

411.20 Noise and Dust

Best Management Practices (BMPs) as outlined in the Maine Erosion and Sediment Control BMPs, published by the DEP will be utilized to control dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1 of the Zoning Ordinance. Upon construction completion, there are no anticipated impacts with regard to noise or dust. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

The project applicant, Two Clarks, LLC, a Maine Limited Liability Corporation in Good Standing in the State of Maine, owns the subject parcel. A transmission line easement held by Central Maine Power (CMP) bisects a portion of the subject parcel. Based on the language in the easement, the applicant does not have sufficient right to construct the proposed road in the right of way. The applicant submitted correspondence with the real estate Department at CMP and a copy of the easement. The applicant intends to secure sufficient rights to construct the road as soon as possible. With the exception of the portion of the parcel contained in the CMP easement, the applicant has sufficient right, title and interest in the property. *The Board finds that the provisions of Section 411.21 are satisfied conditional upon review and approval by the Director of Planning and Development of a revised easement that provides sufficient rights for the proposed subdivision prior to the issuance of the entrance permit by the Brunswick Department of Public Works.*

411.22 Payment of Application Fees

The applicant has paid all applicable development review and application fees. *The Board finds that the provisions of Section 411.22 are satisfied.*

APPROVED MOTIONS
MEADOW ROSE FARM SUBDIVISION
CASE NUMBER
15-015

Motion 1: That the Board waives the following requirements:

1. Profile, cross-section dimensions, curve radii of existing streets
2. Class A Soil Survey
3. Location of existing trees over 10-inches in diameter
4. Maximum Length of Dead End Street

Motion 2: That the Final Subdivision Plan is deemed complete.

Motion 3: That the Final Subdivision Plan is approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to issuance of the entrance permit the applicant shall revise the Final Subdivision Plan with any changes required by the DEP for the approved NRPA permit.
3. That prior to issuance of the entrance permit the applicant shall revise the Final Subdivision Plan with any changes required by the DEP for the approved Stormwater Management Law permit.
4. That prior to the issuance of a building permit for any proposed building that is accessible to a sewer or drain of the District as required pursuant to 38 M.R.S. Section 1160 the applicant obtain a statement that capacity is available for the sewer connection from the Superintendent of the Brunswick Sewer District.
5. That prior to the issuance of the entrance permit the applicant shall obtain a statement from the Brunswick-Topsham Water District of conditions under which the District will supply water, and approve the size and location of mains, valves and hydrants proposed.
6. That prior to issuance of a building permit for an individual lot the lot owner shall pay the Solid Waste Impact Fees in the amount of \$258.56.
7. That prior to issuance of a building permit for an individual lot a Recreation Impact fee shall be approved by the Director of Parks and Recreation and/or the Recreation Commission, and proof of payment per unit shall be provided by the applicant.

8. That prior to the issuance of an entrance permit the applicant shall record the proposed conservation easement in the Cumberland County Registry of Deeds and provide a copy of the recorded easement to the Director of Planning and Development.
9. That prior to the issuance of a building permit a performance guarantee approved by the Town Engineer shall be posted in accordance with Section 521 of the Zoning Ordinance.
10. That prior to the issuance of the entrance permit the applicant shall obtain a revised easement with sufficient rights to develop the proposed subdivision and provide a copy of the recorded easement to the Director of Planning and Development for review and approval.

* *All Subdivisions for which Final Plan approval has been granted, and any conditions that have been imposed by the Planning Board for the subdivision or final plan shall be filed in the Cumberland County Registry of Deeds by the applicant. If the applicant fails to record the subdivision plan within 60 days after Development Plan approval by the Planning Board, the approval shall expire. No building permits associated with a subdivision shall be issued unless evidence of all recording requirements is provided by the applicant to the Codes Enforcement Officer.*

If applicable, subdivision approvals by the Planning Board shall expire at the end of five years after the date of Final Plan approval unless all infrastructure work associated with the development is completed (Section 407.4.C of the Brunswick Zoning Ordinance).

September 30, 2015

STAFF REVIEW COMMITTEE NOTES

Staff present:

Anna Breinich (Planning and Development Director), Cathy Jamison (Tax Assessor), John Foster (Public Works), Dick Rizzo (Police Chief), Jeff Emerson (Fire Department Deputy Chief). Non-voting staff: Jared Woolston (Planner), Applicants present: Kevin Clark and Curt Neufeld, Sitelines PA (representative for client), Public present.

1. **Case # 15-047, Meadow Rose Farm Subdivision:** The Committee will review and provide a recommendation to the Planning Board regarding an **Amendment to the Approved Final Plan**, submitted by Two Clarks, LLC, for the creation of an additional one lot and revision to the conditions of approval. The subdivision is accessed from Church Road, located on a 71.4 acre lot in the **Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District. Assessor's Map 17, Lot 126.**

Present for applicant:

- Kevin Clark (KC), Sitelines PA, verbal presentation of the proposed activity.
 - New sewer for five (5) lots
 - Revise condition #8 "conveyance... prior to building permit"
 - Create one (1) new residential lot from the approved Lot 1 and Lot 2, so-called and designating existing Lot 3 so-called, to Lot 13.
 - Question for sewer district: Which portion of proposed sewer system is maintained by sewer district? JW: Will ask Rob Pontau (Sewer District).
 - Question regarding lot numbering: AB: Suggest, "3A" and "3B" but no preference. CJ: Agree no preference.

Staff comments/questions of applicant:

John Foster

- Water district maintain the water main? KC: Yes, provide easement.
- Who owns hydrants? KC: Not sure. Water District?
- Who maintains sewer and pays for the sewer? KC: Question for Rob (Sewer District). Think only first five (5) lots pay.

Anna Breinich

- CMP approval? KC: Need 24 feet of vertical clearance; either raise pole or lower road. Prefer lowering road. Not sure when CMP will approve. AB: New lot crossing the CMP easement and building window needs to be approved by CMP or outside of easement. KC: Will revise plan and CMP easement will provide for new driveway. CMP easement crossing is preferred to avoid drainage area and wetland impacts.

Jeff Hutchinson

- Sewer line must be more than 200' from nearest lot proposed to have septic rather than sewer service because the building is not known (re: State sewer law compliance). KC: Okay.

Jeff Emerson

- Three (3) hydrants proposed, why not two (2)? KC: Engineering guidelines indicate max distance required three (3) hydrants. JE: 20-foot travel width (Fire code) KC: Yes, 16-foot travel two (2) foot shoulders.

2. **Case # 15-027, Spruce Meadow Subdivision:** The Committee will review and provide a recommendation to the Planning Board regarding a **Final Plan Major Development Review** Subdivision Application submitted by William Moore, for a proposed 33-lot open space

residential subdivision. **(Original Assessor's Map 13, Lot 34, 66-78) in the Mixed Use 5 (MU5) Zoning District and the Telecommunications Zone 2 Overlay (Lot 5).**

Present for applicant:

- Curt Neufeld (CN), Sitelines PA, verbal presentation of the proposed activity.
 - Sketch Plan in July
 - Unsold parcels proposed to be divided and sold as residential lots
 - Phase 1, 2 and 3 build out over 5-15 years based on market conditions
 - Kennedy Drive 1/3 constructed
 - 60-foot ROW to lot. 3,600 acres set aside as open space.
 - Conversations with Rec. Commission. Trails in areas previously cleared, 10' wide before, narrow to 4' wide bushhogged. Will depict trails on plan. Walked trails with GPS with Bill More and Tom Farrell. Proposed raised board walk (from forest regulation). Understand DEP will not look at proposed trails as needing anything (stormwater treatment); must minimize direct wetland impacts.
 - Have submitted permit application to DEP.

Staff comments/questions of applicant:

- Cathy Jamison
 - Proposed conservation area in tree growth? The idea is to grow trees so if not doing that there is a penalty. The lot boundary that is tree growth is not altered. The tree growth can be moved to open space if conserved. If conservation easement, all or portion, not conservation easement (homeowners association); open space is \$800 per acre, tree growth is ~\$100's. Deed restricted – tree growth to open space. Effective April 1 but paperwork needs to be in prior to Planning Board action. Must see the proposed 'open space' land on a plan.
- Anna Breinich
 - Lot 22 is all wetlands. CN: Lower taxes on useless land? Have not done calculations on wetlands (net area) CJ: Do calc on value, open space will change value. Include all open space. AB: Land is valued as commercial.
- John Foster
 - Owner of lot 22? AB: Homeowners association.
 - Owner of open space? AB: This is in-lieu of a recreation impact fee.
 - Who is maintaining trails? CN: Mark Walsh, will have language.
 - Same street profile as before, same drainage? CN: Slight change by lot 1. Need to bump an easement there. Front corner will change because getting more lot area, changed the grading.
 - Drainage easement? CN: Yes, like lot 23.
 - Did not bother to number lots? CN: Information on some.
 - Public street? CN: Yes.
 - Turnaround, lots after or at the turnaround shown on the plan. Move phase line or change where turnaround will be. Page 4, 5 doesn't work. The phase is okay – 15 years? 2030. AB: Standard ordinance allows phasing if timing is being met it does not have to come back for re-approval. CN: Turnaround is beyond the last lot in the phase. 25-28 is phase 2 so turnaround is beyond it. Two entrances is proposed.
 - Over 1,500 feet (road) proposed? CN: Yes, idea was to push it beyond the last entrance. JF: Two street names if two different ways that aren't joined.
 - Impact fee changes. Street lighting – don't do that for roadway? CN: Not proposed. In terms of technical review, DEP for stormwater and Site Law. Public work stuff

- hasn't changed. Will John review streets entrances and lights? JF: Little bit wider road than needed.
- Anna: Entrance permits? JF: State won't turn it over to the town until there are some homes on it. We can do entrance permits but not for the connections. CN: Correspondence from MDOT indicates the change (commercial to residential subdivision) is okay.
 - Mobile homes on plans? CN: Septic fields.
 - Drainage easement? Town owned? CN: Do not know. Will refresh memory. JF: Each access point as one. AB: Then it was commercial.
 - MDOT require street light at intersection?
 - Look at drainage. CN: Maintenance access? Need to spell out who is maintaining it.
 - Curt Neufeld
 - Owner Fire suppression – to Emmerson. Note for fire suppression? Jeff Emmerson: Legally it is okay (thinks so) long build out may be a problem if rules and laws change. May be an oversight if law requires fire suppression (In the future). CN: Cistern or sprinklers out there? JE: 2012 Code requires sprinklers. JH: Correction, 2009 Code. CN: retrofit if law changes? JH: Building code would not fire code. JH: Over an aquifer? CN: Yes. JE: Homeowners insurance would be lowered. CN: Note: delayed fire response. JW: Fire Dept. would try to get there, just not timely? JE: Not able to do anything when they get there. CN: Recommendation, houses shall have sprinklers? JE: Life safety system is recommended. Cistern is okay (not preferred).
 - Jeff Hutchinson
 - Sketch review process, possibility of common septic systems? CN: Impediment to marketing. Site evaluators did not think proposed (single) septic system was a problem.
 - Driveways, wells and septic will be tight. Driveway needs a 20-foot setback. AB: Building envelopes? May want to show that because it is more restrictive than the setback. JH: Well and septic locations reversed? CN: Well and septic located that way because of water table. JH: Easier to install if soils are approved. Recommend that note on the plan that driveways are subject to 20-foot setback. Locate driveways on 'tough' lots (not wide). CN: Sequencing or note on plan, clear for few reasons to make septic systems work up front. Buildable window is bigger that way. Septic system maybe in the bottom 1/3 or 1/2 of lot and pushed houses up to the street. Allowed more lot for building location. Well can be in wetland but septic can't. JH: No problem with septic in front, it is a lawn. Need well and septic separation. CN: Site evaluator may be able to reverse. AB: Shared driveways: 18, 20, 5, 6, 7, 8 (lots) may need shared driveways. JH: Easier to site well, septic and house – combined driveway is not subject to 20-foot setback. CN: Show driveway locations on plan. Cleaner than a note.
 - 8" x 11" of each lot for each deed would be good for the potential homeowner to have a plot plan. CN: Easy to do but cost is a factor. JH: Recommend plot plan for each lot.
 - Buffer along Old Portland road? CN: Was commercial, rather not. AB: Gateway coming into Brunswick (undisturbed corridor) Lot 1 and Lot 33 affected. Lot 21 is in buffer and easement. JH: 21 is a detention pond. JF: Must be a fence. CN: No standing water why do you need a fence? JH: Note, undisturbed setback. No clearing in the setback (Lot 22 too, even though it is open space.
 - Anna Breinich

- Purpose of lot line? Not 36 acres. Needs to be shown as conservation on plan. Delineate building envelopes vs setbacks if more restrictive b/c of natural buffers. CN: Show setback line and building line for the building envelop? AB: Show where you can build because there is a lot going on.
- John go over findings of fact? JF: May have done a letter back then (sketch plan)
- Curt Neufeld
 - Ownership of pond in findings of fact? JF: No.
- John Foster
 - Phasing plan? CN: Pretty sure gave phasing plan. AB: Two more amendments to the plan, one was phasing.
 - Monuments on corners must be updated with new lot lines. Turnaround, phase development is far future, must be built and dedicated to the town. CN: The turnaround is paved, it exists. JF: Must change phase line if already exists.
- Curt Neufeld
 - Dates: 20th or 27th? Prefer the 27th.
- John Foster
 - 1,500 foot waiver? CN: Could pull lot back and get 1,490 feet of dead end road. AB: Performance guarantee for whole road?
 - Per phase, what is required for building each phase? AB: Each phase needs performance guarantee. It was required last time, still required to get it built out. JF: Won't need it if built out. AB: Further recommended when... (reading condition).
- Cathy Jamison
 - Why phasing? 2 street names will require they have to change their addresses. DR: Concerned about road names and ability to respond (police response)
- Jared Woolston
 - Recreation Commission response in writing? CN: Not yet. JW: Rec. Commission. Section 519, get before Planning Board. CN: Will get it.
 - Waiver for profile of existing roads, John? JF: Route 1? Yes, all set.
 - Net site area steep slopes: Did you look at 5,000 square feet at 25% or more? CN: Only steep slopes are by interstate. JW: Application says, nothing over 20% (steep slopes) -- standard is 25%. Says, construction not around steep slopes. Begs question, where are the steep slopes? AB: Revise that.



September 22, 2015

DIRECTORS

Elizabeth Armstrong
Brad Babson, *President*
Doug Bennett, *Vice President*
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Jerry Galleher
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Lloyd Van Lunen
Steve Walker
Margaret Wilson

Jared Woolston
Town of Brunswick
Planning and Development
85 Union Street
Brunswick, ME 04011

Dear Jared,

This letter is to confirm that the Brunswick-Topsham Land Trust Board voted unanimously to approve the acceptance of the 33-acre parcel of land from Two Clarks LLC that is part of the Meadow Rose Farm subdivision.

The primary values for which the land trust will be conserving the property are:

- the property falls within a focus area for conservation as defined in the BTLT strategic conservation plan;
- substantial protections of important conservation values including protection of the headwaters of Bunganuc Stream, a portion of an unfragmented forest block, and habitat protections for water resources that flow to Casco Bay, and
- Public access will be available for non-motorized recreation on existing trails with potential for expending public trails on this property in the future.

Please let me know if you need anything else.

Sincerely,

Angela Twitchell
Executive Director

ADVISORY COUNCIL

Janet Bodwell
Claude Bonang
Everett Carson
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Marilyn Dwyer
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Sarah Wolpow

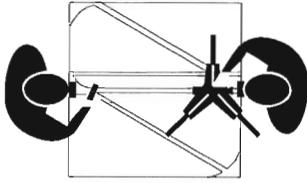
STAFF

Angela Twitchell, *Executive Director*
Caroline Eliot, *Associate Director*
Chris Cabot, *Land Conservation & Farmland Protection Specialist*
Lee Cataldo, *Outreach & Education Coordinator*
Ellen Rodgers, *Financial & Administrative Manager*

108 Maine Street, Brunswick, ME 04011 / 207-729-7694 / info@btl.org / www.btl.org

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FINAL SUBMISISON

September 22, 2015
Revised: October 8, 2015

2215-7

Jared Woolston, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

Re: Amendment Application
MEADOW ROSE FARM SUBDIVISION – AMENDMENT 1
CHURCH ROAD, BRUNSWICK, MAINE
Tax Map 17, Lot 126

Dear Jared,

On behalf of Two Clarks LLC, Sitelines, PA is pleased to submit the enclosed Amended Subdivision Plan, application and supporting materials regarding the development of a residential subdivision and associated private road to be located westerly of Church Road in Brunswick. The Planning Board previously approved the project on September 10, 2015. The goals of this Amendment are:

1. Revise Condition of Approval #8 to read “prior to the issuance of a building permit” versus “prior to the issuance of an entrance permit”;
2. Further divide the first two lots along Rugosa Way into three lots, increasing the total number of lots to thirteen (13), which is still less than the allowed density of seventeen (17); and
3. Revise the method of sewage disposal for the first five lots along Rugosa Way to be public sewer.

This letter is intended to summarize the project in order to facilitate the review process and address comments received at the Staff Review Committee on September 30, 2015.

PROPERTY

Two Clarks, LLC owns the parcel of land located off Church Road. The parcel contains 71.41 acres and has frontage on Church Road. The site is undeveloped and was previously used for agriculture and timber harvesting. The property is located in the Coastal Protection (CP2) Zoning District and the Rural Brunswick Smart Growth Overlay District, in which residential dwellings are a Permitted Use. A significant portion (61.80 acres) of the site is within the Wildlife Habitat Block.

SITELINES, PA

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS
8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ www.sitelinespa.com

SITE DESIGN

The proposed subdivision consists of thirteen (13) residential lots and an approximately 2,200-foot long private drive that terminates in a hammerhead turnaround. The proposed lots will all have access from the private drive. A new 8-inch water main and underground communication and electric service will be extended within the private drive from Church Road. The roadway is proposed to be constructed in excess of the minimum standards for a minor private road and will not be offered for acceptance by the Town.

The proposed subdivision is anticipated to be constructed in two phases. Phase 1 is anticipated to be constructed from 2015-2020 and Phase 2 is anticipated to be constructed from 2020-2025. Those dates are subject to change dependent on the real estate market and regional demand.

The proposed roadway will create approximately 36,339 sq. ft. (0.83 acres) of impervious area. The design will result in approximately 8,781 sq. ft. of wetland impact. These impacts will require a Tier I Natural Resources of Protection Act (NRPA) permit from the Maine Department of Environmental Protection (MDEP). An application has been submitted to the MDEP and a copy was sent to the Town for reference.

The project is located within the “Unnamed tributary to Androscoggin” watershed, which has been identified as an Urban Impaired Stream Watershed by the MDEP. Since the developer's actions result in greater than 20,000 s.f. of new impervious area, they are required to meet the Basic and General Standards of Chapter 500. For the purposes of MDEP permitting, only the lots developed by the property owner are subject to the permitting standards. As the owner is proposing to sell all lots undeveloped, only the roadway impacts are subject to the permitting thresholds.

The Applicant does not request any additional waivers, other than those already approved. served by municipal water and extensive test pits for subsurface disposal systems have been conducted, a soils survey is not necessary.

Review Standards

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 5: DEVELOPMENT REVIEW PLAN STANDARDS* of the Ordinance.

501 PRESERVATION OF NATURAL FEATURES AND NET SITE AREA:

Over 37 acres will be preserved as Conservation Area or Open Space. The density of the proposed subdivision is less than the maximum lot density of one unit per 3.5 acres of Net Site Area, which is computed by the subtraction of undevelopable areas (i.e. wetlands, slopes greater than 25%, road and right of ways) from the total area. Wetlands will be preserved to the greatest extent possible by carefully routing the proposed roadway and any subsequent driveways, as well



as the exclusion of wetland areas from building envelopes on individual lots. A Tier 1 NRPA permit application has been submitted to the MDEP for the proposed wetland impacts.

502 FLOOD HAZARD AREA:

The site is located within Zone C, designated as “areas of minimal flooding” on the Flood Insurance Rate Map (FIRM) for the Town of Brunswick. An excerpt of the applicable FIRM was previously submitted.

503 STEEP SLOPES AND EMBANKMENTS.

There are no steep slopes or embankments on this site.

504 STORM WATER MANAGEMENT:

As the project results in greater than 20,000 s.f. of new impervious area, it is required to meet the Basic and General Standards of Chapter 500 from the MDEP. In order to comply with the General Standards, the project is required to treat the impervious area from the proposed roadway. To accomplish this, the stormwater runoff from the proposed roadway will be directed to either meadow buffers adjacent to the downhill side of a road or meadow ditch turn out buffers. Runoff from these buffers will be directed to proposed culverts underneath the proposed roadway and discharge to established drainage ways. For further information, refer to the enclosed Stormwater Management Report. A Stormwater Management Law permit application has been submitted to the MDEP and a copy was forwarded to the Town for reference.

505 GROUNDWATER:

The project will be serviced by public water and a combination of public sewer and private subsurface wastewater disposal systems. There are no adverse impacts to groundwater anticipated from this development. Providing that roadway stormwater management ditches and buffers, as well as septic systems are installed and maintained as designed, no adverse impact to groundwater is anticipated from this project.

506 EROSION AND SEDIMENTATION:

The disturbed areas of the site will be isolated through the use of silt sock and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

507 SEWAGE DISPOSAL:

The first five lots along Rugosa Way will be serviced by the public sewer system. This will be accomplished via individual residential pump stations on each lot and a force main that ties into



the existing public sewer main in Church Road. The alignment and profile of these the sewer lines and the connection are being reviewed by the Brunswick Sewer District concurrently with this application.

The remaining eight lots will be serviced by individual subsurface wastewater disposal systems. A minimum of two passing test pits were observed on each lot to be served by private septic systems. Test pits were completed by Mark Cenci, Licensed Site Evaluator and Certified Geologist (Test Pit Logs and Report attached).

508 WATER SYSTEM:

A new 8-inch water main will be extended with the road and provide service to the new lots. In conjunction with the construction of the road, 1-inch water service stubs will be extended to the individual lots to serve the homes. Three fire hydrants are proposed along the roadway. The Brunswick and Topsham Water District has indicated their ability to serve the proposed development. The District has also indicated that it intends to own and maintain the water main extension and all appurtenances, providing all policies and procedures are followed.

509 COMMUNITY FACILITIES IMPACT ANALYSIS:

The anticipated impacts on public services such as police, fire and public works would be what are regularly associated with a residential development. The project will be served by public water and sewer and letters of ability to serve have been requested from the districts.

Solid waste from the subdivision will be collected by the Town’s curbside collection service at the intersection of the private road and Church Road. Neighborhood delivery and collection mailboxes will be located at the entrance to the development off Church Road, with final locations coordinated with the local Post Master.

The anticipated demographic for the future homeowners is families of average size. Per the census for Cumberland County, the average household size is 2.33. For the twelve (13)-lot subdivision, an anticipated three (4) children will be added to the school system. No adverse impact to the school system is anticipated from the proposed subdivision.

Based on the Institute of Traffic Engineers (ITE) Manual, “Trip Generation, 7th Edition” data for Land Use Code 210, Single-Family Detached Housing, the proposed subdivision will result in an increase in peak-hour vehicle trip ends as follows:

Time Period	Avg. Rate	Trip-Ends
Weekday, A.M. Peak	0.77	10.01
Weekday, P.M. Peak	1.02	13.26
Saturday, Peak Hour	0.94	12.22



The anticipated increase in trip-ends does not trigger traffic permitting from the Maine Department of Transportation (MDOT), and will not have an adverse impact to the function of the surrounding roadways or intersections.

510 DEVELOPMENT IMPACT FEES:

The Solid Waste Impact Fee is calculated at a rate of \$258.56 (based on 1 ton/year/unit) for each of the new housing units, or \$3,361.28, which we request be paid separately for each lot, prior to the issuance of building permits.

Recreation Impact fees are addressed in Section 519.

511 DEVELOPMENT OF NEW STREETS:

The proposed private road planned will be a 16-foot wide gravel roadway with 2-foot gravel shoulders. The proposed water main will be placed within the traveled way and the underground electrical and communications conduits will be installed along the edge of the right-of-way. The road is not intended that the road will be offered for public acceptance.

The proposed street design provides interconnectedness with the adjacent undeveloped property to the south of the project via a 50-foot right-of-way intended for future emergency vehicle access only. The proposed Open Space/Conservation Area is adjacent to conservation and open space on adjacent areas and provides an undisturbed block of the Wildlife Habitat Block. Providing this undisturbed block precludes the extension of the roadway design towards Hillside Road, which also supports the need for a dead-end street.

512 OFF STREET PARKING:

Based on the depths of the lot, and size of the anticipated buildings, off street parking would exceed four (4) spaces per lot.

513 CURB CUTS:

There is one new curb cut proposed for the subdivision off from Church Road. A paved apron will be installed for the first twenty (20) feet of the roadway to protect the edge of the existing Church Road Pavement,

514 OFF STREET LOADING:

There are no requirements for off street loading associated with this project.

515 APPEARANCE ASSESSMENT:

The plan reflects the project's integration with the site and the surrounding area. The anticipated houses will be similar in appearance and spacing to those in existing neighborhoods in the vicinity. The Home Owners Association will control the design review criteria for the homes.



516 BUILDING CONFIGURATION:

All of the lots will access off the proposed private road. Due to orientation of the private road, the front doors will most likely face towards the private road. This is subject to the design of the homeowner, and alternate orientations could be considered.

517 PRESERVATION OF HISTORIC RESOURCES:

There are no historic resources associated with this project.

518 ACCESS FOR PERSONS WITH DISABILITIES:

Not applicable for private residences.

519 RECREATIONAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS:

With regard to recreation and open space, the applicant proposed to dedicate 37.03 acres to Conservation and Open Space: 33.10 acres will be offered to the Brunswick Topsham Land Trust or the Brunswick Conservation Commission; 3.92 acres will be dedicated as Open Space to be maintained by the Home Owners Association. There is significant opportunity for trails and passive recreation within the Conservation Area and the opportunity for a common recreational field for the residents within the Open Space. The conservation space is proposed to be conveyed to the Brunswick and Topsham Land Trust. The Conservation Commission and the Recreation Commission have both approved the Open Space as meeting the requirements of this section.

520 FISCAL CAPACITY:

The applicant has successfully completed numerous residential development in the Midcoast area. Please see the attached letter from Bath Savings Institution indicate the Financial Capacity of Two Clarks, LLC. A copy of the Certificate of Good Standing from the Secretary of State has been enclosed with this letter.

The Applicant will pay for the development of the road and associated utilities and the individual lot owners will be responsible for the development of the individual lots.

521 PERFORMANCE GUARANTEE:

A performance guarantee for the utility improvements within the public right-of-way will be prepared for approval by the director of public works.

522 HOME OWNERS/PROPERTY OWNERS ASSOCIATION:

A Draft copy of the Home Owners Association documents are attached.

523 PROTECTED CONSERVATION LAND:

The applicant proposes to preserve 33.10 acres of Conservation land, which is also located within the Wildlife Habitat Block. The total area of the Wildlife Habitat Block, including 2.93 acres of



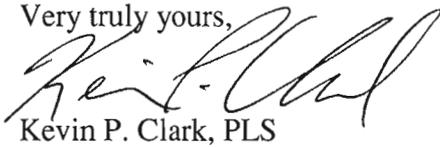
the Open Space, which will be preserved is 36.03 acres. In accordance with Section 217.4, the 1:1 mitigation ratio has been achieved. Also see Sec. 519 above.

524 NOISE AND DUST:

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP's as published by the Maine Department of Environmental Control, will be utilized to control noise and dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust. The proposed use will occur almost exclusively within the building.

We look forward to meeting with you and the Planning Board at their October 13, 2015 meeting to review the project and gain their approval. We appreciate your assistance with this project. Should you have any questions, please call or contact me via kclark@sitelinespa.com.

Very truly yours,



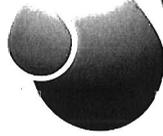
Kevin P. Clark, PLS
President

Enclosures

cc: Paul Clark



BRUNSWICK & TOPSHAM
WATER DISTRICT



Alan J. Frasier, PE
General Manager

Craig W. Douglas, PE
District Engineer

PO Box 489
Topsham, Maine 04086
Telephone (207) 729-9956
Fax (207) 725-6470

Daniel O. Knowles, CPA
Director of Finance and
Data Management Systems

William G. Alexander, Jr.
Operations Manager

September 28, 2015

Joseph J. Marden, P.E.
Project Engineer
Sitelines, PA
8 Cumberland Street
Brunswick, ME 04011
Via email: jmarden@sitelinespa.com

RE: Meadow Rose Farm Subdivision, Rugosa Way -Brunswick, ME

Dear Mr. Marden:

This letter is to inform you that the District has the ability to serve the referenced project, and will provide service in accordance with Maine Public Utilities Commission and Brunswick & Topsham Water District Rules and Regulations. This project can be served by a combination of a main extension along Rugosa Way and new service line installations.

The following documents can be found on our website (<http://btwater.org/apply-water-main-extension.aspx>) and are included in a main extension project:

1. Procedures for Water Main Extensions
2. Application for Water Main Extension
3. Main Extension Design Guidelines
4. Sample Water Main Easement Form
5. Water Main Material Specifications
6. Water Main Extension Details

Please keep us informed as this project progresses. If you have any questions, please call.

Yours truly,

Eric Gagnon
Engineering Technician

Cc: Craig Douglas - BTWD



Brunswick Sewer District
10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
bsd@brunswicksewer.org
TELEPHONE (207) 729-0148



September 11, 2015

Joseph J. Marden, PE
Sitelines, PA
8 Cumberland Street
Brunswick, ME 04011

Re: Meadow Rose Subdivision, Lot 1

Dear Joseph:

This letter is to acknowledge receipt of your request of September 11, 2015 for a confirmation of the District's willingness and capacity to serve the above referenced project. I understand the developer proposes to construct a single family residence as part of the Meadow Rose Subdivision at the corner of Church Road and Green Street in Brunswick, Maine. **The Brunswick Sewer District has willingness and capacity to serve the proposed project.**

The developer/owner will need to secure a sewer entrance permit for the project. For more information about the entrance charge program, please visit us online at <http://www.brunswicksewer.org/ecp.html>.

Please note the following conditions for approval:

1. Project sanitary sewer service line will be privately owned and maintained in accordance with provisions of District Rules & Regulations.
2. All sewer-related construction will be performed to District standards.
3. All sanitary sewer construction will comply with provisions of the Maine State Plumbing Code

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

Robert A. Pontau Jr., PE
Assistant General Manager

CC: Darcy Dutton, Accounts Specialist/Permitting, Brunswick Sewer District
Wesley Wharff, Collections Supervisor, Brunswick Sewer District

Joseph Marden

From: Rob Pontau [rpontau@brunswicksewer.org]
Sent: Tuesday, September 22, 2015 2:38 PM
To: Joseph Marden
Subject: Re: 2215-Meadow Rose Farm Subdivision, Church Road, Brunswick

Joseph,

I think that will work. We'll need to work out the details of the new manhole and how the forcemain drop is plumbed in, but what you have looks good so far.

Rob

*Robert A. Pontau Jr., PE
Assistant General Manager
Brunswick Sewer District
www.brunswicksewer.org*

All emails associated with the Brunswick Sewer District are considered public information and are subject to the State of Maine Freedom of Access Act.

On Tue, Sep 22, 2015 at 2:33 PM, Joseph Marden <jmarden@sitelinespa.com> wrote:

Rob,

Per our discussion, attached is a PDF of the revised Plan & Profile showing the extended sewer main and 2" force main. Further details, including backflow preventers and such, will be included in the construction set. Please review the plan and let me know if you have any additional comments.

Thanks,

Joseph J. Marden, P.E.

Project Engineer

Sitelines, PA

8 Cumberland Street

Brunswick, ME 04011

t [t \(207\) 725-1200](tel:(207)725-1200) xt 12

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: Meadow Rose Farms Subdivision - Amendment 1

2. Project Applicant
Name: Two Clarks, LLC c/o Paul Clark
Address: 240 Main Street
Brunswick, ME 04011
Phone Number: _____

3. Authorized Representative
Name: Sitelines, PA. Attn: Kevin Clark, PLS
Address: 8 Cumberland Street
Brunswick, ME 04011
Phone Number: 207-725-1200 xt. 18

4. List of Design Consultants. Indicate the registration number, address and phone number
Of any engineer, surveyor, architect, landscape architect or planner used:
 1. Surveyor: Kevin P. Clark, PLS #2245, Sitelines, P.A., 207-725-1200 xt. 14
 2. Engineer: Curtis Y. Neufeld, P.E. #9779, Sitelines, P.A., 207-725-1200 xt. 18
 3. Wetlands: Tim Forrester, Biologist & Wetland Scientist, Eco-Analysts, Inc., 207-882-1115
 4. Soils: Marc Cenci, Certified Geologis & Licensed Site Evaluator 207-657-2822

5. Physical location of property being affected: Church Road

6. Lot Size: 71.41 Acres

7. Zoning District: CP2

8. Indicate the interest of the applicant in the property and abutting property. For example, is the
applicant the owner of the property and abutting property? If not, who owns the property subject to
this application? Refer to Cover Letter

9. Assessor's Tax Map 17 Lot Number 126 of subject property.

10. Brief Description of proposed: Refer to Cover Letter

11. Describe Specific Physical Improvements to be Done: Refer to Cover Letter

Owner Signature: _____

Applicant Signature (if different): Paul Clark (AGENT)

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development		X				
Scale, date, north point, area, number of lots (if subdivision)		X				
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.		X				
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.		X				
Existing zoning district and overlay designation.		X				
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.		X				
Names of current owner(s) of subject parcel and abutting parcels.		X				
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.		X				Waiver Requested (see narrative)
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.		X				No lighting is proposed
Existing and proposed easements associated with the development.		X				
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.		X				
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.		X				

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.		X				
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.		X				
Topography with counter intervals of not more than 2 feet.		X				
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.				X		Waiver Requested (see narrative)
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.				X		Waiver Requested (see narrative)
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.			X			No lighting proposed
Existing locations and proposed locations, widths and profiles of sidewalks.		X				Waiver requested for profiles
Location map.		X				
Approximate locations and dimensions of proposed parking areas.			X			No public parking proposed
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.		X				
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.		X				
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.			X			No special conditions known
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.		X				
Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.		X				

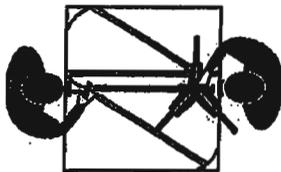
For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the numebr of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.		X				
Building envelops showing acceptable locations for principal and accessory structures.		X				

FINAL PLAN/SUPPORTING DOCCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.		X				
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.		X				
Draft performance guarantee or conditional agreement.			X			None Anticipated
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.		X				None Required
Any additional studies required by the Planning Baord, which are deemed necessary in accordance with this Ordiancne.			X			None Anticipated
Storm water management program for the propsed project prepared by a professional engineer.		X				
A storm water management checklist prepared by the Cumebrland County Soil and Water Conservation District made availabel at the Brunswick Department of Planning and Development.	X					

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.	X					
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.				X		
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.			X			
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.				X		
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.				X		
Where a septic system is to be used, evidence of soil suitability.		X				
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.		X				
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.		X				
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.			X			No Buildings Proposed
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.		X				
The size and proposed location of water supply and sewage disposal systems.		X				Public Water, Private Septic
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.			X			Landscaping to be by homeowners



March 19, 2015

2215

Mr. Paul H. Clark, III
Two Clarks, LLC
240 Main Street
Brunswick, ME 04011

**Re: Designation of Agent Authorization
Residential Subdivision
Church Road, Brunswick**

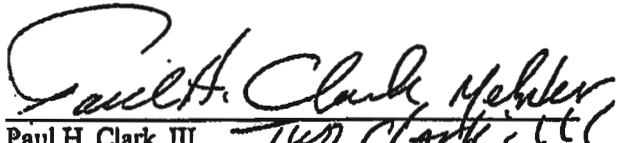
Dear Paul,

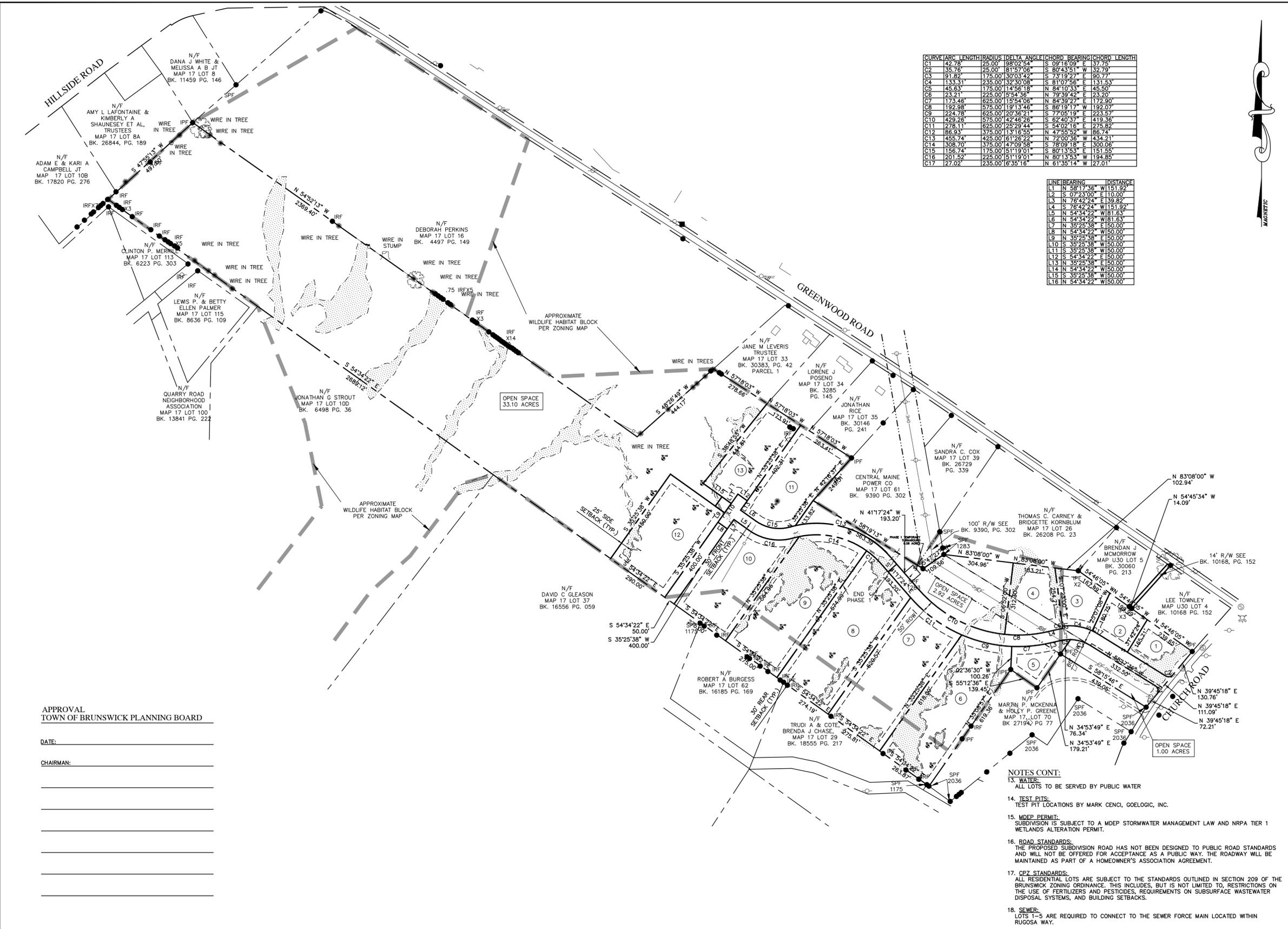
As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for Two Clarks, LLC, for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the proposed residential subdivision to be located off Church Road in Brunswick, Maine.

Sincerely,

Kevin P. Clark, PLS
President

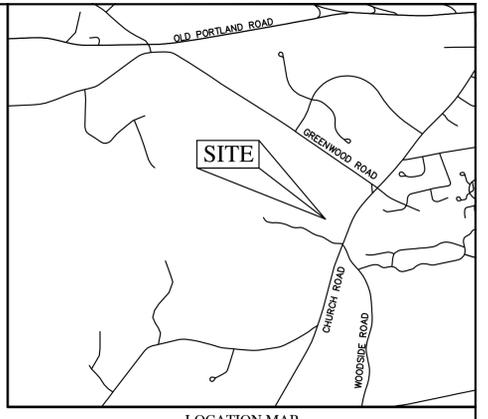
The undersigned hereby gives Sitelines, PA the authority to act as agent for Two Clarks, LLC, for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.


Paul H. Clark, III *Two Clarks LLC* 3/25/15
Date



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	42.78	25.00	98.0254	S 09°18'09" E 37.75	
C2	33.76	25.00	81.9106	S 80°43'11" W 32.79	
C3	91.82	175.00	30.0342	S 73°19'27" E 90.77	
C4	133.31	235.00	32.3008	S 81°07'56" E 131.53	
C5	45.63	175.00	14.5813	N 84°10'33" E 45.50	
C6	23.21	125.00	8.5436	N 79°39'42" E 23.20	
C7	173.46	625.00	15.5406	N 84°39'27" E 172.90	
C8	192.98	575.00	19.1346	S 86°19'17" W 192.07	
C9	224.28	625.00	20.3921	S 77°01'19" E 223.57	
C10	429.26	575.00	42.4828	S 62°40'37" E 419.36	
C11	278.11	625.00	25.2944	S 54°02'16" E 275.82	
C12	86.93	375.00	13.1655	N 47°55'22" W 86.74	
C13	453.74	425.00	61.7822	N 72°00'36" W 434.21	
C14	308.70	375.00	47.0958	S 78°09'18" E 300.06	
C15	156.74	175.00	51.1901	S 80°13'53" E 151.55	
C16	201.52	225.00	51.1901	N 80°13'53" W 194.85	
C17	27.02	235.00	6.3516	N 61°35'14" W 27.01	

LINE	BEARING	DISTANCE
L1	N 58°17'36" W	151.92
L2	S 07°23'00" E	10.00
L3	N 76°42'24" E	39.82
L4	S 76°42'24" W	151.92
L5	N 54°34'22" W	81.63
L6	N 54°34'22" W	81.63
L7	N 35°25'38" E	50.00
L8	N 54°34'22" W	50.00
L9	N 35°25'38" E	50.00
L10	N 54°34'22" W	50.00
L11	N 35°25'38" E	50.00
L12	N 54°34'22" E	50.00
L13	N 35°25'38" E	50.00
L14	N 54°34'22" W	50.00
L15	N 35°25'38" E	50.00
L16	N 54°34'22" W	50.00



LOCATION MAP NOT TO SCALE

- NOTES:
- TITLE REFERENCE FOR SURVEYED PARCEL: BK 8719, PG 218
 - PLAN REFERENCE(S):
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 - D) "STANDARD BOUNDARY SURVEY OF LAND TO BE CONVEYED BY LYNDON E. & RUTH A. HARMON TO CENTRAL MAINE POWER COMPANY, GREENWOOD ROAD, BRUNSWICK, MAINE" DATED AUG. 4, 11990, BY MAINLAND SERVICES, INC., UNRECORDED.
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 - G) "CENTRAL MAINE POWER COMPANY PLAN OF SECTION 31" DATED NOV. 1953, PLAN # 577-54, UNRECORDED.
 - AREA INFORMATION: 3,110,489 S.F. OR 71.41 ACRES
 - TAX MAP REFERENCE: TAX MAP 17, LOT 126
 - BASIS OF BEARINGS: BEARINGS ARE MAGNETIC (2014) AND ARE BASED ON HAND COMPASS BEARINGS ALONG RANDOM TRAVERSE LINES.
 - ROAD INFORMATION: CHURCH ROAD WIDTH IS 66' (4 RODS) AND GREENWOOD ROAD 49.5' (3 RODS) PER PLANS REFERENCED ABOVE. LOCATIONS ARE BASED ON EVIDENCE FOUND.
 - ZONING: COASTAL PROTECTION (CP2): MIN. LOT SIZE - 20,000 S.F. FOR RESIDENTIAL USES; MAX. DENSITY - 3.5 ACRES/UNIT; MIN. LOT WIDTH - 125 FEET; MIN. FRONT YARD - 30 FEET; MIN. REAR YARD - 30 FEET; MIN. SIDE YARD - 25 FEET; MAX. IMP. SURFACE - 21,780 S.F. OR 40% WHICHEVER IS LESS; MAX. NEW LAWN FOR WOODED SITES - 20,000 S.F.; MAX. BUILDING HEIGHT - 40 FEET; MAX. BUILDING FOOTPRINT - 10,000 S.F.
 - NET SITE AREA: 71.33 ACRES - PROPERTY AREA; -2.73 ACRES - PRIVATE ROAD; -0.63 ACRES - PRIVATE R/W; -7.85 ACRES - WETLANDS; 60.12 ACRES - NET SITE AREA; 17 MAXIMUM LOTS; *NO BONUS DENSITY IS REQUESTED AT THIS TIME.
 - RURAL BRUNSWICK SMART GROWTH OVERLAY DISTRICT: 61.80 ACRES - EXISTING WILDLIFE HABITAT BLOCK; 25.79 ACRES - WILDLIFE HABITAT BLOCK TO BE DEVELOPED; 2.92 ACRES - WILDLIFE HABITAT BLOCK TO BE OPEN SPACE; 33.10 ACRES - REMAINING WILDLIFE HABITAT BLOCK TO BE PRESERVED; *PER SEC. 217.4, A 1:1 MITIGATION RATIO HAS BEEN ACHIEVED.
 - OPEN SPACE: 37.03 ACRES OF OPEN SPACE, OF WHICH 33.10 ACRES TO BE PRESERVED BY CONSERVATION EASEMENT.
 - WETLANDS: WETLAND DISTURBANCE IS LIMITED TO THAT SHOWN ON THE ENCLOSED PLANS. ADDITIONAL WETLAND IMPACTS MAY BE SUBJECT TO ADDITIONAL PERMITTING AND FEES. PRIOR TO DEVELOPMENT OF THE INDIVIDUAL LOTS, WETLANDS IN PROXIMITY TO THE CONSTRUCTION SHALL BE MARKED BY A LICENSED SURVEYOR OR WETLAND BIOLOGIST.
 - FLOOD ZONE: THE PROPERTY IS NOT LOCATED IN A FLOOD ZONE PER FEMA MAP 2300420015 B DATE JAN 3RD 1986.
 - 6. 10-09-15 SUBMITTED TO TOWN JUM
 - 5. 09-22-15 REVISED LOT LAYOUT, ADDED SEWER FORCE MAIN JUM
 - 4. 08-24-15 REVISED PER STAFF REVIEW COMMENTS JUM
 - 3. 07-14-15 SUBMITTED FOR FINAL SUBDIVISION REVIEW JUM
 - 2. 05-16-15 REVISED ROAD LAYOUT, ADDED LOT 12 KPC
 - 1. 04-07-15 SUBMITTED FOR STAFF REVIEW KPC

TITLE: **OVERALL SUBDIVISION PLAN AMENDMENT 1**

PROJECT: **MEADOW ROSE FARM SUBDIVISION CHURCH ROAD, BRUNSWICK, MAINE**

PREPARED FOR: **TWO CLARKS, LLC 240 MAINE STREET, BRUNSWICK, MAINE**

SITELINES, PA
 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 207.725.1200 www.sitelinespa.com

FIELD WK: KPC SCALE: 1"=200' SHEET: **C2**

DRN BY: JJM JOB #: 2215

CHD BY: CYN MAP/LOT: 17/126

DATE: 07/2015 FILE: 2215-SITE-SUB-CARLSON

APPROVAL
 TOWN OF BRUNSWICK PLANNING BOARD

DATE: _____

CHAIRMAN: _____

CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED _____

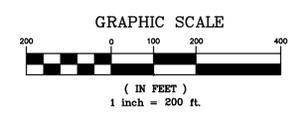
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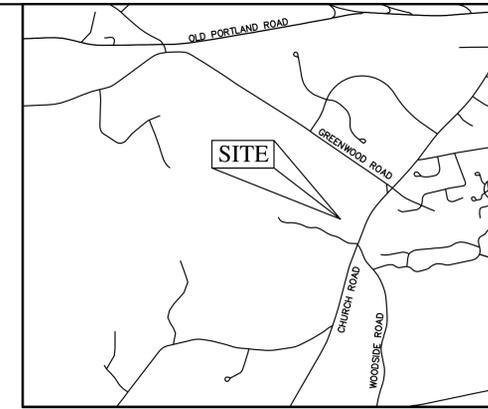
FILED IN PLAN BOOK _____ PAGE _____

ATTESTED: _____, REGISTER

PROGRESS PRINT
 THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

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1-888-344-7233
 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES





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NOT TO SCALE

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APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

DATE: _____

CHAIRMAN: _____

PHASING:
PHASE 1 LOTS 1-8 ANTICIPATED BUILD OUT YEARS 2015-2020
PHASE 2 LOTS 9-13 ANTICIPATED BUILD OUT YEARS 2020-2025

ADDRESS TABLE

LOT 1	2-8 RUGOSA WAY	MAP 17 LOT 131
LOT 2	10-14 RUGOSA WAY	MAP 17 LOT 132
LOT 3	16-20 RUGOSA WAY	MAP 17 LOT 133
LOT 4	X0X RUGOSA WAY	MAP 17 LOT X0X
LOT 5	15-19 RUGOSA WAY	MAP 17 LOT 142
LOT 6	21-25 RUGOSA WAY	MAP 17 LOT 134
LOT 7	27-33 RUGOSA WAY	MAP 17 LOT 135
LOT 8	35-41 RUGOSA WAY	MAP 17 LOT 136
LOT 9	43-51 RUGOSA WAY	MAP 17 LOT 137
LOT 10	53-59 RUGOSA WAY	MAP 17 LOT 138
LOT 11	63 RUGOSA WAY	MAP 17 LOT 139
LOT 12	54-60 RUGOSA WAY	MAP 17 LOT 140
LOT 13	62-64 RUGOSA WAY	MAP 17 LOT 141

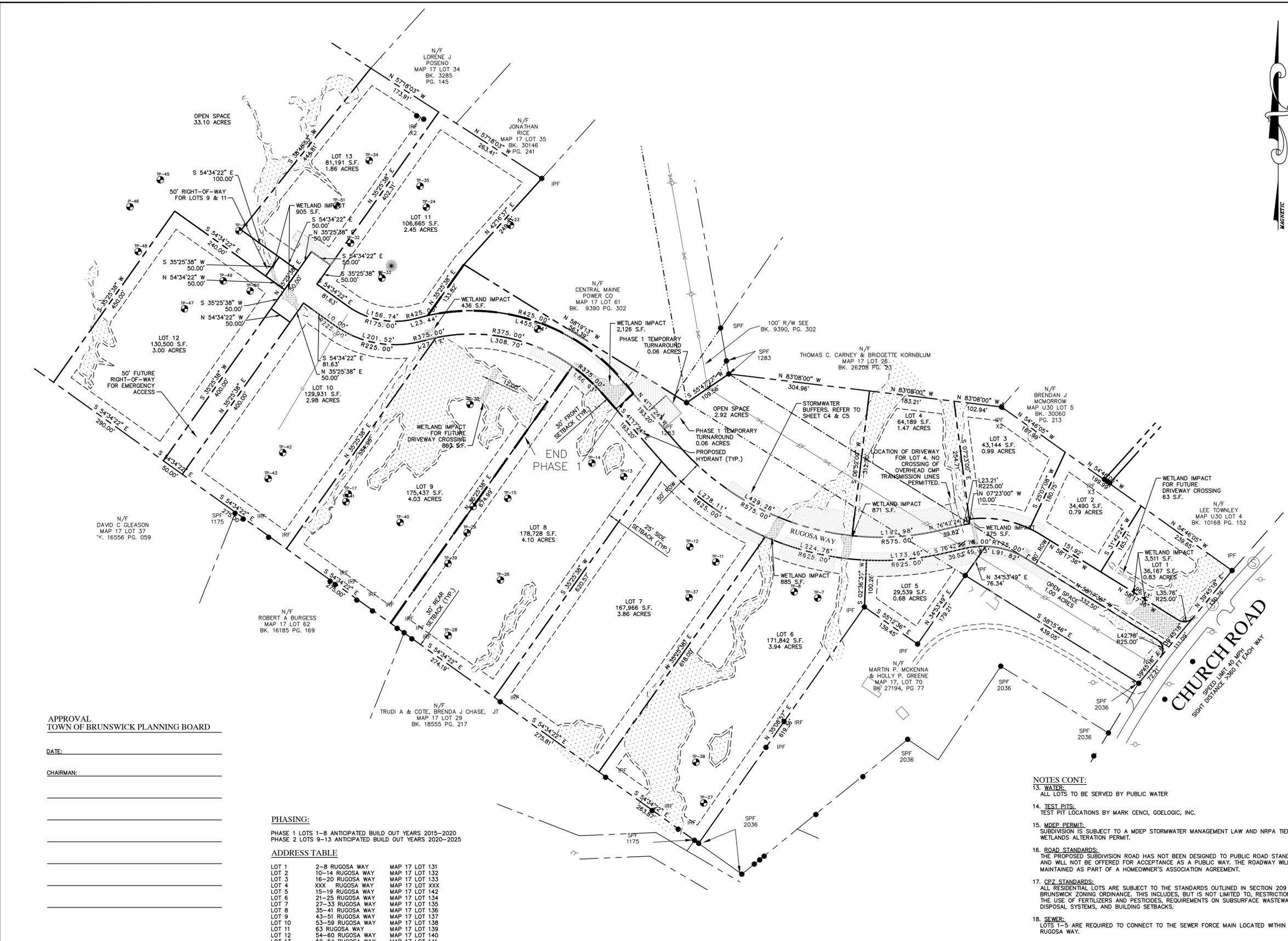
**SUBDIVISION PLAN - AMENDMENT 1
LOT BOUNDARY DETAILS**

PROJECT: MEADOW ROSE FARM SUBDIVISION
CHURCH ROAD, BRUNSWICK, MAINE

PREPARED FOR: TWO CLARKS, LLC
240 MAINE STREET, BRUNSWICK, MAINE

SITELINES, PA
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FIELD WK: KPC	SCALE: 1"=100'	SHEET:
DRN BY: JJM	JOB #: 2215	C3
CHD BY: CYN	MAP/LOT: 17/126	
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CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED _____

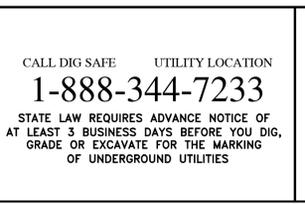
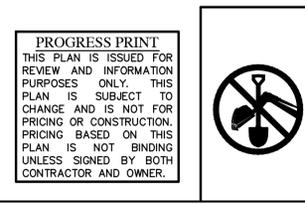
AT _____ HRS _____ MIN _____ M, AND

FILED IN PLAN BOOK _____ PAGE _____

ATTESTED: _____ REGISTER

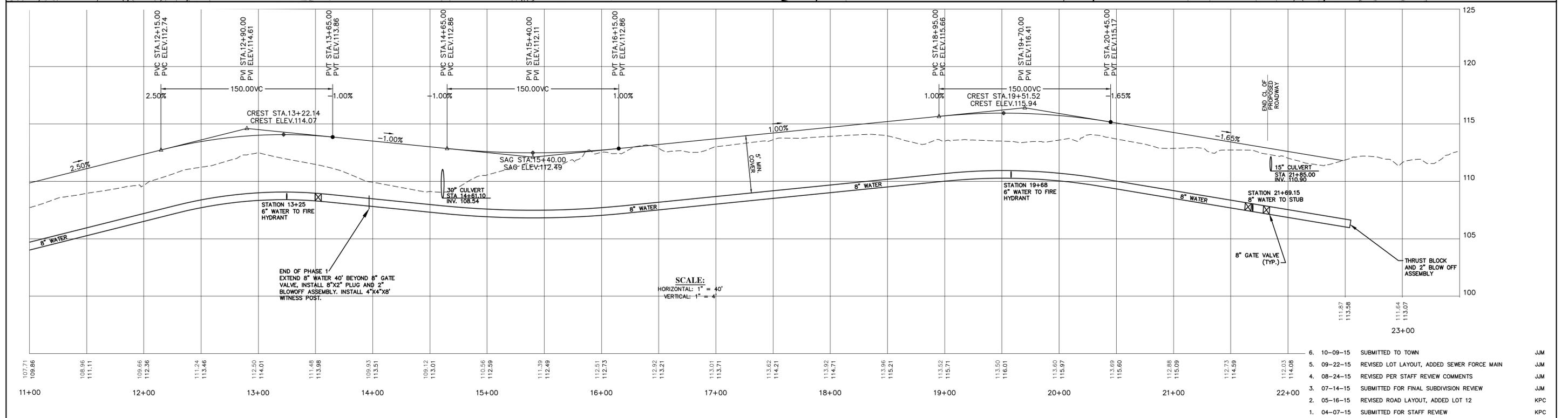
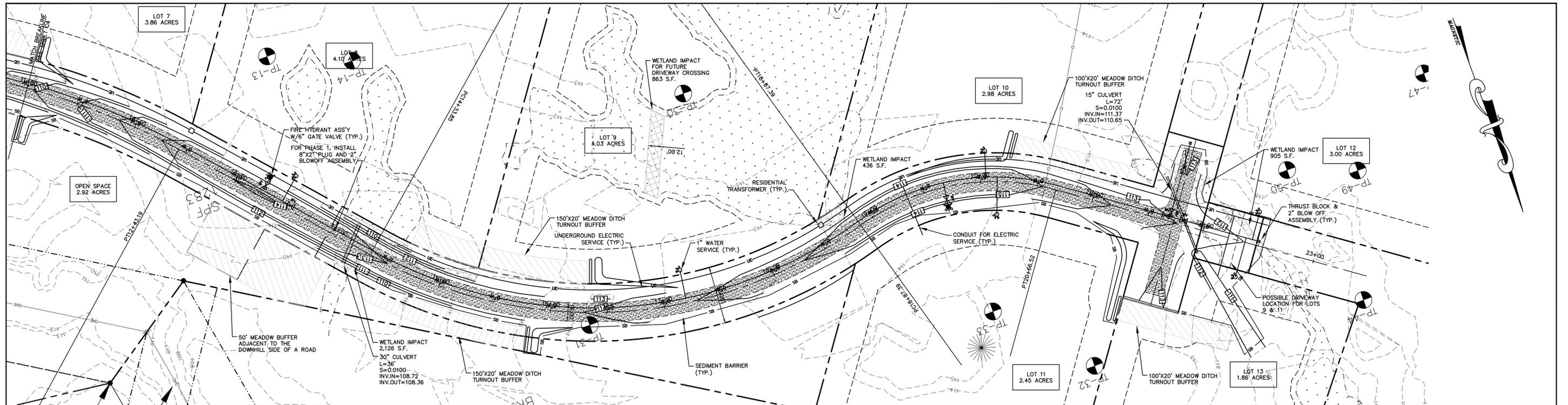
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STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



NOTES CONT:

- WATER:**
ALL LOTS TO BE SERVED BY PUBLIC WATER
- TEST PITS:**
TEST PIT LOCATIONS BY MARK CENCI, GEOLOGIC, INC.
- MDEP PERMIT:**
SUBDIVISION IS SUBJECT TO A MDEP STORMWATER MANAGEMENT LAW AND NRPA TIER 1 WETLANDS ALTERATION PERMIT.
- ROAD STANDARDS:**
THE PROPOSED SUBDIVISION ROAD HAS NOT BEEN DESIGNED TO PUBLIC ROAD STANDARDS AND WILL NOT BE OFFERED FOR ACCEPTANCE AS A PUBLIC WAY. THE ROADWAY WILL BE MAINTAINED AS PART OF A HOMEOWNER'S ASSOCIATION AGREEMENT.
- CPZ STANDARDS:**
ALL RESIDENTIAL LOTS ARE SUBJECT TO THE STANDARDS OUTLINED IN SECTION 209 OF THE BRUNSWICK ZONING ORDINANCE. THIS INCLUDES, BUT IS NOT LIMITED TO, RESTRICTIONS ON THE USE OF FERTILIZERS AND PESTICIDES, REQUIREMENTS ON SUBSURFACE WASTEWATER DISPOSAL SYSTEMS, AND BUILDING SETBACKS.
- SEWER:**
LOTS 1-5 ARE REQUIRED TO CONNECT TO THE SEWER FORCE MAIN LOCATED WITHIN RUGOSA WAY.

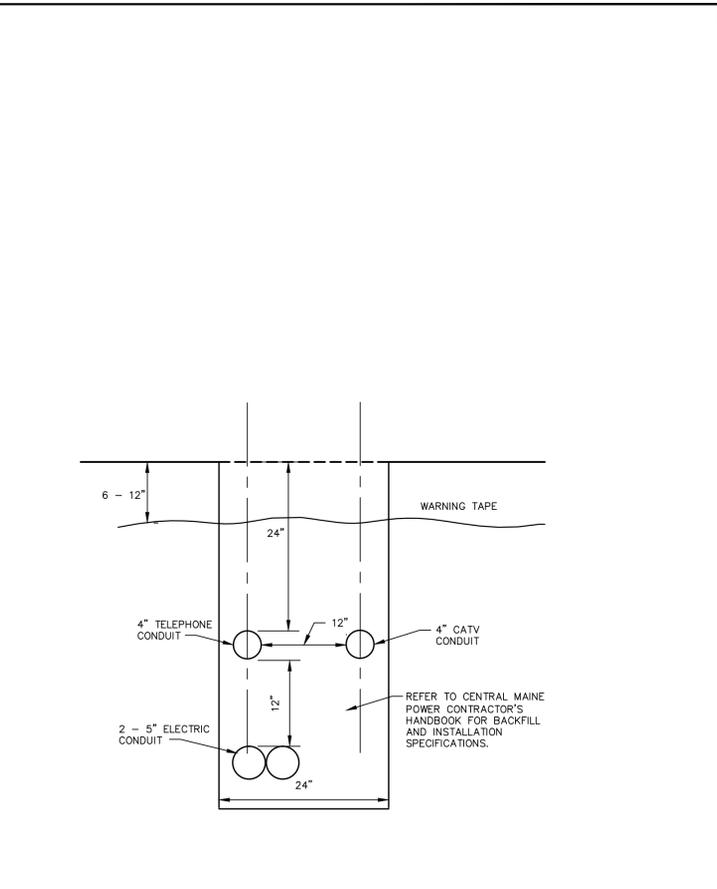
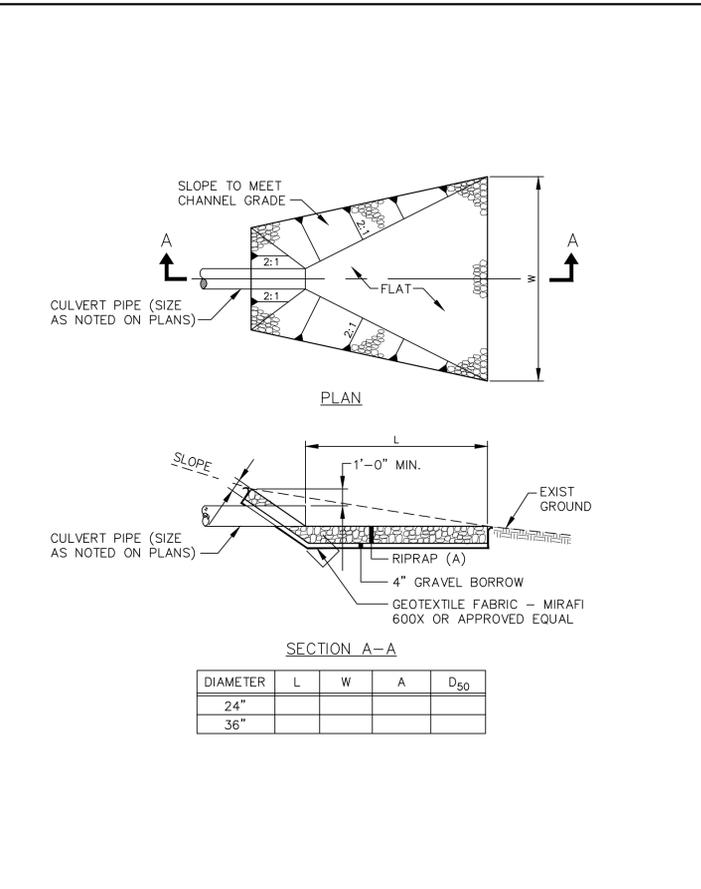
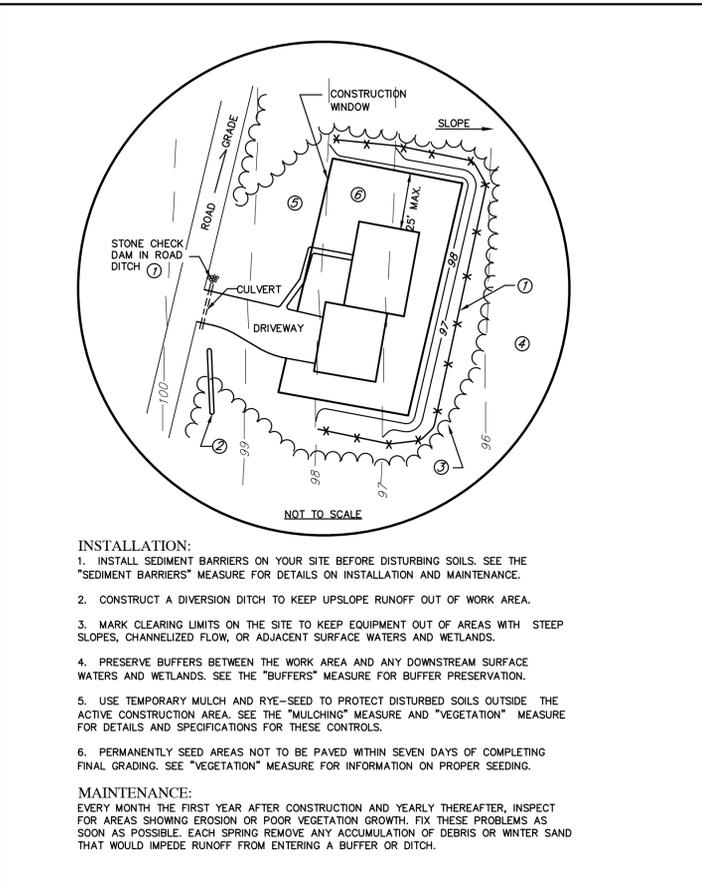
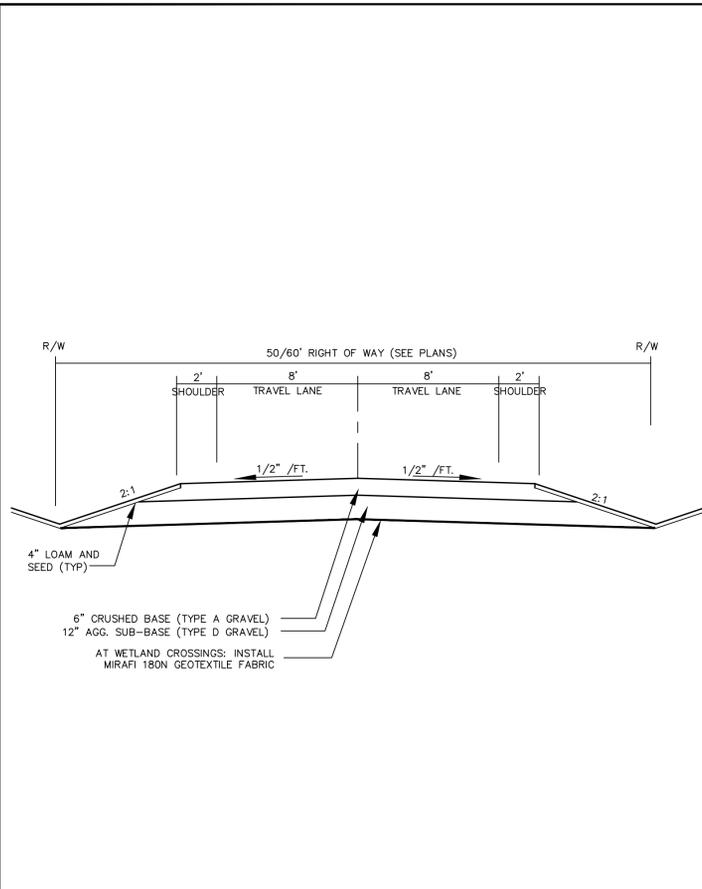


NOTES:

1. THE CONTRACTOR SHALL CONTACT DIGSAFE (888-344-7233) PRIOR TO COMMENCING EXCAVATION.
2. THE CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL CONTROL BEFORE BEGINNING WORK.
3. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. RESIDENTIAL LOTS ARE PERMITTED ONE 15-FOOT WIDE CROSSING THROUGH THE PROPOSED MEADOW BUFFERS FOR DRIVEWAY ACCESS.

6.	10-09-15	SUBMITTED TO TOWN	JJM
5.	09-22-15	REVISED LOT LAYOUT, ADDED SEWER FORCE MAIN	JJM
4.	08-24-15	REVISED PER STAFF REVIEW COMMENTS	JJM
3.	07-14-15	SUBMITTED FOR FINAL SUBDIVISION REVIEW	JJM
2.	05-16-15	REVISED ROAD LAYOUT, ADDED LOT 12	KPC
1.	04-07-15	SUBMITTED FOR STAFF REVIEW	KPC

<p>PROGRESS PRINT THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.</p>	<p>GRAPHIC SCALE</p> <p>(IN FEET) 1 inch = 40 ft.</p>	<p>CALL DIG SAFE UTILITY LOCATION 1-888-344-7233 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES</p>	<p>STATE OF MAINE JOSEPH J. MARDEN 12828 LICENSED PROFESSIONAL ENGINEER</p>	<p>TITLE: PLAN AND PROFILE STATION 11+00 TO 22+00</p> <p>PROJECT: MEADOW ROSE FARM SUBDIVISION CHURCH ROAD, BRUNSWICK, MAINE</p> <p>PREPARED FOR: TWO CLARKS, LLC 240 MAINE STREET, BRUNSWICK, MAINE</p> <p>SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com</p> <table border="1" style="width: 100%;"> <tr> <td>FIELD WK: KPC</td> <td>SCALE: 1"=40'</td> <td>SHEET:</td> </tr> <tr> <td>DRN BY: JJM</td> <td>JOB #: 2215</td> <td rowspan="3" style="font-size: 2em; text-align: center;">C5</td> </tr> <tr> <td>CHD BY: CYN</td> <td>MAP/LOT: 17/126</td> </tr> <tr> <td>DATE: 07/2015</td> <td>FILE: 2215-SITE-SUB-CARLSON</td> </tr> </table>	FIELD WK: KPC	SCALE: 1"=40'	SHEET:	DRN BY: JJM	JOB #: 2215	C5	CHD BY: CYN	MAP/LOT: 17/126	DATE: 07/2015	FILE: 2215-SITE-SUB-CARLSON
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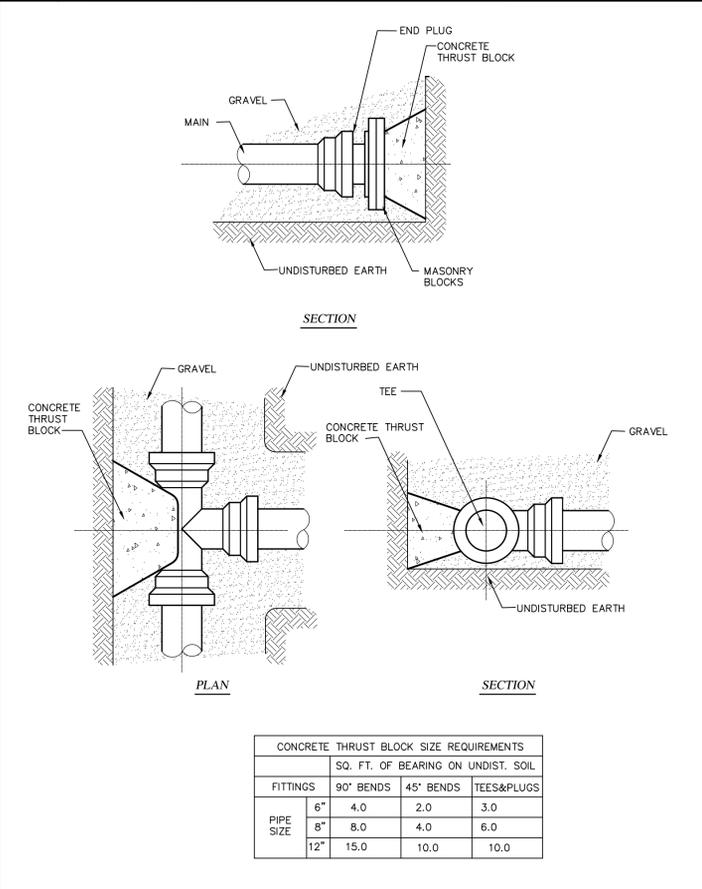
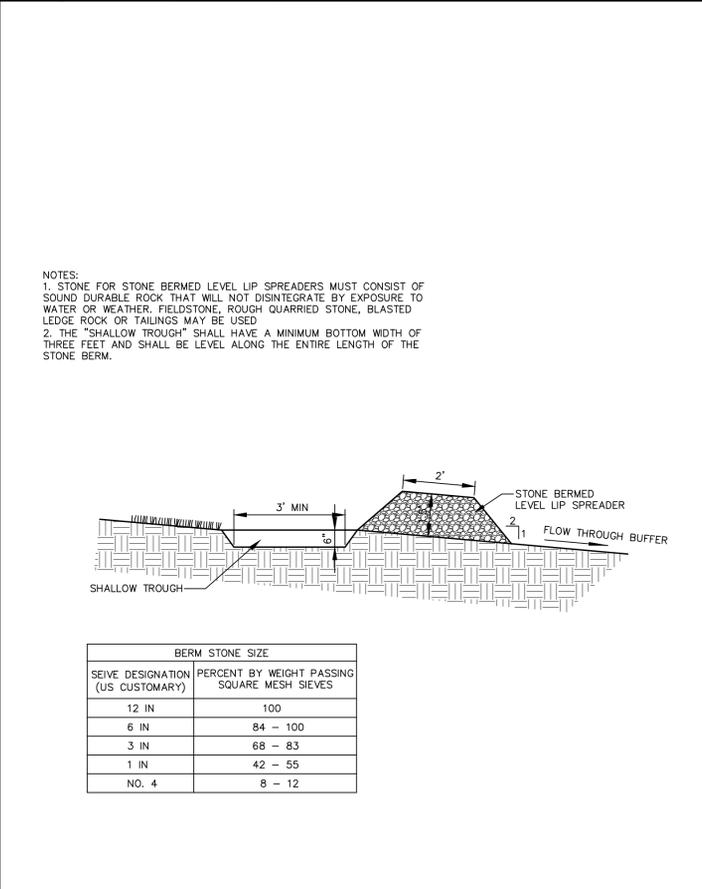


A TYPICAL ROAD SECTION
N.T.S.

B HOUSE SITE - BEST MANAGEMENT PRACTICES
N.T.S.

C RIPRAP INLET/OUTLET PROTECTION
N.T.S.

D UTILITY TRENCH
N.T.S.



6. 10-09-15 SUBMITTED TO TOWN JUM
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PROGRESS PRINT
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TITLE: SITE DEVELOPMENT DETAILS
PROJECT: MEADOW ROSE FARM SUBDIVISION
 CHURCH ROAD, BRUNSWICK, MAINE
PREPARED FOR: TWO CLARKS, LLC
 240 MAINE STREET, BRUNSWICK, MAINE

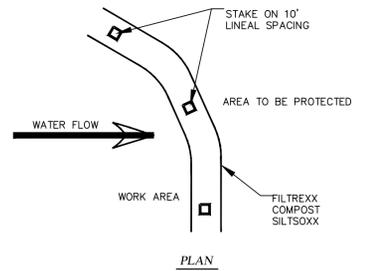
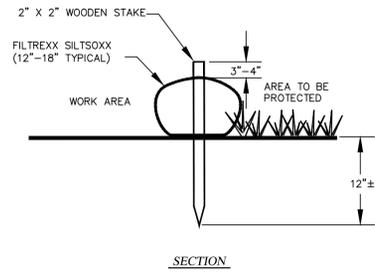
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 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 207.725.1200 www.sitelinespa.com

FIELD WK: KPC	SCALE: N/A	SHEET:
DRN BY: JJM	JOB #: 2215	C6
CHD BY: CYN	MAP/LOT: 17/126	
DATE: 07/2015	FILE: 2215-COVER-DETAILS	

E LEVEL LIP SPREADER
N.T.S.

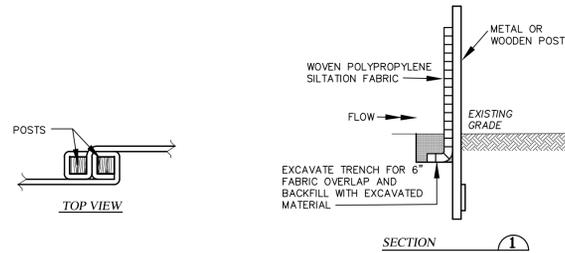
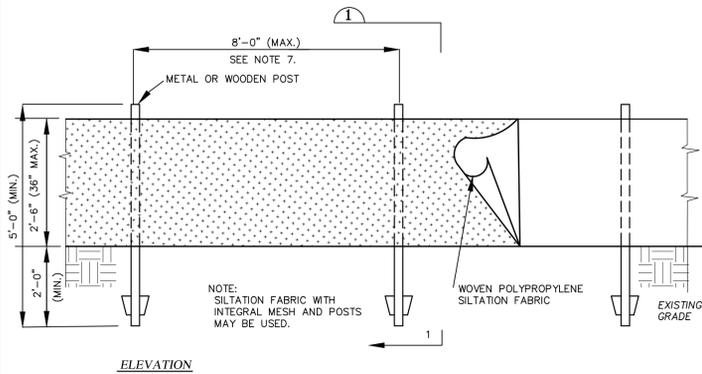
F THRUST BLOCK
N.T.S.

G



- NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILTISOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILTISOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

A FILTREXX SILTISOXX DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.



- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 5. JOIN SECTION AS SHOWN IN TOP VIEW.
 6. BARRIER SHALL BE MIRAFI SILT FENCE (100X) OR APPROVED EQUIVALENT.
 7. A STONE "FILLET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEVED IN.

B SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.

POST-CONSTRUCTION REVEGETATION:
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFFTURF", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW: (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQ.FT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 1/2 OZ.PER 1,000 SQ.FT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUILEGIA CANADENSIS COLUMBINE, ASCLEPIAS TUBEROSE BUTTERFLY MILKWEED, ASTER NOVAE-ANGLIAE NEW-ENGLAND ASTER, BAPTISIA AUSTRALIS WILD INDIGO, BOLTONIA ASTEROIDES FALSE ASTER, CHRYSANTHEMUM LEUCANTHEMUM OXEYE DAISY, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPY, RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQ.FT. OR 4 OZ. PER 1,000 SQ.FT. IN COMBINATION

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
 - I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 - III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
- B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.

4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
 - A. ONLY UNFROZEN LOAM SHALL BE USED.
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 - E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
 - F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING, TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.

5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

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2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

SITE INSPECTION AND MAINTENANCE:

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.

2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

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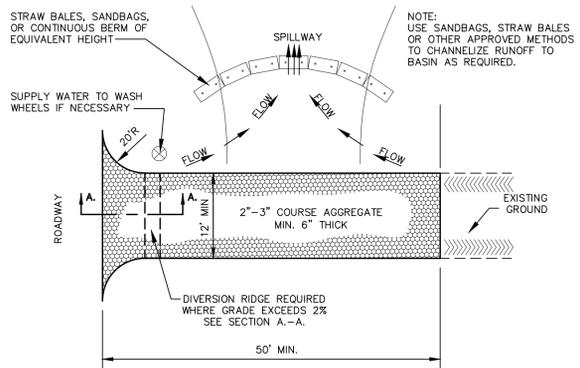
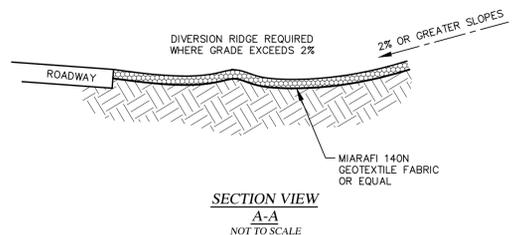
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2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.



- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.

C STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION PHASE:
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 15 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.

3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
 - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 - C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.

4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE EITHER:
 - A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
 - B. SEEDDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)

6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

EROSION CONTROL DURING WINTER CONSTRUCTION:

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.

5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SOODED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.

6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30S.

7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCLISIOR OR CURLEX.

8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.

9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

6.	10-09-15	SUBMITTED TO TOWN	JJM
5.	09-22-15	REVISED LOT LAYOUT, ADDED SEWER FORCE MAIN	JJM
4.	08-24-15	REVISED PER STAFF REVIEW COMMENTS	JJM
3.	07-14-15	SUBMITTED FOR FINAL SUBDIVISION REVIEW	JJM
2.	05-16-15	REVISED ROAD LAYOUT, ADDED LOT 12	KPC
1.	04-07-15	SUBMITTED FOR STAFF REVIEW	KPC

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

TITLE: EROSION CONTROL DETAILS & NOTES

**PROJECT: MEADOW ROSE FARM SUBDIVISION
CHURCH ROAD, BRUNSWICK, MAINE**

**PREPARED FOR: TWO CLARKS, LLC
240 MAINE STREET, BRUNSWICK, MAINE**

STATE OF MAINE
PROFESSIONAL REGISTERED
JOSEPH J. MARDEN
12828
LICENSED
PROFESSIONAL ENGINEER

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: KPC	SCALE: N/A	SHEET:
DRN BY: JJM	JOB #: 2215	C7
CHD BY: CYN	MAP/LOT: 17/126	
DATE: 07/2015	FILE: 2215-COVER-DETAILS	

**DRAFT FINDINGS OF FACT
Bangor Savings Bank Building
Combined Sketch/Final Site Plan Review
Review Date: October 13, 2015**

Project Name: Bangor Savings Bank Building
Address: 45 Maine Street/11 Mason Street
Brunswick, ME 04011
Case Number: 15-040
Tax Map: Map U14, Lots 163 & 164
Zoning: Town Center 1; Village Review Overlay Zone
Applicant: CJ Properties, Inc.
35 Primrose Drive
Freeport, Maine 04032

Authorized

Representative: David Latulippe
35 Primrose Drive
Freeport, Maine 04032

Staff reviewed the application and has made a determination of completeness.

PROJECT SUMMARY

Staff review is based on the following application materials:

- Major Development Review application packet dated August 20, 2015.
- Village Review Board applications for Certificates of Appropriateness for Demolition and New Construction; Architectural renderings conditionally approved by Village Review Board on October 1, 2015.

The project involves the demolition of the existing mixed use building at 11 Mason Street and the redevelopment of the combined lots of 11 Mason Street and 45 Maine Street totaling 19,641 square feet, with a one-story, approximately 3,700 square foot structure, a rear-facing 2-vehicle drive-through facility and 15-space landscaped parking lot. The structure will serve as the new Brunswick branch office of Bangor Savings Bank. The proposed development is located within the Town Center 1 (TC1) Zoning District and the Village Review Zone.

The Village Review Board reviewed and conditionally approved Certificates of Appropriateness for Demolition and New Construction in accordance with Section 216, Village Review Overlay Zone, of the Brunswick Zoning Ordinance. The approved Findings of Fact and Certificates of Appropriateness are attached.

The application is submitted as a combined Sketch-Final Major Development Review at the recommendation of Planning Staff.

The Staff Review Committee reviewed the combined submission on August 26, 2015; the meeting notes are included in the packet.

No waivers have been requested.

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The proposed development complies with all applicable provisions and standards of the TC1 Zoning District. *The Board finds that the provisions of Section 411.1 are satisfied.*

411.2 Preservation of Natural Features

There are no wetlands, surface waters, wildlife habitats, steep slopes, or other natural resources on this site. The redevelopment does not occur within or cause harm to any land which is not suitable for development. *The Board finds that the provisions of Section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands and Marine Resources

There are no surface waters, wetlands or marine resources located at the project site. The project site is and will continue to be serviced by the Town's existing stormwater drainage system. There will be no new adverse impacts on Casco Bay or its estuaries. *The Board finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

The FEMA Flood Insurance Rate Map indicates that the project is not located within a FEMA flood hazard area; therefore there is minimal risk of flooding. *The Board finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The project site is comprised of 19,641 square feet of land area which contains 16,750 square feet of developed unvegetated surfaces. The proposed activity will result in reducing unvegetated areas to 14,900 square feet and creating new landscaped areas. A six-inch wide foundation drain line is proposed to be installed around the perimeter of the new building. The perimeter drain is proposed to connect to an existing catch basin on Maine Street with a new four-inch wide foundation drain. Two (2), 24-inch wide field drains within new landscaped areas located south of the proposed building will tie into the field drain system. The proposed parking area will be graded towards new raised curbing located along the north and northeast perimeter of the new parking lot. The proposed raised curbing will be oriented to allow stormwater to drain out of the parking lot to a new riprap slope at the north edge of the parking lot and a new riprap plunge pool and associated level spreader at the northeast edge of the parking lot. The Director of Public Works reviewed the project and found the proposed stormwater management system to be acceptable provided a street opening permit is approved.

The Board finds that the provisions of Section 411.5 are satisfied with the condition that prior to issuance of a Building Permit, a street opening permit must be approved by the Department of Public Works.

411.6 Groundwater

The site will continue to be serviced by public water and sewer. The site is not located within an Aquifer Protection Zone. The Board finds that the development will not - alone or in conjunction with existing activities - adversely affect the quality or quantity of groundwater. *The Board finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

An Erosion and Sedimentation Control Plan has been developed for the project placing emphasis on the installation of sedimentation barriers and revegetation to minimize erosion potential from development activities during and after construction. The Erosion Control Plan is incorporated into the design plans and will be constructed in accordance with Best Management Practices and will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. The Town Engineer has reviewed the application and concurs that the proposed Erosion and Sedimentation Control Plan is acceptable. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

Public sewer will continue to be utilized through the Brunswick Sewer District. A letter from the District confirming capacity to serve the project is included in the packet. *The Board finds that the provisions of Section 411.8 are satisfied.*

411.9 Water Supply

Water for this project will continue to be provided by the Brunswick-Topsham Water District. A letter from the District confirming capacity to serve the project is included in the packet. *The Board finds that the provisions of Section 411.9 are satisfied.*

411.10 Aesthetic, Cultural and Natural Values

There are no water bodies, streams, wetlands, vernal pools, wetlands, surface waters, wildlife habitats, steep slopes, or other natural resources on the site.

The proposed building design and its design elements have been conditionally approved by the Village Review Board. The design is visually compatible to with the existing mass, scale and materials of the surrounding resources comprising the Maine and Mason streetscapes. Staff notes that the Village Review Board approved the demolition and redevelopment plans at their September 15th and October 1st meetings, respectively. Staff is currently working with the applicant in finalizing the redesign of the drive-through roofline per the instructions of the Village Review Board.

A lighting photometric plan has been submitted. The lighting photometric plan was available as part of the Staff Review packet, but as an extra precaution, a condition of

approval has been added that the lighting photometric plan be approved by the Town Engineer prior to issuance of the Building Permit.

The Town Arborist worked closely with the applicant during the Sketch Plan review process and, after several revisions, found the proposed landscaping plan elements to be largely acceptable with the exception of the southwest corner of the parcel as stated in email correspondence dated October 7, 2015. A landscaping plan acceptable to the Town Arborist will be added as a condition of approval. Overall, no undue adverse effects have been identified regarding impacts to the scenic or natural beauty of the area, historic sites, significant wildlife habitat, or rare and irreplaceable natural areas, as identified by the Maine Departments of Environmental Protection, the Maine Department of Inland Fisheries & Wildlife, or by the Town of Brunswick. *The Board finds that the provisions of Section 411.10 are satisfied, with the conditions that prior to issuance of a building permit, the Town Arborist must approve the landscaping plan; and the Public Works Director must approve the lighting photometric plan.*

411.11 Community Impact

There will be no significant change in water use, sewage disposal, or solid waste disposal, compared with the previous, more significant, mixed uses structures. There will be no impacts to the public school system or Town recreation resources. Impacts to public safety and public works resources will be negligible. In general, municipal resources are available to service the project. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

Presently, four (4) driveway curb cuts exist for the combined parcel, (3) of which will be eliminated. Access to the 15-space parking lot will be from Mason Street at a location furthest from the intersection of Maine and Mason Streets. New sidewalk and curbing along the entire frontage of the combined parcel will be installed by the developer. The Director of Public Works reviewed the proposed sidewalk improvements and requested the replacement sidewalk width along Mason Street be increased to five (5) feet wide as measured without including the curb as part of the sidewalk width. Currently the sidewalk width is proposed to be four (4) feet wide without including the proposed curbing.

The net floor area of approximately 3,700 square feet requires 11 parking spaces per Section 512.2 of the Brunswick Zoning Ordinance (3 spaces per 1,000 square feet for office uses). Fifteen spaces are provided onsite, in addition to 3 on-street parking spaces located on Maine Street. The applicant has indicated that the parking lot will be available to the general public during non-business hours. The majority of the rear parking lot is shielded from street view by extensive landscaping.

The two drive-through banking lanes, also located to the rear of the structure, are also accessed through the parking lot only. No access is proposed from Maine Street. Anticipated traffic from the redevelopment relatively low and does not require a MaineDOT Traffic Movement Permit. Overall, the proposed development is not

anticipated to cause unreasonable public road congestion or unsafe conditions, and the traffic associated with the development is expected to maintain existing levels of service within 200 feet of the existing curb-cuts. *The Board finds that the provisions of Section 411.12 are satisfied conditioned upon increasing the proposed sidewalk width to five (5) feet wide as approved by the Town Engineer.*

411.13 Pedestrian and Bicycle Access and Safety

The existing brick paver sidewalk along the combined parcel frontage will be replaced with same. In addition, an on-site sidewalk is provided linking the parking lot to the Mason Street entrance of the building. A bicycle rack of a design requested by the Brunswick Bicycle and Pedestrian Committee will be installed near the corner of the structure at Maine and Mason Streets. The project will accommodate bicyclists and pedestrians and adequately addresses access, safety and circulation, both within the site and to points outside the site. *The Board finds that the provisions of Section 411.13 are satisfied.*

411.14 Development Patterns

The professional office use is anticipated to be less intensive than the former apartment and commercial uses onsite. This infill development project is respectful of Brunswick's historic development pattern as previously stated above (Section 411.10) and will have no adverse impact on nearby commercial uses and residential neighborhoods. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

As stated previously, the proposed building design and its design elements are visually compatible with the existing mass, scale and materials of the surrounding structures.. The proposed building provides for traditional design elements found along Maine Street and add contemporary features such as solar window awnings. The structural design complies with Brunswick Zoning Ordinance Section 216.9.B requirements for new construction within the Village Review Overlay Zone, in particular those specific to Maine Street buildings. Primary building materials are brick and glass with extensive cornice work. Staff notes that the Village Review Board approved the demolition and redevelopment plans at their September 15th and October 1st meetings, respectively. Staff is currently working with the applicant in finalizing the redesign of the drive-through roofline per the instructions of the Village Review Board. *The Board finds that the provisions of Section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

A dumpster is located to the northeast corner of the building and will be screened by fencing. A solid waste impact fee was determined to be unnecessary by the Director of Public Works. *The Board finds that the provisions of Section 411.16 are satisfied.*

411.17 Recreation Needs

A recreation impact fee is not required for this nonresidential use. *The Board finds that the provisions of Section 411.17 are not applicable.*

411.18 Access for Persons with Disabilities

The proposed building and site will be ADA compliant. *The Board finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The applicant has demonstrated adequate financial and technical capacity to complete and maintain the project. *The Board finds that the provisions of Section 411.19 are satisfied.*

411.20 Noise and Dust

During construction, work will be done in consideration of reasonable times and decibel levels, and in accordance with the Section 109 of the Brunswick Zoning Ordinance. Best Management Practices will be used in order to prevent dust migration during demolition and construction. Upon project completion the proposed development is not anticipated to contribute to unreasonable noise or dust. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

Executed purchase agreements for 11 Mason Street and 45 Maine Street are included in the packet, giving them sufficient right, title and interest to develop the land. *The Board finds that the provisions of Section 411.21 are satisfied.*

411.22 Payment of Application Fees

The applicant has paid all applicable development review application fees. *The Board finds that the provisions of Section 411.22 are satisfied.*

**DRAFT MOTIONS
BANGOR SAVINGS BANK
CASE NUMBER: 15-040**

Motion 1: That the Major Development Review Combined Sketch/Final Site Plan application is deemed complete.

Motion 3: That the Major Development Review Combined Sketch/Final Site Plan is approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. Prior to issuance of a building permit, the Town Arborist shall approve the landscaping plan.
3. Prior to issuance of a building permit, the Department of Public Works shall approve a Street Opening Permit.
4. Prior to issuance of a building permit, the Town Engineer shall approve the lighting photometric plan.
5. Prior to issuance of a building permit, the proposed sidewalk width shall be increased to five (5) feet wide as approved by the Town Engineer.

** Please note that Development Review Site Plan approvals by the Planning Board shall expire at the end of two years after the date of final approval unless all construction has been completed by that date (Section 407.4.B of the Brunswick Zoning Ordinance).*

August 26, 2015

STAFF REVIEW COMMITTEE NOTES

Staff present:

Anna Breinich (Planning and Development Director), Jeff Hutchinson (Codes Enforcement), Jared Woolston (Planning), Peter Baecher (Parks and Recreation Department), Rob Pontau, (Sewer District), John Foster (Public Works) and Dick Rizzo (Police Department). Non-voting staff: Julie Erdman (Administrative Assistant)

Applicants present: Steve and Susan Loeb; Byron Bouchard; Will Conway, Sebago Technics; Bob Rocheleau, MRRA; Jan Wiegman, Wright-Pierce; David Latulippe, CJ Developers Inc.; Doug Reynolds, Gorrill-Palmer.

Public present: Elizabeth Butler, Peter Blyberg and Ned Ford.

1. **Case # 15-035 – 25 Monument Lane:** In accordance with Section 304.8.B of the Brunswick Zoning Ordinance, the Staff Review Committee will review and take action on a **Minor Development Review** application submitted by Susan and Stephan Loeb to demolish an existing residence and build a new residence, on an 11,326 square foot parcel located at 25 Monument Lane. **Located in the Coastal Protection 1 (CP1) Zoning District and Natural Resource Protection Zone; Assessor’s Map MP1, Lot 6.**

Present for applicant/comments from the applicant: Stephen Loeb (Applicant/Owner) and Byron Bouchard (Authorized Representative)

Stephen Loeb indicated that his home (existing structure) contains rotting rafters he was advised to demolish and replace that structure within the existing square footage. Byron Bouchard (representative for applicant) represented himself as a contractor with 6 Rivers Construction and indicated that the home was purchased in 1995.

Staff comments/questions of applicant:

Anna Breinich

- Indicated that the project is within the Natural Resources Protection Zone (NRPZ) and therefore requires staff review for approval and does not require planning board approval.

Jeff Hutchinson:

- Indicated that he has been on-site twice and has been working with the contractor and owner to determine the location for the proposed replacement home. Jeff further indicated that the proposed location appears to meet the ordinance; however, the proposed 12-foot wide patio (towards the resource) seems excessive and asked if the patio could be reduced as 8-10 feet wide should be sufficient. BB: Stairs will go down to side, tree root system may interfere when reducing size of patio. JH: Is eight feet okay? SL Yes.
- Stairs on the side are further from shore so that is good. At the rear of the building you have mature trees and the septic tank and pump station, so it would be hard to move the home elsewhere (in consideration of moving to greatest practical extent from resource).
- We will look at closer at square footage for expansion during building permit process. The proposal is well within the impervious surface requirements.
- Shared septic system? How many existing and proposed bedrooms? SL: 3 Existing & 3 Proposed. I believe each of the four homes on leach field has three bedrooms. AB: Doesn't "shed" have a guest bedroom? SL: Yes.

Rob Pontau:

- System (septic) is approved for 14 bedrooms which includes four bedrooms at 25 Monument, so as long as there is no increase will send email confirmation for permit to Jeff Hutchinson.

Peter Blyberg, abutter, indicated septic system mound is listed for 14 bedrooms, 4 for 15 Monument, 4 for 19 Monument, 3 for 23 Monument, and 3 for 25 Monument.

Elizabeth Butler, abutter stated that variance was granted for septic for 14 bedrooms only and it is important to bring into conformity, it is the right thing to do for communal system. Trust that square feet, volume, and impervious surface will be addressed in the permit process. As far as location of structure to proximity of water - would like to see patio move to current deck location due to erosion in the area. Think runoff will increase problems and moving will minimize them. We are one good storm away from big problem.

BB: Soil will be disturbed in construction anyway. Patio will be pervious surface.

EB: Please don't allow.

JH: Square footage of structure is not increasing.

EB: Patio and house should be viewed differently.

JH: Not the way it is done. Pervious pavers are a big help. Need retaining wall or something to stabilize the area.

EB: Please analyze impacts on abutters and do not allow new outdoor space.

EB: Please issue no blasting restriction for this project.

JH: We can't. Blasting is allowed in town without a permit.

EB: Is NRPA permit needed?

JW: In my opinion, yes, within 75 feet of coastal wetland.

JH: Simple one page permit process, Jared can help you with.

Ned Ford: Live across from cove and support project and know that they will meet are requirements.

John Foster:

- Have you settled on pervious block? There are different types and recommended installations. Applicant should submit type and manufacturer recommended installation to make sure it is being met.

AB: Application deemed complete?

Moved for approval by Jeff Hutchinson, Dick Rizzo seconded. All in favor, none opposed – motion passed.

Plan application with conditions:

1. That the Committee's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. Patio reduced to eight feet wide and site plan revised to show revised patio, septic tank and pump station.
3. Prior to building permit, submit a NRPA permit to DEP
4. Prior to building permit, submit manufacturer's pervious paver installation information

Moved for approval by Rob Pontau, Jeff Hutchinson seconded. All in favor, none opposed – motion passed.

SL: Next steps?

JH: You've submitted some information, at this point you can meet with Carl – Julie can schedule a meeting for you. He'll look at 30%. All conditions go to Anna Breinich.

2. **Case # 15-037 Brunswick Landing Subdivision Lots 30 and 32 Amendment:** The Committee will review and provide comment to the Planning Board regarding a combined **Major Development Review** application, submitted by Sandy River II, Inc., dba Sandy River Company, to revise boundary lines for Lots 30 and 32 of the approved Brunswick Landing Subdivision Plan, Phase 1. **Located in BNAS Reuse Zoning District Reuse-Residential (RR); Assessor's Map 40, Lots 50 & 82.**

Present for applicant/comments from the applicant: Will Conway, Sebago Technics and Bob Rocheleau, MRRA.

WC: Landry French is the construction manager, plan to start in October. Need nine acres for Avita Project. The proposed change will result in 9.3 acres on Lot 32 and Lot 30 would retain 9.4 acres. Avita owners agreed to easement for access (recommended by Planning Board) and signage to Lot 30. There is also a sewer easement.

BR: Want to make sure we are all on board with the lot lines moving - MRRA still owns the property. Steve Levesque has been away and will check with him on this.

Staff comments/questions of applicant:

Jeff Hutchinson:

- Plan will have to be re-recorded after amendment approved by Planning Board.

3. **Case # 15-020 Brunswick Landing Subdivision, Phase 2:** The Committee will review and provide comment to the Planning Board regarding a **Final Plan Major Development Review** application submitted by the Midcoast Regional Redevelopment Authority for the proposed creation of eleven (11) new lots, a proposed private street to intersect with Orion Street, and associated improvements. The project is situated on 21.55 acres to the east of Orion Street, in the **BNAS Reuse District, within the Business & Technology Industries Land Use District (RBTI). Assessor's Map 40, Lots 55 & 81.**

Present for applicant/comments from the applicant: Jan Wiegman, Wright-Pierce and Bob Rocheleau, MRRA.

Staff comments/questions of applicant:

Anna Breinich:

- Sketch was for 7 lots but now 4 lots have been added for a total of 11 proposed lots because additional land was conveyed. Jan W: 9 acres already conveyed. FOST issued for lots 52; 3, 4 and 5. Entire site covered by purchase and sales agreement, all to be conveyed at some point. Nothing has changed with Commerce Drive. We mapped wetlands around ponds and have kept lots out of ponds. We put a lot line down wetland finger. Utilities are there. Porous pavement roadway to meet stormwater standards. Meet with DEP next week to answer questions they have about permit.

Jeff Hutchinson:

- What's on lot 55? Jan W: 2 Buildings and sewage pump structure.

- Lot 54? BR: Neptune galley, hobby shop on corner of 53.
- Lots seem to meet all space and bulk requirements.
- Jan W: Extended road to give access to 41 and 59. Did not want to put road to end if we'd never need it. Have temporary easement to turnaround. BR: Would look like the end of princess point with a possibility of connection in the future.

John Foster:

- We don't allow a public road turnaround to also be used for driveway lot access but this is a planned private road so we don't require the turnaround to be located beyond any lot driveway.
- AB: There are road standards. Jeff Emerson couldn't be here so we'll get his comments later. Interconnectivity will come up at planning board.
- Hydrant is located in a 3' drop off area at end of road. Do not think Fire Dept. will like this location.
- Shows swale at Lot 48. Development would have to deal with runoff, can't fill lot.

4. Case # 15-040 Bangor Savings Bank: The Committee will review and provide comment to the Planning Board regarding a combined **Major Development Review** application submitted by CJ Properties, Inc. for the construction of a new 3,400 square foot Bangor Savings Bank facility, including two drive-up windows, pocket park and parking lot. The project is located on a 19,641 square foot parcel at the NE corner of Maine and Mason Streets, in the **Town Center 1 (TC1) Zoning District and Village Review Overlay Zone. (Assessor's Map U14, Lots 163 and 165.**

Present for applicant/comments from the applicant: David Latulippe (DL), CJ Developers Inc., and Doug Reynolds (DR), Gorrill-Palmer

DL: Corner of Mason and Maine. Corner is too small of a lot without taking Blessings as well. Blessings finally agreed to sale due to condition of building. Have pocket park plans to be reviewed by Wallace Penfold - BSB will maintain. Proposing all new pavers in town ROW (at BSB cost). Effect on traffic is minimal. We do need "no parking" signs on Mason in right arrow area.

DR: Going from four curb cuts to one. Right turn drive through raised concrete island to provide space for dumpster. Will be able to provide one more parking spot on Maine. Placed building parallel to road – better visually. Directing runoff towards route 1 corridor through riprap slope. Utilities there, want natural gas but can't do this year.

DL: Side entrance visible from Maine St. Bike rack. Sidewalk access to pocket park. Solar awnings, hip roof, red brick to look like older buildings, fits in with adjacent roof lines. Met with members of downtown historic district and they are pleased with plan.

Staff comments/questions of applicant:

John Foster:

- Curb moving down. May have to get pulled back a bit - narrowing roadway. Have 12 ½' for each lane (25').
- Looked at site drainage and have no issue as proposed plan has less impervious area.
- ROW is minimal here. Town doesn't even own enough for sidewalk but BSB has agreed to provide easement for town sidewalk at intersection as shown on the plan. There are existing curb tip downs along Mason Street for discontinued driveways that need to be raised or replaced. DL: We'll replace. We want it to look nice.
- At driveways, provide a straight curb tip-down to roadway, no bullnose or radius curb across the sidewalk space.

Jared Woolston:

- Meet with BBPAC? DL: Sure, just say when. JW: Will send dates.

Jeff Hutchinson:

- How will dumpsters be accessed with a full lot? DG: It will be after hours.
- How about arrows on pavement at entrance in addition to parking lot arrows? DL: Sure.
- Road frontage? DR: 105' on Maine, 107' on Mason.
- How will folks coming from Federal know this bank? DL: Wall sign. Have monument sign on Maine St.

Peter Baecher:

- Possible tree in bump out before bridge. JF: That location won't work with our road crew.
- Will review landscape plan more but looks good. DL: It's a native plant combination.

Dick Rizzo:

- Not sure if Mason Street is designated a no parking zone in ordinance. Would need to go to Town Council to get approval on "no parking" signs. JF checked traffic ordinance and Mason Street is already in ordinance for no parking for entire length, both sides. Therefore, town can erect no parking signs now if deemed needed.

END

Subject: RE: Final Comments - Bangor Savings Bank Site Plan, October 7th Submittal, Maine and Mason Streets

From: John Foster
Sent: Friday, October 09, 2015 2:35 PM
To: Jared Woolston
Cc: Anna Breinich; Doug Reynolds (dreynolds@gorrillpalmer.com); 'David Latulippe'
Subject: Final Comments - Bangor Savings Bank Site Plan, October 7th Submittal, Maine and Mason Streets

Jared,

I have reviewed the October 7th update and August 20, 2015 submittal for BSB and offer the following comments for consideration by the Planning Board for their final review:

1. We request the replacement sidewalk width along Mason Street be 5.0 feet as measured from the back of the curb (that is, do not included the curb top as part of the sidewalk width).
2. I have reviewed the traffic assessment by Randy Dunton, Gorrill-Palmer and concur the project has no significant traffic impact and, in fact, will be reducing the number of existing curb cuts from four to one which is an improvement.
3. I have reviewed the site lighting photometric plan and it appears acceptable but a calculation zone for just the parking area and aisles needs to be provided and the light levels in the parking area should

Town of Brunswick Public Parking Lots Recommended Illumination Levels		
By: John Foster, Town Engineer		Print Date: March 26, 2015
Criteria	Recommended Level	
Average Maintained Lighting Level	0.8	foot-candles
Minimum Light Level	0.2	foot-candles
Uniformity Ratio	20 : 1	Maximum/Minimum
Uniformity Ratio	4 : 1	Average/Minimum

meet or exceed the following:

4. We are not recommending any solid waste impact fee as the net change in solid waste for the bank versus the former commercial and residential uses that were on these lots would represent a decrease in solid waste generation.
5. As indicated on page 2 of the August 20, 2015 submittal letter, I am satisfied with the storm water management plan and since there is a decrease in impervious area do not require a detailed analysis.
6. The replacement and revisions to the town curb and sidewalk and foundation drain connection to our storm drain will require a Street Opening Permit from Public Works and applications are available on the town website.

Thank you for the opportunity to review the updated plan and information, John

John Foster, Town Engineer/Public Works Director
Town of Brunswick
207.725.6654

The building is a replacement of the historic Hinkley/Days Block destroyed by fire in April 2011. The original mixed use structure was larger in mass and scale than what is being proposed and also to structures presently existing along this portion of Maine Street and Mason Street. The 11 Mason Street structure was “saved” from similar destruction at the time of the fire. However, based on the attached structural engineering reports and owner observations, it is in a non-salvageable deteriorated condition. The proposed structure is designed to be more compatible in character to this area of Maine Street.

B. New Construction, Additions and Alterations to Existing Structures.

- 1. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:**
 - a. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource. *Not applicable.***
 - b. Alterations shall remain visually compatible with the existing streetscape. *Not applicable.***
 - c. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions. *Not applicable.***
 - d. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources. *The proposed building design and its design elements are visually compatible with the existing mass, scale and materials of the surrounding resources. It provides for traditional design elements found along Maine Street as stated in the application narrative with compatible contemporary styling. Primary building materials are brick and glass with elaborate cornice work along the eaves. Solarized “awnings” will be used to offer weather and sun protection while generating renewable energy for the building. Building materials, overall design, height and setbacks are consistent with adjacent structures along these blocks of Maine and Mason Streets.***
 - e. When constructing additions, the applicant shall maintain the structural integrity of existing structures. *Not applicable.***
 - f. For new construction of or additions to commercial, multi-family and other non-residential uses the following additional standards shall apply:**
 - 1) Parking lots shall be prohibited in side and front yards, except if the application involves the renovation of existing structures where such a configuration currently exists. In cases where such parking configurations exist, the parking area shall be screened from the public right-of-way with landscaping or fencing. *Currently, an 18-space parking lot faces Mason Street and is part of the 11 Mason Street property. As shown on the submitted site plan, a smaller 15-space parking lot is proposed to be located to the rear of the new structure and accessed by Mason Street. Effective buffering of the parking lot from Maine and Mason Street will be accomplished by a pocket park designed by a landscape architect and under review by the Village Improvement Association. Existing vegetation to the east and north of the parking lot will remain to the greatest extent possible.***

The applicant has met the ordinance requirement for parking as contained in the Brunswick Zoning Ordinance as part of their site plan review. Parking is at a premium in this area and will be available to the general public after hours.
- 2. Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way. *As shown on the site plan, pedestrian connections to sidewalks and the parking lot are provided. New pavers and granite curbing will replace existing along the lot frontage.***
- 3. All dumpsters and mechanical equipment shall be located no less than 25 feet away from a**

public right-of-way and shall be screened from public view. *The exterior dumpsters will be located behind the structure and screened from Maine Street. Ground level mechanical equipment will be located towards the rear of the structure, north-facing wall.*

4. **Roof-top-mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited.** *No roof-top equipment is proposed. As mentioned previously a hipped roof is proposed with extensive cornice treatments.*
5. **Building Materials:**
 - a. **The use of cinder-block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation.** *None of these materials are proposed for use on any visual portion of the structure, with the exception of the foundation.*
 - b. **The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited.** *Primary building material is brick.*
 - c. **Buildings with advertising icon images built into their design ("trademark buildings") are prohibited.** *No trademark advertising icons are proposed to be built into the design of the building.*
6. **No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry.** *The Maine Street pedestrian entryway is located towards the center of the building façade with less than 40 feet to each end. An additional entrance is located on the Mason Street side of the structure.*
7. **No building on Maine Street shall have more than 15 feet horizontally of windowless wall.** *The Maine Street frontage has windows less than every 15 feet.*
8. **All new buildings and additions on Maine Street:**
 - a. **Must be built to the front property line. This may be waived if at least 60% of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.** *The building fronts the Maine Street property line 100%.*
 - b. **If adding more than 50% new floor area to a structure, the addition shall be at least two stories high and not less than 20 feet tall at the front property line.** *Not applicable.*
 - c. **The first floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50% glass. Upper floors shall have a higher percentage of solid wall, between 15% and 40% glass.** *The first floor façade from Maine Street has more than 50% glass.*
9. **Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources.** *Not applicable.*

C. Signs

Signs shall comply with the requirements of Chapter 6 (Sign Regulations) with consideration given to the Village Review Zone Design Guidelines. *The proposed signs will meet ordinance standards and Village Review Zone Design Guidelines for design, size and placement. A formal review and approval will be completed by the Code Enforcement Officer upon submittal of a sign permit.*

D. Demolition and Relocation

1. **Demolition or partial demolition or relocation of a contributing or, if visible from a public right-of-way, a noncontributing resource, excluding incidental or noncontributing accessory buildings and structures located on the same property, shall be prohibited unless**

the application satisfies at least one of the following criteria. *As stated previously, the contributing structure located at 11 Mason Street is proposed for demolition as part of the redevelopment of this corner property. Ordinance criteria are satisfied as follows:*

- a. **The structure poses an imminent threat to public health or safety.** *The structure does not pose an imminent threat to public health or safety and does not meet this criteria.*
 - b. **The condition of the structure is such that it cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, resulting in a reasonable economic return, regardless of whether that return represents the most profitable return possible, provided that the applicant can document he/she has not contributed significantly to the deterioration of the structure.** *A structural engineering report is included in the application and indicates that this building is in need of significant repair. The present owner has more than attempted to maintain the structure as their home and work place.*
 - c. **An opinion shall be provided from an architect, licensed engineer, developer, real estate consultant or appraiser or from a professional experienced in historic rehabilitation, as to the economic feasibility for restoration, renovation, or rehabilitation of the contributing resource versus demolition or relocation of same.** *An existing building evaluation was completed by an architect stating that the building has lost much of its historical values as detailed in an attached opinion letter. It appears that the façade has been completely altered from its original historical intent. A written report by a structural engineering is attached stating that the building is in less than good condition structurally compared to other buildings of similar age and construction type. It is not economically feasible to restore, renovate or rehabilitate the existing structure. Due to the large number of structural concern areas and current instabilities, it is not a good candidate for relocation. Salvaging of old timber framing could be done for reuse by a timber framer in a new or repair project.*
 - d. **The proposed replacement structure or reuse of the property is deemed to be as appropriate and compatible with the existing streetscape and surrounding contributing resources.** *For reasons detailed in Section 216.9.B. findings above, staff recommends that the proposed replacement structure be deemed by the Board to be appropriate and compatible with the streetscape and surrounding contributing resources.*
2. **Demolition, partial demolition or relocation of a noncontributing resource visible from a public right-of-way, shall be approved by the Village Review Board if it is determined that the proposed replacement structure or reuse of the property is deemed more appropriate and compatible with the surrounding contributing resources than the resource proposed for demolition.** *Not applicable.*

APPROVED MOTIONS
45 MAINE STREET
11 MASON STREET
REQUEST FOR TWO CERTIFICATES OF APPROPRIATENESS FOR DEMOLITION AND
NEW CONSTRUCTION
VILLAGE REVIEW BOARD
APPROVAL DATES: SEPTEMBER 15TH, 2015 (COA FOR DEMOLITION)
OCTOBER 1ST, 2015 (COA FOR NEW CONSTRUCTION)

- Motion 1:** That the Certificates of Appropriateness joint application is deemed complete.
- Motion 2:** That the Board approves the Certificate of Appropriateness for Demolition of 11 Mason Street as outlined in the application with the following conditions:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
 2. That the design of the replacement structure for 45 Maine Street/11 Mason Street first be approved by the Village Review Board.
- Motion 3:** That the Board approves the Certificate of Appropriateness for construction of a new professional office building at the combined properties of 45 Maine and 11 Mason Street as outlined in the application with the following conditions:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
 2. That the drive-through roofline be redesigned to be lighter in overall appearance and similar in style to the proposed structure's Mason Street side entryway, to the satisfaction of the Director of Planning and Development.



Town of Brunswick, Maine

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT

28 FEDERAL STREET

BRUNSWICK, MAINE 04011-1583

TELEPHONE 207-725-6660

FAX 207-725-6663

CERTIFICATE OF APPROPRIATENESS

October 6, 2015

David Latulippe
CJ Developers, Inc.
35 Primrose Lane
Freeport, ME 04086

Dear Mr. Latulippe,

Your application (VRB 15-033) on behalf of Bangor Savings Bank to construct a new professional office building at 45 Mason Street/11 Mason Street (Map U14, Lots 163 and 165) in the Town Center 1 (TC1) District and Village Review Overlay Zone was conditionally approved by the Village Review Board on October 1, 2015.

This Certificate of Appropriateness is issued as required for new construction pursuant to Section 216.9.B. of the Zoning Ordinance.

Conditions of Approval

This Certificate of Appropriateness is approved with the following condition:

1. That the drive-through roofline be redesigned to be lighter in overall appearance and similar in style to the proposed structure's Mason Street side entryway, to the satisfaction of the Director of Planning and Development.

Staff Comments

This development is subject to Planning Board review and action.

Feel free to contact me with any questions.

Sincerely,

Anna M. Breinich, FAICP



Town of Brunswick, Maine

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT

28 FEDERAL STREET

BRUNSWICK, MAINE 04011-1583

TELEPHONE 207-725-6660

FAX 207-725-6663

CERTIFICATE OF APPROPRIATENESS

September 22, 2015

David Latulippe
CJ Developers, Inc.
35 Primrose Lane
Freeport, ME 04086

Dear Mr. Latulippe,

Your application (VRB 15-033) on behalf of Bangor Savings Bank to demolish an existing mixed use building at 11 Mason Street (Map U14, Lot 165) in the Town Center 1 (TC1) District and Village Review Overlay Zone was conditionally approved by the Village Review Board on September 15, 2015.

This Certificate of Appropriateness is issued as required for demolitions pursuant to Section 216.9.D. of the Zoning Ordinance.

Conditions of Approval

This Certificate of Appropriateness is approved with the following condition:

1. That the design of the replacement structure for 45 Maine Street/11 Mason Street first be approved by the Village Review Board.

Staff Comments

Upon satisfying the above condition of approval, a demolition permit from the Codes Enforcement Office is required before beginning the demolition. Please note that any changes to the conditionally approved demolition shall require further review and approval in accordance with the Brunswick Zoning Ordinance, Section 216.

Feel free to contact me with any questions.

Sincerely,

Anna M. Breinich, FAICP



TOWN OF BRUNSWICK, MAINE
Bike & Pedestrian Advisory Committee

28 FEDERAL STREET
BRUNSWICK, ME 04011

William Wilkoff, Co-Chair
Richard Cromwell, Co-Chair

PHONE: 207-725-6660
FAX: 207-725-6663

ADVISORY MEMORANDUM

TO: Jared Woolston, Planner
FROM: Brunswick Bicycle and Pedestrian Advisory Committee (BBPAC)
DATE: September 9, 2015
RE: Proposed Bangor Savings Bank (Case #15-040)

The Brunswick Bicycle and Pedestrian Advisory Committee (BBPAC) members are appointed by the Town Council to offer advice on making Brunswick more bicycle and pedestrian friendly. The BBPAC believes that creating a safe and welcoming alternative to automobile transportation will have a positive effect on the quality of life in our town.

BBPAC co-chairs, William Wilkoff and Richard Cromwell reviewed the Major Development application submittal for the proposed Bangor Savings Bank at 45 Maine Street and offer the following comments:

1. Drawing #C402, entitled "Details 2" and dated August 20, 2015 depicts a proposed "ribbon bike rack" which offers one point of bicycle contact. The BBPAC prefers to have two points of bicycle contact for each slot in a proposed bike rack. The "U" frame or "A" frame racks or other styles of bicycle racks with two points of contact are preferred to alternative bicycle racks with only one point of contact.
2. The proposed ribbon bike rack is constructed with a raised lower cross member. The BBPAC maintains that bicycle racks that are constructed with raised, lower cross members between bicycle parking slots are less desirable than ground level, lower cross members. The raised, lower cross members require lifting a bicycle to attach to a rack which is a hindrance to those with difficulty lifting a bicycle.
3. The BBPAC prefers that a proposed bicycle rack be located in a dedicated parking area on the same side of the building as the proposed main entrance. It is unclear from the plan if the proposed bicycle rack location is at the main entrance.

Thank you for the opportunity to comment on the pending major development review application. Please send any questions or comments regarding this advisory memorandum to the BBPAC co-chairs via email as soon as practicable.

October 7, 2015

Ms. Anna Breinich, FAICP
Director of Planning and Development
Brunswick Planning Department
85 Union Street
Brunswick, ME 04011

RE: Proposed Bangor Savings Bank
Intersection of Maine and Mason Streets
Plan Revisions

Dear Anna,

As you are aware, the Bangor Savings Bank project has been reviewed by the Town Staff as well as the Village Review Board. Subsequent to those reviews, the Plans have been revised to address the Comments as well as other changes proposed by the Applicant.

The following changes have been made the plans, based upon discussions at the Planning Staff Review:

- Revised radius and curb ramp at the Mason Street access drive.
- Modified the bicycle rack and detail
- Added new granite curb to the entire frontage of the project on both Maine and Mason Street.
- Added concrete condenser pad at the back left corner of the building.

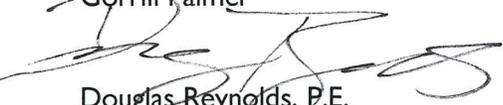
The following changes have been made to the plans, based upon discussions with the Village Review Board:

- The Mason Street end of the building was modified and the building size increased by 325 s.f. to address feature comments from the Village Review Board.

Included with this letter are copies of the previously submitted site plan application package with revised plans based upon the above comments. We have also revised Section 4, which was the ability to serve letters from the sewer and water district. Section 8 has also been updated to include the sign package on the updated building.

Please contact this office if you require additional information or have any questions.

Sincerely,
Gorrill Palmer



Douglas Reynolds, P.E.
Project Manager

Copy: Mr. David Latulippe, CJ Properties, Inc.
Mr. Jason Donovan, BSB



PO Box 1237, 15 Shaker Road
Gray, Maine 04039
207.657.6910

August 20, 2015

Ms. Anna Breinich, FAICP
Director of Planning and Development
Brunswick Planning Department
85 Union Street
Brunswick, ME 04011

RE: Proposed Bangor Savings Bank
Intersection of Maine and Mason Streets
Major Development Review Application

Dear Anna,

CJ Properties, Inc. has retained Gorrill Palmer to prepare development plans and permit applications for a proposed Bangor Savings Bank Branch at the intersection of Maine Street and Mason Street in Brunswick, Maine

Site Description

The site consists of Lots 163 and 165 on the Town of Brunswick Assessor's Map U14. The site is located on the northeast quadrant of the intersection of Maine Street and Mason Street with a 45 Maine Street and 11 Mason Street address. The site is bounded by the Route 1 right of way to the north. Both properties have previously been developed. Lot 165 is the current location of Blessings retail store with an apartment. Lot 163 is currently a gravel lot, but had previously been developed with a multi-story building, which burned down within the last five years. The current uses have a total of four driveway access points, one on Maine Street and three on Mason Street. The parcel has approximately 105 feet of frontage on Maine Street, 170 feet of frontage on Mason Street and 180 feet of frontage on the Route 1 right of way. The total parcel area is approximately 19,641 s.f. The site generally slopes in the northwest direction with slopes in the range of 1% to 4%. The site is located with the Town Center 1 (Maine Street) zone and a bank with a drive through is a permitted use. Refer to Figure 1 – Location Map, following this page, for the project location.

Proposed Development

At this time, the proposed development is intended to consist of a 3,400 s.f. single story Branch Bank with two drive through lanes. A single driveway from Mason Street is proposed to access a fifteen space parking lot and the drive through lanes. The access drive has been located as far as possible from Maine Street to provide separation for turning traffic. Based upon the size of the building, this project would normally only require a Minor Review from the Town of Brunswick, but whereas the development is proposing two drive up windows, the project requires Major Development Review. As the project is located within the Village Review overlay district, the project will be submitted to the Village Review Board for review. As the overall parcel is less than half an acre, permitting from the MDEP will not be required.



U.S.G.S. Location Map
 Bangor Savings Bank - Brunswick, Maine
 U.S.G.S. Brunswick, Maine -7.5 Minute Series (Topographic)

Design: DER	Date: AUG 2015
Draft: CG	Job No.: 3025
Checked: AMP	Scale: None
File Name: 3025_LOCATION.dwg	



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 207.657.6910



Stormwater

Based upon the existing conditions survey and site visits, the non-vegetated surfaces on the parcel exceed 16,750 s.f. of the 19,641 parcel, which is approximately 85% of the overall parcel. The proposed development reduces the total non-vegetated surfaces to 14,900 s.f. or 76% of the overall parcel. Based upon the reduction of non-vegetated surfaces of approximately 2,000 s.f, it is not anticipated that the proposed development will have any negative effects on the downstream property. This aspect of the project was discussed with Mr. John Foster, Public Works Director and he was of the opinion that no formal analysis for stormwater was warranted based upon the reduction of the non-vegetated surfaces. Mr. Foster went on further to say that the site is tributary to the Route 1 drainage system, which is at the lower end of the drainage system, prior to its outfall at the River, and an increase in flow to this system would not have a negative effect. The proposed parking lot has been graded to direct the stormwater to the northwest and northeast corners of the site to a rip rap slope, to induce sheet flow prior to leaving the site toward the Route 1 right of way.

Utilities

Public water and sewer mains exist within both Maine Street and Mason Street. The building on Lot 165 on Mason Street currently has active services for both. It is anticipated that the proposed bank will connect to the existing services for the existing building after disconnection. Letters have been sent to the Brunswick Sewer District and the Brunswick Topsham Water District to confirm their ability to serve the project, and to confirm connection to the existing services is feasible. Copies of the letter to the Districts are included in this package and any responses will be forwarded to the Planning Department upon receipt. Based upon discussion with Central Maine Power, underground electrical service can be obtained from the existing utility pole adjacent to the existing Blessings building on Mason Street. Telephone and cable will be connected at this pole as well. As natural gas is not location within Mason or Maine Street along the site frontage, an underground propane tank is proposed to serve the site.

Traffic

Gorrill Palmer has prepared a summary of the net increase in traffic volumes with the development of a proposed bank with two drive thru lanes. A copy of the summary is included in this package. The highest increase in net trip-ends in the peak hour was computed to be 28 trip ends in the PM peak hour of the adjacent street traffic. 28 trip ends is a relatively low amount and does not require a MaineDOT Traffic Movement Permit. A draft copy of the summary was presented to Mr. Foster prior to submission of this application. As noted previously, the existing parcel has a total of four access points onto the adjacent roads and the proposed project will have a single access to Mason Street further from Maine Street than the current driveways. This reduction of access points is a net improvement in access management.

Landscaping

A landscaping plan will be created by Betsy Poulin of Lucky Rock LLC, which will meet the requirements of the Town. The final planting plan will be submitted under separate cover. The site plan provided an opportunity for a pocket park at the intersection of Maine Street and Mason Street. The applicant has met with a member of the Village Improvement Association and will provide a copy of the proposed planting plan to VIA for their review and comments.



Lighting

A lighting photometric plan has been created by Horizon Energy Services and included in the plan set. All lighting fixtures LED lighting and will be full cut off luminaires as to not create any nuisance on abutting properties. Cut sheets of the proposed lighting fixtures are included with the package.

Major Development Review Application Checklist

The following table is an excerpt of the Town of Brunswick Major Development Review Checklist that is part of the application. The information provided in the comments column provides the location within this package where the requested documentation can be found.

Item	Comments
Name of Development	Cover Sheet of Plan Set
Scale, date, north point, area, number of lots (if subdivision)	Existing Conditions Plan
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.	Existing Conditions Plan
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category I (Standard Boundary Survey), conditions 1, 2, or 3.	Existing Conditions Plan
Existing zoning district and overlay designation.	TC -I (Maine Street) Village Review Overlay
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.	Plan Set
Names of current owner(s) of subject parcel and abutting parcels.	Existing Conditions Plan
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.	Information for Mason Street and Maine Street is shown on the Existing Conditions Plan.
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.	Information for Mason Street and Maine Street is shown on the Existing Conditions Plan.
Existing and proposed easements associated with the development.	No easements are none to exist on the parcel, and none are proposed



Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.	No drainage facilities are proposed.
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.	No water bodies, wetlands, etc. exist within the project site.
Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.	Existing Conditions Plan and Site and Utility Plan
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.	Existing Conditions Plan and Site and Utility Plan
Topography with counter intervals of not more than 2 feet.	Existing Conditions and Grading and Drainage Plan
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.	As the site has been previously developed, a High Intensity Soil Survey would likely indicate that the soils are either "made land" or "urban land"
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.	The clearing limits would coincide with the edge of proposed grading as shown on the attached plan set.
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.	Site and Utility Plan and Photometric Plan
Existing locations and proposed locations, widths and profiles of sidewalks.	Site and Utility Plan
Location map.	Letter
Approximate locations and dimensions of proposed parking areas.	Site and Utility Plan
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.	No open space is proposed.
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.	Plan Set
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.	NA



A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.	No wetlands exist within the project site.
Dedicated public open specs, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.	Dedicated public open space is not proposed.
For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the number of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.	NA
Building envelopes showing acceptable locations for principal and accessory structures.	NA

FINAL PLAN/SUPPORTING DOCUMENTS

Item	Comments
Documentation of Ownership or contract.	
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by- laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.	No easements or deed restrictions are proposed.
Draft performance guarantee or conditional agreement.	Will be provided if required for work within Right of way
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.	No permits are required from the Department of Environmental Protection, Marine Resources, Army Corps of Engineers, or Inland Fisheries and Wildlife.
Any additional studies required by the Planning Board, which are deemed necessary in accordance with this Ordinance.	None identified to date.
Storm water management program for the proposed project prepared by a professional engineer.	See Narrative in Cover letter



<p>A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District made available at the Brunswick Department of Planning and Development.</p>	<p>Stormwater Management facilities are not proposed due to the size of the project, and the reduction in impervious surfaces.</p>
<p>An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.</p>	<p>Due the size of the project, the appropriate erosion and sediment control information is shown on the plans.</p>
<p>A statement from the Brunswick- Topsham Water District of conditions under which water will be provided.</p>	<p>See Attachment 4</p>
<p>A statement from the Brunswick- Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.</p>	<p>The project site is not located within an Aquifer Protection Zone.</p>
<p>A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.</p>	<p>The proposed project will be served by existing fire hydrants, and no proposed streets are proposed.</p>
<p>A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.</p>	<p>See Attachment 4</p>
<p>Where a septic system is to be used, evidence of soil suitability.</p>	<p>A septic system is not proposed.</p>
<p>All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.</p>	<p>Cover Letter, Attachment & Plan Set</p>
<p>A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.</p>	<p>Site and Utility Plan</p>
<p>An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.</p>	<p>Attachment 8</p>
<p>A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.</p>	<p>Sidewalks are proposed along Mason and Maine Street, as well as from the parking lot to the structure.</p>
<p>The size and proposed location of water supply and sewage disposal systems.</p>	<p>Site and Utility Plan</p>
<p>A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.</p>	<p>Landscaping Plan</p>



The project team looks forward to review of this Major Development Plan Review at the next available Planning Board meeting.

Please contact this office if you require additional information or have any questions.

Sincerely,

Gorrill Palmer

A handwritten signature in blue ink, appearing to read 'Douglas Reynolds', written over a horizontal line.

Douglas Reynolds, P.E.
Project Manager

Copy: Mr. David Latulippe, CJ Properties, Inc.
Mr. Jason Donovan, BSB

Enclosures

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: Bangor Savings Bank

2. Project Applicant
Name: CJ Properties, Inc.
Address: 35 Primrose Dr
Freeport, Maine 04032
Phone Number: (207) 865-4323

3. Authorized Representative
Name: David Latulippe
Address: 35 Primrose Dr
Freeport, Maine 04032
Phone Number: (207) 865-4323

4. List of Design Consultants. Indicate the registration number, address and phone number
Of any engineer, surveyor, architect, landscape architect or planner used:
 1. Doug Reynolds, PE #9868 Gorrill Palmer PO Box 1237 Gray ME 04039
 2. Kevin Clark Sitelines, PA 8 Cumberland St. Brunswick ME 04011
 3. _____

5. Physical location of property being affected: 45 Maine Street & 11 Mason Street

6. Lot Size: 19,641 s.f.

7. Zoning District: Town Center – 1 (Maine Street)

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? Applicant has entered into a Purchase Agreement with Owner – See Attachment

9. Assessor's Tax Map U 14 Lot Number Lots 163 & 165 of subject property

10. Brief Description of proposed: Proposed 3,400 s.f. bank branch and offices with 2 drive-
Through windows – See narrative and plans for additional information

11. Describe Specific Physical Improvements to be Done: Construct bank branch and parking -
See narrative and plans for additional information

Owner Signature: _____

Applicant Signature (if different): David Latulippe

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

**Direct Abutters List
Bangor Savings Bank
Brunswick, Maine
JN 3025**

CLIENT:

Map U14 Lots 163 & 165

Mr. Jason Donovan
Bangor Savings Bank
PO Box 930 / 99 Franklin Street
Bangor, ME 04402-0930

ABUTTERS:

Map U14 Lot 118 [Mill Street]

State of Maine
ME Dept. of Transportation
16 State House Station
Augusta, ME 04333-0016

Map U14 Lot 117

LOVERS LLC
42 Maine Street
Brunswick, ME 04011

Map U14 Lot 116

Ly & Chan Enterprises, LLC
44 Maine Street
Brunswick, ME 04011

Map U14 Lot 115 [46 Maine Street]

SIRDI LLC
28 Robinson Street
South Portland, ME 04106

Map U14 Lot 114 [50 Maine Street]

Shui Won Chan
138 Grant Road
Freeport, ME 04032

Map U14 Lot 113 [54 Maine Street]

Frosty's Donuts, LLC
10 Winterfrost Drive
Brunswick, ME 04011

Map U14 Lot 111 [56 Maine Street]

NEMROW MAINE, LLC
155 Park Row
Brunswick, ME 04011

Map U14 Lot 146 [Cabot Street]

State of Maine
ME Dept. of Transportation
State House Station #16
Augusta, ME 04333-0016

Map U14 Lot 148

Waterfront Maine Brunswick, LLC
14 Maine Street
Brunswick, ME 04011

Map U14 Lot 152 [Maine Street]

BIF II US Renewable, LLC
C/O Brookfield Renewable Energy Group
200 Donald Lynch Boulevard – Suite 300
Marlborough, MA 01752

Map U14 Lot 153 [13 Maine Street]

Town of Brunswick
85 Union Street
Brunswick, ME 04011

Map U14 Lot 166B [17 Maine Street]

Maurice & Patricia A. Bernier
52 Village Street
Lisbon, ME 04250

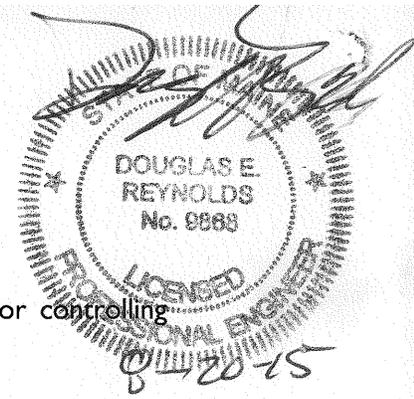
Map U13 Lot 121 [53 Maine Street]

HANNA Associates
PO Box 1120
Portland, ME 04104

Map U13 Lot 132 [8 Mason Street]

Mason Street, LLC
130 Center Street
Bath, ME 04530

EROSION AND SEDIMENTATION CONTROL
BASIC STANDARDS



1.1 Overview

This Exhibit demonstrates the developer has made adequate provision for controlling erosion and sedimentation.

1.2 Introduction

Gorrill Palmer has been retained by CJ Properties, Inc. to prepare an Erosion and Sedimentation Control Report for a proposed bank building at 45 Maine Street in Brunswick, Maine. The redevelopment of the site is anticipated to include a 3,400 sf footprint single story building with 2 drive through windows and a 15 space parking lot. Figure I is a map showing the project location. Gorrill Palmer has prepared an Erosion and Sedimentation Control Plan for the proposed development. This narrative contains the general erosion and sedimentation control measures, which are appropriate for the construction of the project.

1.3 Narrative

1.3.1 Existing Conditions and Soil Types

The site is approximately 19,641 sf in size and is currently developed two story retail building with parking and a gravel lot. Abutting land uses include:

- North – Route 1
- East - Residential
- South - Commercial
- West — Commercial

The front of the existing site slopes towards Maine Street and Mason Street with a slope of approximately 1%. The rear of the site slopes toward the Route 1 Right-of-Way with a slope of approximately 4 %.

The Medium Intensity Soil Survey for Cumberland County as prepared by the Natural Resources Conservation Service was utilized in identifying the on-site soils. The soil report for this vicinity follows this page. The susceptibility of soils to erosion is indicated on a relative "K" scale of values over a range of 0.02 to 0.69. The higher values are indicative of the more erodible soils. The following table lists the soils found on site and their K values:

KVALUE		
Type	Subsurface	Substratum
Cut and Fill	-	-

The existing soils do not have listed K values and will be considered susceptible to erosion.



U.S.G.S. Location Map
 Bangor Savings Bank - Brunswick, Maine
 U.S.G.S. Brunswick, Maine -7.5 Minute Series (Topographic)

Design: DER	Date: AUG 2015
Draft: CG	Job No.: 3025
Checked: AMP	Scale: None
File Name: 3025_LOCATION.dwg	



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 207.657.6910

Custom Soil Resource Report Soil Map



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
 Survey Area Data: Version 9, Sep 13, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 17, 2010—Jul 27, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Cumberland County and Part of Oxford County, Maine (ME005)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Cu	Cut and fill land	1.9	97.1%
WmB	Windsor loamy sand, 0 to 8 percent slopes	0.1	2.9%
Totals for Area of Interest		2.0	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

I.3.2 Existing Erosion Problems

Gorrill Palmer is not aware of any existing erosion problems onsite.

I.3.3 Critical Areas

The construction will take place within the existing development footprint, and is not anticipated to impact any critical areas.

I.3.4 Protected Natural Resources

The site has been previously developed and does not contain wetlands. Based upon the FEMA maps, the site is not located within a Zone A 100-year floodplain.

I.3.5 Erosion Control Measures and Site Stabilization

The primary emphasis of the erosion/sedimentation control plan, which will be implemented for this project, is as follows:

- ◆ Development of a careful construction sequence.
- ◆ Rapid revegetation of denuded areas to minimize the period of soil exposure.
- ◆ Rapid stabilization of drainage paths to avoid rill and gully erosion.
- ◆ The use of on-site measures to capture sediment (hay bales/ stone check dams/silt fence, etc.)

The following temporary and permanent erosion and sediment control devices will be implemented as part of the site development. These devices shall be installed as indicated on the plans or as described within this report. For further reference, see the latest edition of the Maine Erosion and Sediment Control BMPS.

A. Dewatering

Water from construction trench dewatering shall pass first through a filter bag or secondary containment structure (e.g. hay bale lined pool) prior to discharge. The discharge site shall be selected to avoid flooding, icing, and sediment discharges to a protected resource. In no case shall the filter bag or containment structure be located within 50 feet of a protected natural resource.

B. Inspection and Monitoring

Maintenance measures shall be applied as needed during the entire construction season. After each rainfall, snow storm or period of thawing and runoff, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuous function. Following the temporary and/or final seeding and mulching, the contractor shall in the spring inspect and repair any damages and/or unestablished spots. Established vegetative cover means a minimum of 90% of areas vegetated with vigorous growth.

C. Temporary Erosion Control Measures

The following measures are planned as temporary erosion/sedimentation control measures during construction:

1. Crushed stone-stabilized construction entrance shall be placed at the entrance along Mason Street.
2. Siltation fence or wood waste compost berms shall be installed downstream of any disturbed areas to trap runoff- borne sediments until grass areas are revegetated. The silt fence and/or wood waste compost berms shall be installed per the details provided in this package and inspected at least once a week and before and immediately after a storm event of 0.5 inches or greater, and at least daily during prolonged rainfall. Repairs shall be made if there are any signs of erosion or sedimentation below the fence or berm line. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence or berm, the barrier shall be replaced with a stone check dam. Wood waste compost berms are not to be used adjacent to wetland areas that are not to be disturbed.
3. Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed between April 15th and October 15th on slopes of less than 15 percent shall be anchored by applying water; mulch placed on slopes of equal to or steeper than 15 percent shall be covered by a fabric netting and anchored with staples in accordance with manufacturer's recommendation. Fabric netting and staples shall be used on disturbed areas within 50' of lakes, streams, and wetlands regardless of the upstream slope. Mulch placed between October 15th and April 15th on slopes equal to or steeper than 8 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Slopes steeper than 3:1 and equal to or flatter than 2:1, which are to be revegetated, shall receive curlex blankets by American Excelsior or equal. Slopes steeper than 2:1 shall receive riprap as noted on the plans. The mulch application rate for both temporary and permanent seeding is 75 lbs per 1000 sf as identified in Attachment A of this section. Mulch shall not be placed over snow.
4. Temporary stockpiles of stumps, grubblings, or common excavation will be protected as follows:
 - a) Temporary stockpiles shall not be located within 50 feet of any wetlands which will not be disturbed and shall be located away from drainage swales.

b) Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile by a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch, such as hay, straw, or erosion control mix.

c) Stockpiles shall be surrounded by sedimentation barrier at the time of formation.

5. All denuded areas that are within 50 feet of an undisturbed wetland, which have been rough graded and are not located within a building pad, parking area, or access drive subbase area, shall receive mulch or erosion control mesh fabric within 48 hours of initial disturbance of soil. All areas within 100 feet of an undisturbed wetland shall be mulched prior to any predicted rain event regardless of the 48 hour window. In other areas, the time period may be extended to 7 days.

6. For work, which is conducted between October 15th and April 15th of any calendar year, all denuded areas, shall be covered with hay mulch or erosion control mix, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch shall be limited to 2 days for all areas.

7. Mason Street shall be swept to control mud and dust as necessary.

8. During grubbing operations stone check dams shall be installed at any evident concentrated flow discharge points and as directed on the Erosion Control Plans.

9. Silt fencing with a minimum stake spacing of 6 feet shall be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence shall be anchored.

10. Wood waste compost/bark berms may be used in lieu of siltation fencing. Berms shall be removed and spread in a layer not to exceed 3" thick once upstream areas are completed and a 90% catch of vegetation is attained.

11. Water and/or calcium chloride shall be furnished and applied in accordance with MDOT specifications – Section 637 – Dust Control.

12. Loam and seed is intended to serve, as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided in Attachment A of this section. Seeding shall not occur over snow.

D. Permanent Erosion Control Measures

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

1. All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas as noted in **Temporary Erosion Control Measures** paragraph 3 of this report. All areas within 50 feet of an undisturbed wetland shall be mulched prior to any predicted rain event regardless of the 48 hour window. Native topsoil shall be stockpiled and reused for final restoration when it is of sufficient quality.

I.4 Implementation Schedule

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized:

It is anticipated that construction of the project will commence in the Fall of 2015 and be completed by Spring of 2016.

Note: For all grading activities, the contractor shall exercise extreme caution not to overexpose the site, this shall be accomplished by limiting the disturbed area.

1. Install stabilized construction entrance at the intersection of the access drive and Mason Street.
2. Install perimeter silt fence and/or wood waste berms prior to commencement of demolition.
3. Perform demolition of existing site elements.
4. Foundation preparation area shall be excavated for installation of the building foundation. Building work will be on going through the remainder of the project.
5. Commence installation of drainage appurtenances.
6. Commence earthwork and grading to subgrade.
7. Commence installation of water and sewer lines.
8. Continue earthwork and grading to subgrade as necessary for construction.
9. Complete installation of underground utilities to within 5' of the buildings.
10. Install light pole foundations and light poles.
11. Complete remaining earthwork operations.
12. Install sub-base and base gravel within parking fields, walkways, and all driveways.
13. Install curbing in parking fields, driveways, and along the streets as needed.

14. Install base course paving for access drive and parking area as well as concrete surfaces.
15. Loam, lime, fertilize, seed and mulch disturbed areas and complete all landscaping.
16. Install surface course paving for access drive and parking areas. Stripe per plan.
17. Once the site is stabilized and a 90% catch of vegetation has been obtained, remove all temporary erosion control measures.
18. Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap, or gravel shall be revegetated.

Prior to construction of the project, the contractor shall submit to the owner a schedule for the completion of the work, which will satisfy the following criteria:

1. The above construction sequence should generally be completed in the specified order; however, several separate items may be constructed simultaneously. Work must also be scheduled or phased to reduce the extent of the exposed areas as specified below. The intent of this sequence is to provide for erosion control and to have structural measures such as silt fence and construction entrances in place before large areas of land are denuded.
2. The work shall be conducted in sections which shall:
 - a) Limit the amount of exposed area to those areas in which work is expected to be undertaken during the proceeding 30 days.
 - b) Revegetate disturbed areas as rapidly as possible. All areas shall be permanently stabilized within 7 days of final grading or before a storm event; or temporarily stabilized within 48 hours of initial disturbance of soil for areas within 50 feet of an undisturbed wetland and 7 days for all other areas. Areas within 50 feet of an undisturbed wetland shall be mulched prior to any predicted rain event regardless of the 48 hour window.
 - c) Incorporate planned inlets and drainage system as early as possible into the construction phase. The ditches shall be immediately lined or revegetated as soon as their installation is complete.

1.5 Erosion, Sedimentation and Stabilization Control Plan

The Erosion Control information is included in the plan set.

1.6 Details and Specifications

The Erosion Control details and specifications are included in the plan set.

1.7 Winter Stabilization Plan

The winter construction period is from November 1 through April 15. If the construction site is not stabilized with pavement, a road gravel base, 75% mature vegetation cover or riprap by November 15

then the site needs to be protected with over-winter stabilization. An area considered open is any area not stabilized with pavement; vegetation, mulching, erosion control mats, riprap or gravel base on a road.

Winter excavation and earthwork shall be completed such that any area left exposed can be controlled by the contractor. Limit the exposed area to those areas in which work is expected to be under taken during the proceeding 15 days and that can be mulched in one day prior to any snow event.

All areas shall be considered to be denuded until the subbase gravel is installed in roadway/parking areas or the areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch rate shall be a minimum of 150 lbs./1,000 s.f. (3 tons/acre) and shall be properly anchored.

The contractor shall install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions. Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized, in order to minimize areas without erosion control protection.

1. Soil Stockpiles

Stockpiles of soil or subsoil shall be mulched for over winter protection with hay or straw at twice the normal rate or at 150 lbs/1,000 s.f. (3 tons per acre) or with a four-inch layer of woodwaste erosion control mix. This shall be done within 24 hours of stocking and re-established prior to any rainfall or snowfall. Any soil stockpile shall not be placed (even covered with hay or straw) within 50 feet from any natural resources.

2. Natural Resource Protection

Any areas within 50 feet from any natural resources, if not stabilized with a minimum of 75% mature vegetation catch, shall be mulched by December 1 and anchored with plastic netting or protected with erosion control mats. During winter construction, a double line of sediment barriers (i.e. silt fence backed with hay bales or erosion control mix) shall be placed between any natural resource and the disturbed area. Projects crossing the natural resource shall be protected a minimum distance of 50 feet on either side from the resource. Existing projects not stabilized by December 1 shall be protected with the second line of sediment barrier to ensure functionality during the spring thaw and rains.

3. Sediment Barriers

During frozen conditions, sediment barriers shall consist of woodwaste filter berms as frozen soil prevents the proper installation of hay bales and sediment silt fences.

4. Mulching

An area shall be considered denuded until areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch shall be applied at a rate of 150 lb. per 1,000 square feet or 3 tons/acre (twice the normal accepted rate of 75-lbs./1,000 s.f. or 1.5 tons/acre) and shall be properly anchored. Mulch shall not be spread on top of snow. The snow shall be removed down to a one-inch depth or less prior to application. After each day of final grading, the area shall be properly stabilized with anchored hay or straw or erosion control matting. An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 150 lb. per

1,000 square feet (3 tons/acre) and adequately anchored that ground surface is not visible through the mulch.

Between the dates of November 1 and April 15, all mulch shall be anchored by peg line, mulch netting, asphalt emulsion chemical, or wood cellulose fiber. When ground surface is not visible through the mulch then cover is sufficient. After November 1st, mulch and anchoring of all bare soil shall occur at the end of each final grading workday.

5. Mulching on Slopes and Ditches

Slopes shall not be left exposed for any extended time of work suspension unless fully mulched and anchored with peg and netting or with erosion control blankets. Mulching shall be applied at a rate of 230 lbs/1,000 s.f. on all slopes greater than 8%.

Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3% for slopes exposed to direct winds and for all other slopes greater than 8%. Erosion control blankets shall be used in lieu of mulch in all drainage ways with slopes greater than 8%. Erosion control mix can be used to substitute erosion control blankets on all slopes except ditches.

6. Seeding

Between the dates of October 15 and April 1st, loam or seed will not be required. During periods of above freezing temperatures finished areas shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1st and if the exposed area has been loamed, final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched. Dormant seeding may be selected to be placed prior to the placement of mulch and fabric netting anchored with staples. If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5 lbs/1,000 s.f. All areas seeded during the winter shall be inspected in the spring for adequate catch. All areas insufficiently vegetated (less than 75% catch) shall be revegetated by replacing loam, seed and mulch. If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

Standards for Timely Stabilization of Construction Sites During Winter

1. Standard for the timely stabilization of ditches and channels -- The applicant shall construct and stabilize all stone-lined ditches and channels on the site by November 15. The applicant shall construct and stabilize all grass-lined ditches and channels on the site by September 1.

2. Standard for the timely stabilization of disturbed slopes -- The applicant shall construct and stabilize stone-covered slopes by November 15. The applicant shall seed and mulch all slopes to be vegetated by September 1. The department shall consider any area having a grade greater than 15% to be a slope.

3. Standard for the timely stabilization of disturbed soils -- By September 15 the applicant shall seed and mulch all disturbed soils on areas having a slope less than 15%. If the applicant fails to stabilize these soils by this date, then the applicant shall take one of the following actions to stabilize the soil for late fall and winter.

I.8 Maintenance of facilities

The stormwater facilities will be maintained by the Applicant, Bangor Savings Bank or their assigned heirs. The contract documents will require the contractor to designate a person responsible for maintenance of the sedimentation control features during construction as required by the Erosion Control Report. Long-term operation/maintenance recommended for the stormwater facilities is presented below.

The responsible party may contract with such professionals, as may be necessary in order to comply with this provision and may rely on the advice of such professionals in carrying out its duty hereunder, provided, that the following operation and maintenance procedures are hereby established as a minimum for compliance with this section. A maintenance log of the inspections shall be kept by the responsible party.

Inspection and Maintenance Frequency and Corrective Measures:

The following areas, facilities, and measures will be inspected and the identified deficiencies will be corrected. Clean-out must include the removal and legal disposal of any accumulated sediments and debris.

Vegetated Areas:

Inspect slopes and embankments early in the growing season to identify active or potential erosion problems. Replant bare areas or areas with sparse growth. Where rill erosion is evident, armor the area with an appropriate lining or divert the erosive flows to on-site areas able to withstand the concentrated flows. The facilities will be inspected after major storms and any identified deficiencies will be corrected.

Roadways and Parking Surfaces: Clear accumulations of winter sand in parking lots and along roadways at least once a year, preferably in the spring. Accumulations on pavement may be removed by pavement sweeping. Accumulations of sand along road shoulders may be removed by grading excess sand to the pavement edge and removing it manually or by a front-end loader. Repair potholes and other roadway obstructions and hazards. Plowing and sanding of paved areas shall be performed as necessary to maintain vehicular traffic safety.

Housekeeping

The following procedures are hereby established as a minimum for compliance with this section. For further information on the procedures listed below, refer to MDEP Chapter 500 rules – Appendix C.

Spill Prevention:

Appropriate spill prevention, containment, and response planning/implementation shall be used to prevent pollutants from being discharged from materials on site.

Groundwater Protection:

During construction, hazardous materials with the potential to contaminate groundwater shall not be stored or handled in areas of the site which drain to an infiltration area.

Fugitive Sediment and Dust:

Appropriate measures shall be taken to ensure that activities do not result in noticeable erosion of the soils and water and/or calcium chloride shall be used to ensure that activities do not result in fugitive dust emissions during or after construction.

Debris and Other Materials:

Litter, construction debris, and chemicals exposed to stormwater must be prevented from becoming a pollutant source.

Trench or Foundation De-watering:

Water collected through the process of trenching and/or de-watering must be removed from the ponded area, and must be spread through natural wooded buffers or other areas that are specifically designed to collect the maximum amount of sediment possible.

Non-stormwater Discharges:

Identify and prevent contamination by non-stormwater discharges.

Conclusion

The Applicant has provided temporary and permanent erosion control measures as well as specifying a sequence of construction as measures to minimize erosion and sedimentation.

Attachments

- Attachment A - Seeding Plan
- Attachment B - Inspection Report

ATTACHMENT A
Seeding Plan

SEEDING PLAN

Project: Bangor Savings Bank

Site Location: Brunswick, ME

Permanent Seeding Temporary Seeding

1. Instruction on preparation of soil: Prepare a good seed bed for planting method used.
2. Apply lime as follows: _____ # / acres, OR 138 # /M Sq. Ft.
3. Fertilize with _____ pounds of _____ N-P-K/ac. OR 13.8 pounds of 10-10-10 N-P-K/M Sq. Ft.
4. Method of applying lime and fertilizer: Spread and work into the soil before seeding.
5. Seed with the following mixture:
 50% Winter Rye
 50% Annual Rye
6. Mulching instructions: Apply at the rate of _____ per acre, OR 75 pounds per M. Sq. Ft.

	<u>Amount</u>	<u>Unit # Tons. Etc.</u>
7. TOTAL LIME	138	#/1000 sq. ft.
8. TOTAL FERTILIZER	13.8	#/1000 sq. ft.
9. TOTAL SEED	1.03	#/1000 sq. ft.
10. TOTAL MULCH	75	#/1000 sq. ft.
11. TOTAL other materials, seeds, etc.	_____	
12. REMARKS		

Spring seeding is recommended; however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

ATTACHMENT B
Inspection Report

STORMWATER POLLUTION PREVENTION PLAN

INSPECTION REPORT

PROJECT INFORMATION

Project Name: Bangor Savings Bank

Address: 45 Maine Street
Brunswick , Maine

CONTRACTOR/SUBCONTRACTOR INFORMATION

Inspector Name: _____

Firm: _____

Title: _____

Qualifications: _____

INSPECTION SUMMARY

Date of Inspection: _____

Major Observations: _____

THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN WITH THE FOLLOWING EXCEPTIONS:

ACTIONS NECESSARY TO BRING FACILITY INTO COMPLIANCE:

REQUIRED MODIFICATIONS TO STORMWATER POLLUTION PREVENTION PLAN
(MUST BE IMPLEMENTED WITHIN 7 DAYS OF INSPECTION):

CERTIFICATION STATEMENT:

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the systems, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

Signature

Typed Name

Title

Date



BRUNSWICK & TOPSHAM
WATER DISTRICT

PO Box 489
Topsham, Maine 04086
Telephone (207) 729-9956
Fax (207) 725-6470

Alan J. Frasier, PE
General Manager

Craig W. Douglas, PE
District Engineer

Daniel O. Knowles, CPA
Director of Finance and
Data Management Systems

William G. Alexander, Jr.
Operations Manager

September 10, 2015

Doug Reynolds, P.E.
Project Manager
Gorrill Palmer
PO Box 1237
Gray, ME 04039
Via email: DReynolds@gorrillpalmer.com

RE: Bangor Savings Bank, 45 Maine Street, Brunswick, ME

Dear Mr. Reynolds:

This letter is to inform you that the District has the ability to serve the referenced project, and will provide service in accordance with Maine Public Utilities Commission and Brunswick & Topsham Water District Rules and Regulations.

Service must be taken from a public main in the street on which the property fronts. Our records indicate that there is an existing 2" service from the 12" main on Mason Street that will adequately serve the proposed business. Peak flow was determined to be 20gpm based on fixture units provided in previous correspondence. A 5/8" water meter and a residential dual check is required for this particular application.

The District requires the customer or an authorized agent to make application for service for all new service and meter installation requests. An application form can be found here:
<http://btwater.org/Pictures/pdf/newwaterservice2.pdf>. If fire sprinklers are proposed, the sprinkler system designer should specify the service size required, and a new main to curb service line must be installed.

Please keep us informed as this project progresses. If you have any questions, please call.

Yours truly,

Eric Gagnon
Engineering Technician

Cc: Craig Douglas



Brunswick Sewer District

10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
bsd@brunswicksewer.org
TELEPHONE (207) 729-0148



August 25, 2015

Doug Reynolds, PE
Gorrill Palmer
PO Box 1237
15 Shaker Road
Gray, Maine 04039

Re: Bangor Savings Bank
45 Maine Street, Brunswick, Maine

Dear Doug:

This letter is to acknowledge receipt of your request of August, 2015 for a confirmation of the District's willingness and capacity to serve the above referenced project.

I understand the developer proposes to construct a 3,389 SF bank/office building at the former Blessings retail store site in Brunswick, Maine. I have reviewed the material provided and conclude that **the Brunswick Sewer District has willingness and capacity to serve the proposed project.**

The developer/owner will need to secure a sewer entrance permit for the project. That permit will be issued on receipt of application following my review of construction details. The project will be subject to the District's entrance charge program. Per your request, the project's average daily flow (ADF) is anticipated to be 67 gallons. The anticipated flow is less than the flow from the previous use on the property, therefore the entrance charge is \$0. For more information about the entrance charge program, please visit us online at <http://www.brunswicksewer.org/ecp.html>.

Prior to construction I will need to review the construction plans. Please note the following conditions for approval:

1. Project sanitary sewer service line will be privately owned and maintained in accordance with provisions of District Rules & Regulations.
2. All sewer-related construction will be performed to District standards.
3. All sanitary sewer construction will comply with provisions of the Maine State Plumbing Code.
4. Design and construction of project sanitary sewers will exclude all ground, surface, foundation drain, floor drain, and roof drain waters.
5. Horizontal clearance between utility infrastructures will be sufficient to allow future utility maintenance operations without disturbance to adjacent utility infrastructure.

The District does not perform any construction related work. Connection to the sewer mains, including the service lines, are entirely the responsibility of the customer. The District does require notification of connections so we can update our records and inspect the work. No special easements for the property are needed because the sewer connection is privately owned by the customer.

Additional information is available through our website at brunswicksewer.org. Our online GIS (click the link in the left hand menu) has tie card information where available. Street maps can be found at streetmaps.bsewer.org. Use the information at your own risk. Engineers and contractors are strongly encouraged to field verify any information obtained from our websites and records.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

BRUNSWICK SEWER DISTRICT

A handwritten signature in black ink, appearing to read "Rob Pontau". The signature is fluid and cursive, with a long horizontal stroke at the end.

Robert A. Pontau Jr., PE
Assistant General Manager

CC: Darcy Dutton, Accounts Specialist/Permitting, Brunswick Sewer District
Wesley Wharff, Collections Supervisor, Brunswick Sewer District

**Trip Generation Evaluation
Bangor Savings Bank – Brunswick, ME
JN 3025**

Date: July 23, 2015
Subject: Trip Generation Evaluation
Bangor Savings Bank
To: David Latulippe, Al Palmer
From: Randy Dunton, Gorrill Palmer (JN 3025)

The following is a summary of the forecast change in traffic volumes with the development of the proposed Drive-In Bank to be located on the northeast corner of the Maine Street / Mason Street intersection.

Trip Generation:

Source for Trip Generation Calculations:

ITE Trip Generation Manual 9th Edition

Proposed Use:

Assumptions:

Drive-In Bank – Land Use Code (LUC) 912

- 3,400 SF
- 2 Drive thru lanes
- Trip Generation is the average of SF and Drive thru

Trip Generation (In Trip Ends):

AM Peak Hour of Generator = [60 (SF) + 43 (Drive thru)] / 2	= 52 Trip Ends
AM Peak Hour of Adjacent Street = [41 (SF) + 19 (Drive thru)] / 2	= 30 Trip Ends
PM Peak Hour of Generator = [91 (SF) + 58 (Drive thru)] / 2	= 75 Trip Ends
PM Peak Hour of Adjacent Street = [83 (SF) + 66 (Drive thru)] / 2	= 75 Trip Ends

Previous Uses:

Assumptions:

Apartments (16 units) – LUC 220
Specialty Retail A (4,600 SF) – LUC 826
Specialty Retail B (1,000 sf) – LUC 826
Single Family Residence – LUC 210



Trip Generation (In Trip Ends):

AM Peak Hour of Generator = 10 (Apart) + 31 (Retail A) + 7 (Retail B) + 1 (Residential) = 49
 AM Peak Hour of Adjacent Street = 10 (Apart) + 5 (Retail A) + 1 (Retail B) + 1 (Residential) = 17
 PM Peak Hour of Generator = 18 (Apart) + 23 (Retail A) + 5 (Retail B) + 1 (Residential) = 47
 PM Peak Hour of Adjacent Street = 18 (Apart) + 23 (Retail A) + 14 (Retail B) + 1 (Residential) = 56

Trip Generation Summary (In Trip Ends)*

	AM Gen	AM Adj St	PM Gen	PM Adj St
Proposed				
Bank w/ 2 drive thru lanes	52	30	75	75
Subtotal	52	30	75	75
Credit (Subtract from Proposed)				
Apartments	10	10	18	18
Retail A	31	5	23	23
Retail B	7	1	5	14
Residential	1	1	1	1
Subtotal	49	17	47	56
Total	3	13	28	19

*One trip in plus one trip out = two trip ends

Conclusion:

The threshold for requiring a MaineDOT Traffic Movement Permit is a net increase of 99 trip ends in any peak hour. Based on the results as summarized in the above table, it is clear that the net increase in trips from the previous uses is relatively low (highest increase is 28 trip ends), and this project will not require a MaineDOT Traffic Movement Permit.

It should be noted that the site currently has a paved curb cut onto Maine Street, one brick curb cut onto Mason Street, and two paved curb cuts onto Mason Street, for a total of four curb cuts. The proposed reconfiguration of the site will limit the curb cuts to a single full movement curb cut onto Mason Street, and that curb cut is proposed to be further from the Maine Street intersection than the three that are currently accessing onto Mason Street, which results, in our opinion, is a net improvement in access management.



You matter more.

August 12, 2015

Brunswick Planning Board

Re: Proposed Redevelopment of 11 Mason St, Brunswick, ME

To Whom It May Concern:

Bangor Savings Bank has previously completed bank branch and office developments throughout the State of Maine and has the technical expertise and financial capacity to complete the proposed redevelopment of 11 Mason St, Brunswick, Maine. Bangor Savings Bank has ample, liquid funding resources available to self-fund this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bruce G. Nickerson", with a long, sweeping horizontal line extending to the right.

Bruce G. Nickerson, CPA
Executive Vice President,
Chief Financial Officer and
Treasurer

PURCHASE AGREEMENT

AGREEMENT made and entered into this 6/11/2015 day _____ of, 2015, by and between Orville T. Ranger, with a mailing address of 138 Harding Road, Brunswick, Maine 04011, as Seller, and CJ Developers, Inc., with a mailing address 35 Primrose Lane, Freeport, ME 04032, as Buyer.

WITNESSETH AS FOLLOWS:

IN CONSIDERATION OF the Buyer making a deposit in the amount of [REDACTED] (the "Deposit"), within three business days after the execution hereof by the last of Buyer and Seller to sign (the "Effective Date"), all such monies paid shall be applicable to the purchase price, and the mutual covenants and promises hereinafter set forth, Seller and Buyer agree as follows:

1. **RIGHT TO PURCHASE** Seller hereby grants to Buyer the exclusive and irrevocable right to purchase, on the terms and conditions contained in this Agreement, the real estate containing approximately 0.15 acres of land located at 45 Maine Street, Brunswick, Maine being depicted as Tax Map U14, Lot 163 (the "Property").

2. **TERM OF AGREEMENT AND DEPOSIT** This Agreement shall commence on the date hereof and shall expire [REDACTED] after the Effective Date.

3. **NOTICE OF EXERCISE** This Option shall be exercised by Buyer by written notice (the "Closing Notice") of election to exercise to Seller on or before the expiration of the Agreement.

4. **EXERCISE** In the event that Buyer exercises this Option as provided herein, the following provisions shall be applicable:

a. **Purchase Price** Subject to any adjustments and prorations hereinafter described, the purchase price for the Premises shall be [REDACTED] payable in bank cashier's check or wire transfer at closing. The Deposits shall be credited against the purchase price at the closing.

b. **Title and Condition of Premises** Seller shall convey the Premises to Buyer at the Closing (as defined below) in fee simple by Warranty Deed with good marketable title, free of clear of all liens, encumbrances, restrictions and mortgages. Full possession of the Premises free of all tenants and occupants. Seller shall not construct any substantial improvements on or materially alter the Premises during the pending of this Agreement. In the event that Seller is unable to convey title and the Premises as aforesaid, Seller shall be given a reasonable period of time, not to exceed 30 days, after receipt of notice of any such defects from Buyer, to remedy any title defects from Buyer, to remedy any title defects. Seller agrees to use good faith efforts to cure any such title

defects. Buyer may elect to close without any adjustment in the purchase price notwithstanding such title defects as may exist.

c. No Representations Without limiting Seller's obligations to deliver the Premises as provided above, the Seller has made no representations, covenants, or warranties as to the physical condition of the Premises. Buyer acknowledges that it is not relying upon any representations, covenants or warranties of Seller. Seller agrees to provide Buyer full access to the Premises during the Agreement Period for the purpose of making any investigation that it deems necessary to determine whether it wishes to exercise its Purchase Agreement. Buyer, at Buyer's expense, shall restore the Premises to substantially its prior condition following any disturbance caused by any such investigation. Buyer agrees to indemnify and hold harmless Seller from the claims of any person for any an all damage or injury to property or persons caused by Buyer's investigations.

d. Closing The Closing shall take place at the office of Buyer's lender's counsel or at such other place as the Buyer and Seller may mutually agree thirty (30) days after the date of the Closing Notice. Documents to be provided by Seller to Buyer at the Closing shall include the Deed and such other documents as the Buyer's lender and the title company insuring the title may reasonably request, including, without limitation, a Mechanic's Lien and Persons in Possession Affidavit, a Taxpayer Information (1099S) Form, an Affidavit of Non-Foreign Status, and such other documents as may reasonably be required by the closing agent. It is agreed that time is of the essence with respect to all of the terms and conditions of this Agreement.

e. Adjustments, Prorations and Closing Costs

(i) Real estate taxes and assessments shall be prorated as of the closing on the basis of the latest available tax bill.

(ii) The Maine real estate transfer tax shall be paid by Seller and Buyer in accordance with 36 M.R.S.A. 4641-A.

(iii) The recording fee for the deed of conveyance and any expenses related to any mortgage that Buyer may grant to a lender in connection with the purchase of the Premises shall be paid for by the Buyer.

f. Brokerage Each of Buyer and Seller represents and warrants to the other that they have not dealt with any real estate broker, agent or salesperson in connection with this transaction other than Poe Cilley of Carleton Realty. Seller shall be responsible for the brokerage commission per separate agreement.

5. REDEVELOPMENT Buyer intends on redeveloping the property and shall be seeking permits and approvals from the Town of Brunswick to construct a new building on the property.

6. **CANCELLATION** Notwithstanding anything contained herein to the contrary, Buyer shall have the right, at any time during prior to the expiration of the third business day following the expiration of the Agreement (as it may be extended pursuant to the terms hereof) to cancel this Agreement by written notice to Seller (the "Cancellation Notice"). If the Cancellation Notice is sent, or Buyer fails to exercise this Agreement, the Deposit shall returned to Buyer and this Agreement shall be of no further force and effect, without recourse to the parties hereto.

7. **CONFIDENTIALITY** Each of Buyer and Seller hereby covenants and agrees to use best efforts to preserve the confidentiality of the transaction contemplated by this Agreement, to prevent disclosure of the price and other terms of the transaction set forth in this Agreement, to any party other than to its attorneys, auditors, lenders, financial advisors and accountants, who shall agree to hold such information as proprietary confidential and not to be disclosed to others, except: (i) as may be approved in writing in advance by the other party in each instance; (ii) such reports as may be required by applicable statute (as for instance in the case of such reports relating to Oil and Hazardous Materials); (iii) as may be ordered by a court of court of competent jurisdiction; or (iv) the disclosure of any such information to any prospective Buyer's Assignee.

Seller covenants and agrees to take the Premises off the market and not to promote the Premises for sale or lease to any other person or entity until such time as Buyer terminates this Agreement or fails to exercise its option rights. Seller may respond to and accept unsolicited backup offers for the purchase or leasing of the Premises and shall inform Buyer of any backup offers but not the terms of the offer.

8. **MISCELLANEOUS**

a. **Time** Time is of the essence hereof.

b. **Notices** All notices, demand and other communications hereunder shall be in writing and sent by hand delivery, by certified or registered mail, or by Federal Express or equivalent overnight courier, addressed to other party at the address set forth above, or at such other address as the other party shall have provided notice of according to this provision. Any such notice shall be deemed to have been given upon the date of hand delivery, upon mailing or upon depositing the same with Federal Express or similar overnight courier.

c. **Default** In the event of breach or failure of performance by Seller of any of its obligations hereunder, the Buyer may elect to: (i) waive said Default, (ii) terminate this Agreement and demand and obtain the return of the Deposit and the obligations of the parties hereunder shall terminate forthwith, or (iii) seek all remedies available under this Agreement and/or at law or in equity, including, without limitation, specific performance of this Agreement, and/or recourse for any and all of its losses, expenses, costs, and claims of same, including without limitation, reasonable attorneys fees and costs. In the event of breach or failure of performance by Buyer of any of its

obligations hereunder and Buyer's failure to cure such breach or failure within ten (10) business days after receiving notice thereof from Seller, the Seller may terminate this Agreement by written notice to Buyer and retain the Deposit as full liquidated damages as Seller's sole remedy at law and in equity and the obligations of the parties hereunder shall terminate forthwith.

d. Assignment Buyer's rights under this Agreement may be assigned to another party without consent of the Seller. Buyer may, following exercise of the Option, designate a nominee to take title to the Premises at the closing.

e. Entire Agreement This Agreement constitutes the entire agreement between Seller and Buyer and there are no agreements or understandings between the parties except as set forth herein.

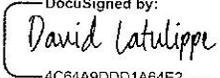
f. Binding Effect This Agreement will inure to the benefit of and bind the respective successors and assigns of Seller and Buyer.

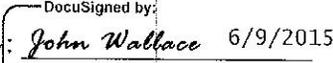
g. Construction As used in this Agreement, the singular number shall include the plural, the plural the singular, and the use of one gender shall be deemed applicable to all genders. This Agreement shall be governed by and construed in accordance with the laws of Maine. If any provisions of this Agreement is determined to be invalid or unenforceable, it shall not affect the validity or enforcement of the remaining provisions hereof. This instrument may be executed in counterparts and together such counterpart copies shall be construed as a legal contract.

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement as of the date first above written.

Buyer :
CJ Developers, Inc.

Seller:

By: 
4C84A9DD01A64E2...
David Latulippe

By: 
DF7C10B09DC345E...

Effective Date: 6/11/2015

PURCHASE AGREEMENT

AGREEMENT made and entered into this 11th day June of, 2015, by and between Dominic and Diane Vella, with a mailing address of 11 Mason Street, Brunswick, Maine 04032, as Seller, and CJ Developers, Inc., with a mailing address 35 Primrose Lane, Freeport, ME 04032, as Buyer.

WITNESSETH AS FOLLOWS:

IN CONSIDERATION OF the Buyer making a deposit in the amount of [REDACTED] (the "Deposit"), within three business days after the execution hereof by the last of Buyer and Seller to sign (the "Effective Date"), all such monies paid shall be applicable to the purchase price, and the mutual covenants and promises hereinafter set forth, Seller and Buyer agree as follows:

1. **OPTION TO PURCHASE** Seller hereby grants to Buyer the exclusive and irrevocable option to purchase, on the terms and conditions contained in this Agreement, the real estate containing approximately 0.28 acres of land and house located at 11 Mason Street, Brunswick, Maine being depicted as Tax Map U14, Lot 165 (the "Property").
2. **TERM OF AGREEMENT AND DEPOSIT** This Agreement shall commence on the date hereof and shall expire [REDACTED] after the Effective Date.
3. **NOTICE OF EXERCISE** This Option shall be exercised by Buyer by written notice (the "Closing Notice") of election to exercise to Seller on or before the expiration of the Agreement, and upon giving the Closing Notice Buyer shall be obligated to purchase the Property, provided that Seller complies with their obligations under 4(b).
4. **EXERCISE** In the event that Buyer exercises this Option as provided herein, the following provisions shall be applicable:
 - a. **Purchase Price** Subject to any adjustments and prorations hereinafter described, the purchase price for the Premises shall be [REDACTED] payable in bank cashier's check or wire transfer at closing. The Deposits shall be credited against the purchase price at the closing.
 - b. **Title and Condition of Premises** Seller shall convey the Premises to Buyer at the Closing (as defined below) in fee simple by Warranty Deed conveying good and marketable title, free of clear of all liens, encumbrances, restrictions and mortgages. Full possession of the Premises free of all tenants and occupants shall be delivered at closing. Seller shall not construct any substantial improvements on or materially alter the Premises during the pending of this Agreement. In the event that Seller is unable to convey title and the Premises as aforesaid, Seller shall be given a reasonable period of time, not to exceed 30 days, after receipt of notice of any such defects from Buyer, to

remedy any title defects listed in Buyer's notice. Seller agrees to use good faith efforts to cure any such title defects. Buyer may elect to close without any adjustment in the purchase price and accept such title as Seller can convey. After the Closing Notice, Seller shall have the right to salvage and remove fixtures, soft and hard landscaping, the shed and other items of interest so long as the property is left in a clean, neat and safe condition on the Closing Date.

c. No Representations Without limiting Seller's obligations to deliver the Premises as provided above, the Seller has made no representations, covenants, or warranties as to the physical condition of the Premises. Buyer acknowledges that it is not relying upon any representations, covenants or warranties of Seller. Seller agrees to provide Buyer full access to the Premises during the Agreement Period for the purpose of making any investigation that it deems necessary to determine whether it wishes to exercise its Purchase Agreement. Buyer, at Buyer's expense, shall restore the Premises to substantially its prior condition following any disturbance caused by any such investigation. Buyer agrees to indemnify and hold harmless Seller from the claims of any person for any an all damage or injury to property or persons caused by Buyer's investigations.

d. Closing The Closing shall take place at the office of Buyer's lender's counsel or at such other place as the Buyer and Seller may mutually agree sixty (60) days after the date of the Closing Notice. Documents to be provided by Seller to Buyer at the Closing shall include the Deed and such other documents as the Buyer's lender and the title company insuring the title may reasonably request, including, without limitation, a Mechanic's Lien and Persons in Possession Affidavit, a Taxpayer Information (1099S) Form, an Affidavit of Non-Foreign Status, a settlement statement, and such other documents as may reasonably be required by the closing agent. It is agreed that time is of the essence with respect to all of the terms and conditions of this Agreement.

e. Adjustments, Prorations and Closing Costs

(i) Real estate taxes and assessments shall be prorated as of the closing on the basis of the latest available tax bill.

(ii) The Maine real estate transfer tax shall be paid by Buyer.

(iii) The recording fee for the deed of conveyance and any expenses related to any mortgage that Buyer may grant to a lender in connection with the purchase of the Premises shall be paid for by the Buyer.

f. Brokerage Each of Buyer and Seller represents and warrants to the other that they have not dealt with any real estate broker, agent or salesperson in connection with this transaction.

5. REDEVELOPMENT Buyer intends on redeveloping the property and shall be seeking permits and approvals from the Town of Brunswick to construct a new building on the property.

6. **CANCELLATION** Notwithstanding anything contained herein to the contrary, Buyer shall have the right, at any time prior to giving the Closing Notice (3) to cancel this Agreement by written notice to Seller (the "Cancellation Notice"). If the Cancellation Notice is sent, or Buyer fails to give the Closing Notice, the Deposit shall be retained by Seller and this Agreement shall be of no further force and effect, without recourse to the parties hereto.

7. **CONFIDENTIALITY** Each of Buyer and Seller hereby covenants and agrees to use best efforts to preserve the confidentiality of the transaction contemplated by this Agreement, to prevent disclosure of the existence of this Agreement, the price and other terms of the transaction set forth in this Agreement, to any party other than to its attorneys, auditors, lenders, financial advisors and accountants, who shall agree to hold such information as proprietary confidential and not to be disclosed to others, except: (i) as may be approved in writing in advance by the other party in each instance; (ii) such reports as may be required by applicable statute (as for instance in the case of such reports relating to Oil and Hazardous Materials); (iii) as may be ordered by a court of competent jurisdiction; or (iv) the disclosure of any such information to any prospective Buyer's Assignee.

Seller covenants and agrees to take the Premises off the market and not to offer the Premises for sale or lease to any other person or entity, nor to accept, invite, or respond to offers for the purchase or leasing of the Premises, until such time as Buyer either terminates this Agreement or fails to exercise its option rights. Accordingly, Seller shall forward any inquiry or offer with respect to the Premises to Buyer during the term of the Agreement.

8. **MISCELLANEOUS**

a. **Time** Time is of the essence hereof.

b. **Notices** All notices, demand and other communications hereunder shall be in writing and sent by hand delivery, by certified or registered mail, or by Federal Express or equivalent overnight courier, addressed to other party at the address set forth above, or at such other address as the other party shall have provided notice of according to this provision. Any such notice shall be deemed to have been given upon the date of hand delivery, upon mailing or upon depositing the same with Federal Express or similar overnight courier.

c. **Default** In the event of breach or failure of performance by Seller of any of its obligations hereunder, the Buyer may elect to: (i) waive said Default, (ii) terminate this Agreement and demand and obtain the return of the Deposit and the obligations of the parties hereunder shall terminate forthwith, or (iii) seek all remedies available under this Agreement and/or at law or in equity, including, without limitation, specific performance of this Agreement, and/or recourse for any and all of its losses, expenses, costs, and claims of same, including without limitation, reasonable attorneys

fees and costs. In the event of breach or failure of performance by Buyer of any of its obligations hereunder and Buyer's failure to cure such breach or failure within ten (10) business days after receiving notice thereof from Seller, the Seller may terminate this Agreement by written notice to Buyer and retain the Deposit as full liquidated damages as Seller's sole remedy at law and in equity and the obligations of the parties hereunder shall terminate forthwith.

d. Assignment Buyer's rights under this Agreement may be assigned to another party without consent of the Seller. Buyer may, following exercise of the Option, designate a nominee to take title to the Premises at the closing.

e. Entire Agreement This Agreement constitutes the entire agreement between Seller and Buyer and there are no agreements or understandings between the parties except as set forth herein.

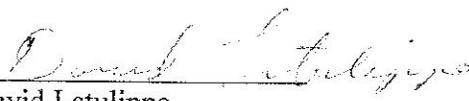
f. Binding Effect This Agreement will inure to the benefit of and bind the respective successors and assigns of Seller and Buyer.

g. Construction As used in this Agreement, the singular number shall include the plural, the plural the singular, and the use of one gender shall be deemed applicable to all genders. This Agreement shall be governed by and construed in accordance with the laws of Maine. If any provisions of this Agreement is determined to be invalid or unenforceable, it shall not affect the validity or enforcement of the remaining provisions hereof. This instrument may be executed electronically and in counterparts and together such counterpart electronic copies shall be construed as a legal contract.

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement as of the date first above written.

Buyer :
CJ Developers, Inc.

Seller:

By: 
David Latulippe

By: 
Dominic Vella

By: 
Diane Vella

Effective Date: 6-11-15







Catalog Number	RV8 40/30 120 RO8AR & RV8RGIN
Notes	
Type	A

FEATURES & SPECIFICATIONS

INTENDED USE — LED downlight for retrofit of installed 8" nominal commercial "pan-style" housings with incandescent, compact fluorescent (CFL), or high intensity discharge (HID) sources. Compatible aperture ranges 7-3/4" to 8-7/8". All installation can be performed from the room side without removing the existing fixture. Multiple lumen packages to replace the installed base of CFL or HID sources with energy savings up to 50%. See Lumen Equivalency Chart.

CONSTRUCTION — Innovative housing design that simultaneously retains and centers the fixture in the existing mounting pan.

OPTICS — LED light source with diffuse lens recessed in a reflector with a 55-degree cutoff. Aluminum full reflectors are optically designed to maximize lumen output and to provide superior glare control.

Anodized trim colors for open reflectors are clear diffuse, pewter or wheat. White polyester powder coat also available.

Minimum CRI of 80.

ELECTRICAL — Proprietary electrical design allows for excellent line voltage dimming down to 10% light output on 120V product. The zero in rush design enables maximum loading of incandescent dimmers. This enables customers to add dimming at a low cost without pulling additional wires. For compatible dimmers and dimming range, refer to Dimmer Compatibility Chart.

The system maintains 70% lumen output at more than 60,000 hours.

LISTINGS — CSA certified to US and Canadian safety standards. Wet location listed. ENERGY STAR® certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application.

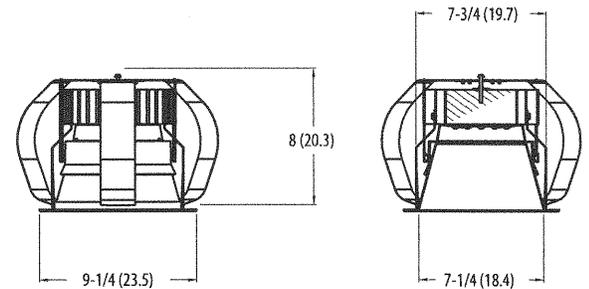
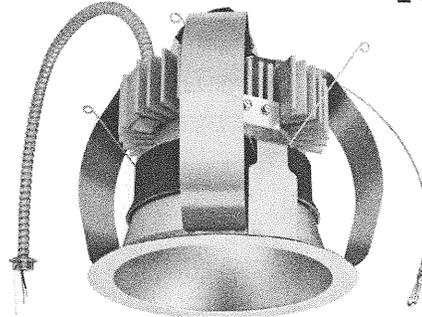
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

LUMEN EQUIVALENCY CHART			
	Delivered lumen values		
	2000	2500	3000
Approximate LED wattage	26W	34W	42W
Comparable fluorescent	1/42W CFL 2/26W CFL	2/32W CFL	> 2/32W CFL
Comparable HID	N/A	50W ED17	70W ED17
Comparable incandescent	200W A21	N/A	300W BR40
Comparable halogen PAR	100W	N/A	N/A

RV8 LED

8" OPEN LED
Non-IC
Retrofit Downlight



Specifications

Aperture:	7-1/4 (18.4)	Max. frame aperture:	8-7/8 (22.5)
Overlap trim:	9-1/4 (23.5)	Min. frame aperture:	7-3/4 (19.7)
Height:	8 (20.3)	Max. ceiling thickness:	2 (5.1)
Length:	9 (22.9)		

All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: RV8 35/30 RO8AR 120

RV8	Color temperature		Lumens	Reflector	Trim color	Finish	Voltage	Options
RV8	27/	2700 K	20 2000 lumens ¹	RO8 Downlight	AR Clear	(blank) Semi-specular	120	TRW White painted flange
	30/	3000 K	25 2500 lumens ¹	RW8 Wallwash	PR Pewter	LD Matte-diffuse	277	TRBL Black painted flange
	35/	3500 K	30 3000 lumens ¹		WTR Wheat	LS Specular		
	40/	4000 K			WR White ²			

Accessories: Order as separate catalog number.	
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
RK2 SDT 347277120 395VA AD JZ	347V step down transformer mounted in box installed by others
GRA810 JZ	Oversized trim ring with 10" outside diameter. Refer to TECH-GOOF RINGS for more options.
RV8RGIN	8" rough-in frame. Refer to RV ROUGH-IN FRAMES .
RV8RGIN IFB	8" install from below, rough-in frame. Refer to RV ROUGH-IN FRAMES .

Notes

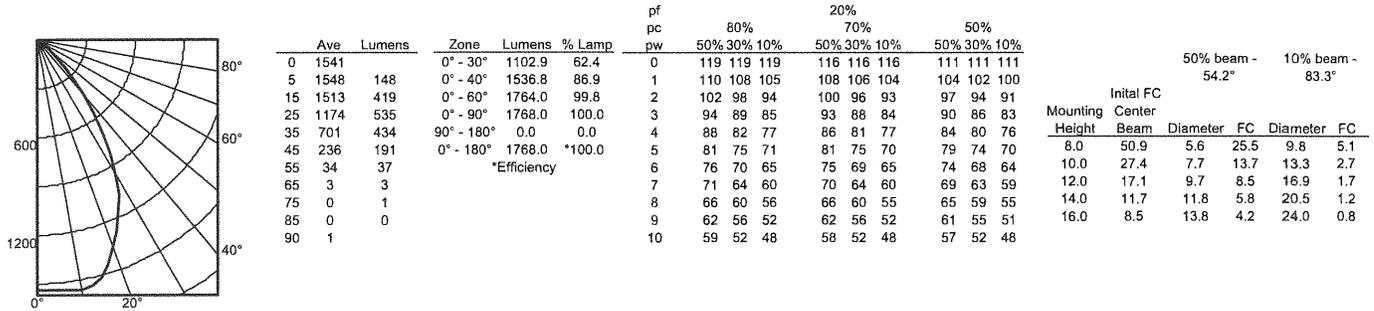
- 1 Approximate lumen output.
- 2 Not available with finishes.

RV8 LED

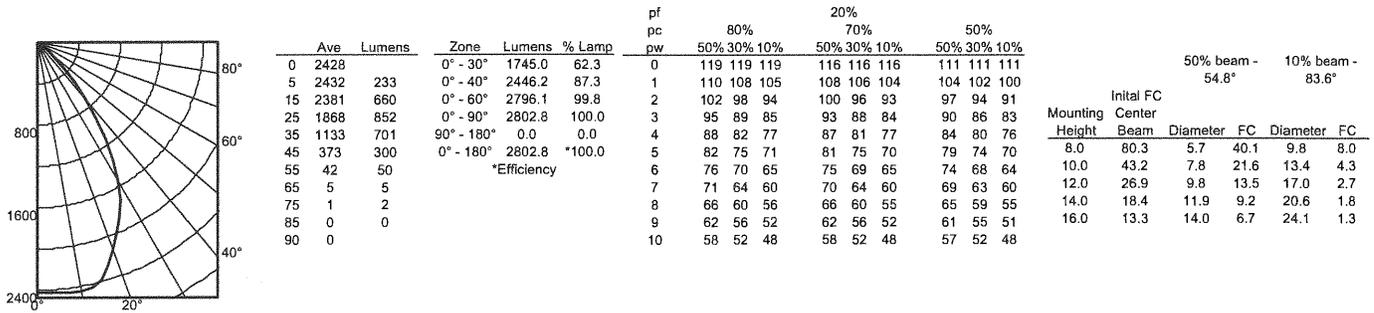
PHOTOMETRICS

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

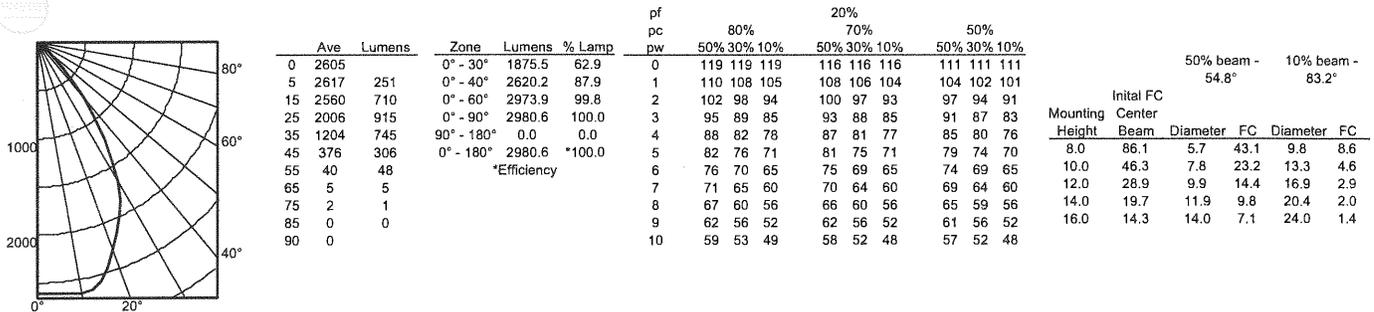
RV8 35/20 120 R08AR, input watts: 26, delivered lumens: 1768, LM/W = 68, test no. LTL23512.



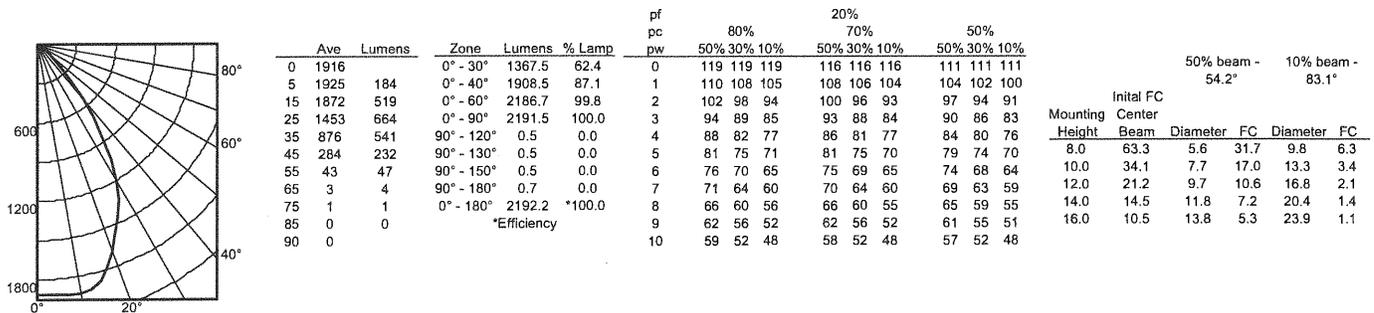
RV8 35/30 120 R08AR, input watts: 42, delivered lumens: 2803, LM/W = 68, test no. LTL23505.



RV8 35/30 277 R08AR, input watts: 44, delivered lumens: 2980, LM/W = 68, test no. LTL24235.



RV8 35/20 277 R08AR, input watts: 29, delivered lumens: 2192, LM/W = 75, test no. LTL24233.



- Notes**
- Tested in accordance with IESNA LM-79-08.
 - Tested to current IES and NEMA standards under stabilized laboratory conditions.
 - CRI: 84 typical.



RV8 LED

ADDITIONAL DATA

Color temperature	Lumen multiplier
27K	0.94
30K	0.98
35K	1.00 (baseline)
40K	1.02

Trim finish	Lumen multiplier
Clear semi-specular (AR)	1.00 (baseline)
Clear specular (LS)	1.02
Clear matte-diffuse (LD)	0.93
Pewter (PR)	0.88
Wheat (WTR)	0.92
White (WR)	0.96

ENERGY DATA*	
Min. operating temp	-18°C (0°F)
Max. operating temp	45°C (113°F)
Min. power factor	0.98
Input frequency	50/60 Hz
*Values at non-dimming line voltage.	

ELECTRICAL DATA*		
Lumen package	Input current	
	120V	277V
2000 lm	0.22 A	0.10 A
2500 lm	0.10 A	0.14 A
3000 lm	0.36 A	0.16 A
* Values at non-dimming line voltage.		

DIMMER COMPATIBILITY CHART			
Manufacturer	Model/Series	Part numbers	Comments
Sensor Switch	nlight	nSP5 PCD 2W	
Lutron	Diva C-L	DVCL-153P	
	Diva	DVELV-300P	
	Diva	DVELV-600P	
	Skylark Contour	CT-603P	
	Skylark Contour C-L	CTCL-153P	
Leviton	Decora	6674-P	
	Decora	6633P	
	IlumaTech™	IPX06-70Z (for 277V)	Dims to 40%
	TRIMATRON	6681++	
	TRIMATRON	6684++	
++ Must have at least 40W on dimmer circuit.			

Catalog Number	RV6 40/15 RO6AR 120 & RV6RGIN
Notes	
Type	B

FEATURES & SPECIFICATIONS

INTENDED USE — LED downlight for retrofit of installed 6" nominal commercial "pan-style" housings with incandescent, compact fluorescent (CFL), or high intensity discharge (HID) sources. Compatible range is 5 3/4" to 6 7/8". All installation can be performed from the room side without removing the existing fixture. Multiple lumen packages to replace the installed base of CFL or HID sources with energy savings up to 50%. See Lumen Equivalency Chart.

CONSTRUCTION — Innovative housing design that simultaneously retaining and centers the fixture in the existing mounting pan.

OPTICS — LED light source with diffuse lens recessed in a reflector with a 55-degree cutoff. Aluminum full reflectors are optically designed to maximize lumen output and to provide superior glare control.

Anodized trim colors for open reflectors are clear diffuse, pewter or wheat. White polyester powder coat also available.

Minimum CRI of 80.

ELECTRICAL — Proprietary electrical design allows for excellent line voltage dimming down to 10% light output on 120V product. The zero in rush design enables maximum loading of incandescent dimmers. This enables customers to add dimming of a low cost without pulling additional wires. For compatible dimmers and dimming range, refer to Dimmer Compatibility Chart.

The system maintains 70% lumen output at more than 50,000 hours.

LISTINGS — CSA certified to US and Canadian safety standards. Wet location listed. ENERGY STAR® certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

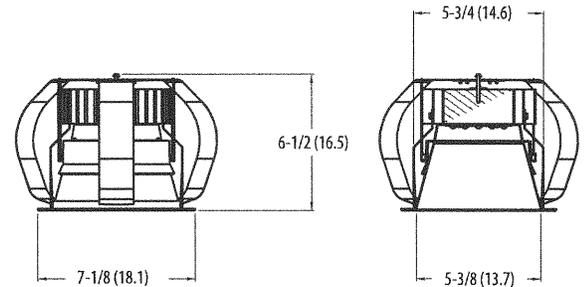
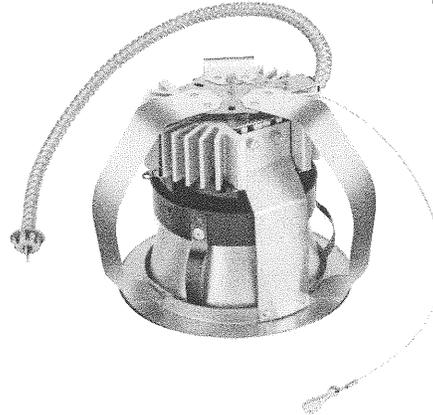
Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

RV6 LED

**6" OPEN LED
Non-IC
Retrofit Downlight**



Specifications

Aperture:	5-5/16 (13.5)	Max. ceiling opening:	6-7/8 (17.5)
Overlap trim:	7-1/8 (18.1)	Min. ceiling opening:	5-3/4 (14.6)
Height:	6-1/2 (16.5)	Max. ceiling thickness:	2 (5.1)
Length:	7 (17.8)		

All dimensions are inches (centimeters) unless otherwise indicated.

LUMEN EQUIVALENCY CHART*						
	RV6 35/06		RV6 35/10		RV6 35/15	
	120V	277V	120V	277V	120V	277V
Delivered lumens (lm)	615	790	900	1200	1475	1580
Nominal wattage (W)	9	10.5	14	16	22.5	23
Comparable fluorescent	18W CFL		26W CFL		32W CFL	
Comparable incandescent	65W BR30		120W BR40		150W A21	
Comparable halogen PAR	50W		75W		90W	

* Data based on LM-79 test reports.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: RV6 35/15 RO6AR 120

RV6	Series	Color temperature	Lumens	Reflector	Trim color	Finish	Voltage	Options
RV6	27/	2700 K	06 600 lumens ¹	RO6 Downlight	AR Clear	(blank) Semi-specular	120	TRW White painted flange
	30/	3000 K	10 1000 lumens ¹	RW6 Wallwash	PR Pewter	LD Matte-diffuse	277	TRBL Black painted flange
	35/	3500 K	15 1500 lumens ¹		WTR Wheat	LS Specular		
	40/	4000 K			WR White ²			

Accessories: Order as separate catalog number.

EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
RK2 SDT 347277120 395VA AD JZ	347V step down transformer mounted in box installed by others
GRA68 JZ	Oversized trim ring with 8" outside diameter. Refer to TECH-GOOF RINGS for more options.
RV6RGIN	6" rough-in frame. Refer to RV ROUGH-IN FRAMES .
RV6RGIN IFB	6" install from below, rough-in frame. Refer to RV ROUGH-IN FRAMES .

Notes

- 1 Approximate lumen output.
- 2 Not available with finishes.

RV6 LED

PHOTOMETRICS

Distribution Curve

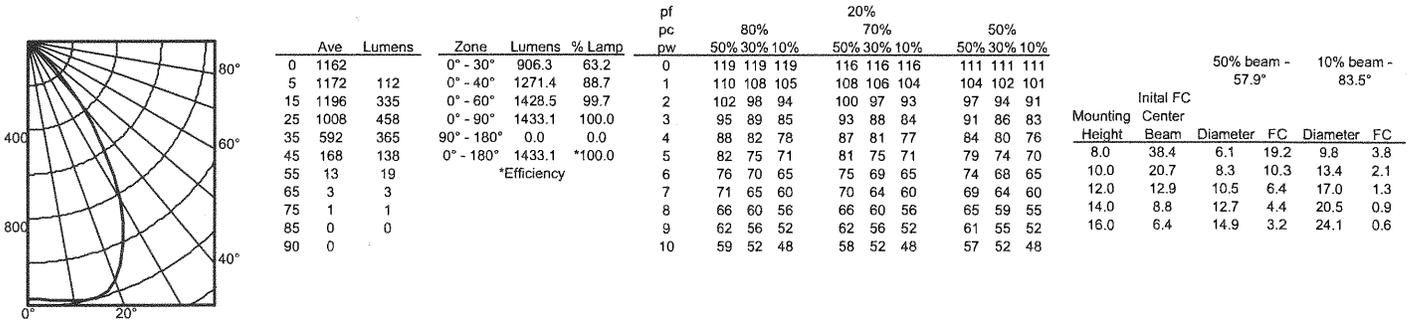
Distribution Data

Output Data

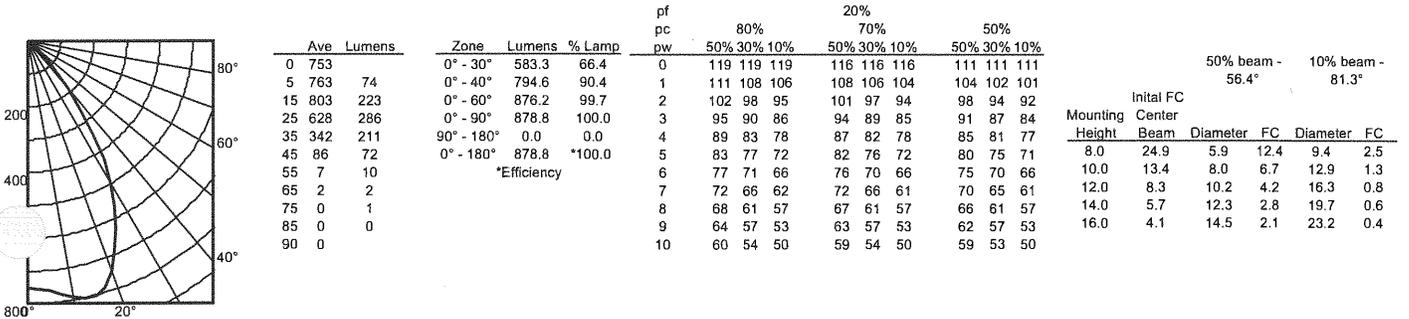
Coefficient of Utilization

Illuminance Data at 30" Above Floor for a Single Luminaire

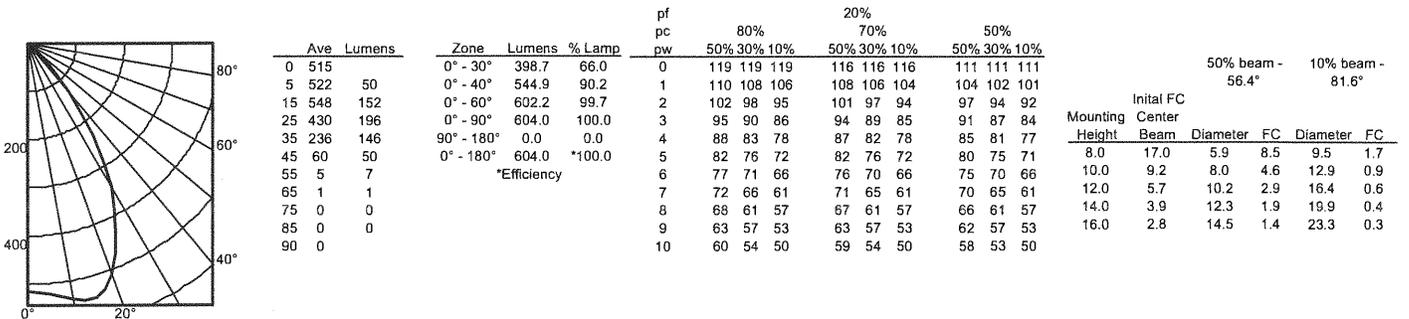
RV6 35/15 R06AR 120, input watts: 21, delivered lumens: 1433, LM/W = 68, test no. LTL25291.



RV6 35/10 R06AR 120, input watts: 14, delivered lumens: 889, LM/W = 64, test no. LTL25276.



RV6 35/06 R06AR 120, input watts: 8, delivered lumens: 604, LM/W = 76, test no. LTL25277.



Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.

RV6 LED

ADDITIONAL DATA

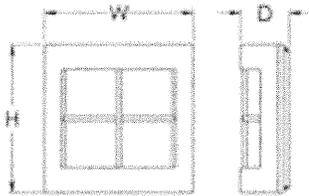
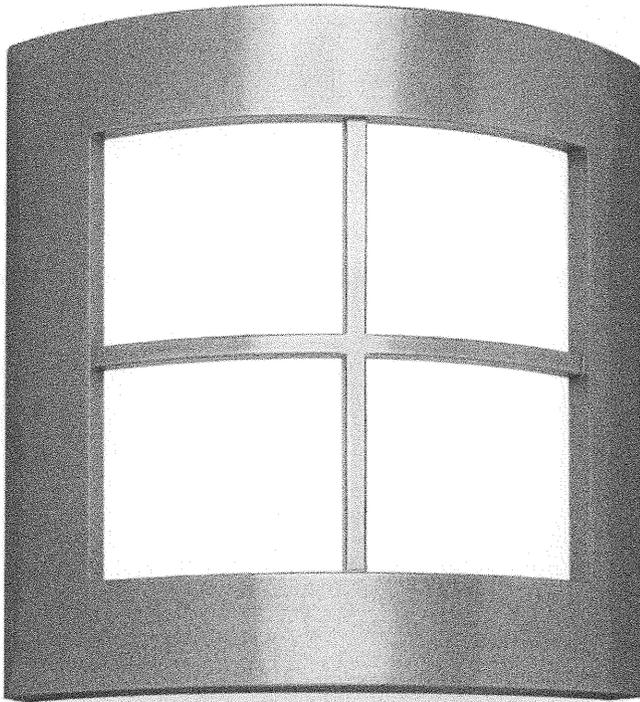
Color temperature	Lumen multiplier
27K	0.83
30K	0.94
35K	1.00 (baseline)
40K	1.03

Trim color	Lumen multiplier
Clear (AR)	1.01
Pewter (PR)	0.97
Wheat (WTR)	0.98
White (WR)	1.00

ENERGY DATA*	
Min. starting temp	-18°C (0°F)
Min. power factor	0.80
Input frequency	50/60 Hz
*Values at non-dimming line voltage.	

ELECTRICAL DATA*		
Lumen package	Input current	
	120V	277V
600 lm	0.07 A	0.04 A
1000 lm	0.12 A	0.06 A
1500 lm	0.18 A	0.09 A
* Values at non-dimming line voltage.		

DIMMER COMPATIBILITY CHART			
Manufacturer	Model/Series	Part numbers	Comments
Sensor Switch	nlight	nSP5 PCD 2W	
Lutron	Diva C-L	DVCL-153P	
	Diva	DVELV-300P	
	Diva	DVELV-600P	
	Skylark Contour	CT-603P	
	Skylark Contour C-L	CTCL-153P	
Leviton	Decora	6674-P	
	Decora	6633P	
	IlumaTech™	IPX06-70Z (for 277V)	Dims to 40%
	TRIMATRON	6681++	
	TRIMATRON	6684++	
++ Must have at least 40W on dimmer circuit.			



Order as a Complete Unit:

Model No. + Lamp Code + Finish Code + Option Code + Voltage

BASE MODEL NO.

ADA S3345

DIMENSIONS

W	H	D	MC	BASE MODEL NO.	ADD LAMP CODE	ADD FINISH CODE
12"	12"	4"	6"	S3345	2T60, 2C13E, 2C26E, L18-30K, L18-35K	BA, PT

SPECIFICATIONS

Ballast: High Power Factor, Electronic. 120/277
 Mounting: Wall Sconces Mounts to a 4" Octagonal Electrical Box (by others) with a Universal Strap and Hardware Provided. Fixture Mounting Center (MC) Dimension is Measured from Top of Fixture to Center of Electrical Box.

FINISHES

BA Brushed Aluminum
 PT Painted Finishes
 (Specify Color Code from Our Standard Finish Chart)

OPTIONS

EM Emergency Battery Pack with Fluorescent Lighting (Remote)
 BTL Bottom Lens
 FAA Faux Alabaster Acrylic (Hand Painted) (FA-1 White; FA-2 Antique; FA-3 Grey; FA-4 Taupe; FA-5 Honey; FA-6 Tuscan)
 TPL Top Lens

LAMPING

T60 = 60 Watt T10 Incandescent
 C13E = 13 Watt Quad Tube Compact Fluorescent 4 Pin Electronic, G24Q-1Base
 C26E = 26 Watt Quad Tube Compact Fluorescent 4 Pin Electronic, G24Q-3 Base
 L18-30K = 18 Watt LED 3000 Kelvin, 2000 Lumens
 L18-35K = 18 Watt LED 3500 Kelvin, 2000 Lumens

FEATURES

- Opal Matt Acrylic Lens
- LED 0-10V Dimming Driver





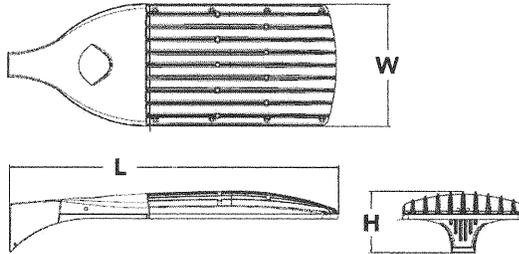
D-Series Size 2 LED Area Luminaire



d^{series}

Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Catalog Number **DSX2 LED 80C 530 40K T2S MVOLT HS**

Notes **20' pole**

Type **D**

Hit the Tab key or mouse over the page to see all interactive elements

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED		Drive current		Color temperature		Distribution			Voltage		Mounting	
DSX2 LED	Forward optics	530	530 mA	30K	3000 K	T1S	Type I Short	TFTM	Forward Throw Medium	MVOLT ²	Shipped included	
	80C 80 LEDs (four engine)	700	700 mA	40K	4000 K	T2S	Type II Short	T5VS	Type V Very Short	120 ²	SPA	Square pole mounting
		1000	1000 mA (1 A)	50K	5000 K	T2M	Type II Medium	T5S	Type V Short	208 ²	RPA	Round pole mounting
				AMBPC	Amber phosphor converted	T3S	Type III Short	T5M	Type V Medium	240 ²	WBA	Wall bracket
						T3M	Type III Medium	T5W	Type V Wide	277 ²	SPUMBA	Square pole universal mounting adaptor ⁴
						T4M	Type IV Medium			347 ³	RPUMBA	Round pole universal mounting adaptor ⁴
										480 ³	Shipped separately	
	Rotated optics¹										KMA8 DDBXD U	Most arm mounting bracket adaptor (specify finish) ⁵
	90C 90 LEDs											

Control options

Shipped installed

PER	NEMA twist-lock receptacle only (no controls) ⁶
PER5	Five-wire receptacle only (no controls) ^{6,7}
PER7	Seven-wire receptacle only (no controls) ^{6,7}
DMG	0-10V dimming driver (no controls) ⁸
DCR	Dimmable and controllable via ROAM [®] (no controls) ⁹
DS	Dual switching ^{10,11}
PIRH	Motion sensor, 15-30' mounting height ¹²

BL30	Bi-level switched dimming, 30% ^{11,13}
BL50	Bi-level switched dimming, 50% ^{11,13}
PNMTDD3	Part night, dim till dawn ¹⁴
PNMT5D3	Part night, dim 5 hrs ¹⁴
PNMT6D3	Part night, dim 6 hrs ¹⁴
PNMT7D3	Part night, dim 7 hrs ¹⁴

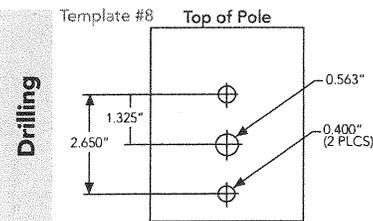
Other options

Shipped installed

HS	House-side shield ¹⁵
SF	Single fuse (120, 277, 347V) ²
DF	Double fuse (208, 240, 480V) ²
L90	Left rotated optics ¹⁶
R90	Right rotated optics ¹⁶

Finish (Color)

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLTXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°*
DM28AS	2 at 180°	DM39AS	3 at 90°*
DM49AS	4 at 90°*	DM32AS	3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES[®] CENTRAL to see our wide selection of poles, accessories and educational tools.
*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷
SC U	Shorting cap ¹⁷
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Most arm mounting bracket adaptor (specify finish) ⁵

For more control options, visit ETL and ROAM[®] online.

Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- Rotated optics option (L90 or R90) required for 90C.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- Requires an additional switched circuit.
- Specifies the SensorSwitch SRGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PER5 or PER7.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Available with 90 LEDs (90C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.

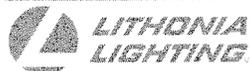


Performance Data

Lumen Output

These values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77
			TFTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81
			T5S	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81
			T5M	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81
			T5W	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80
			T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71
	T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70		
	T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70		
	T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70		
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70		
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70		
	TFTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71		
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74		
	T5S	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74		
	T5M	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73		
	T5W	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72		
	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64		
	T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63		
	T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63		
	T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63		
	T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63		
	T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63		
	TFTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64		
	TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67		
	T5S	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67		
	T5M	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66		
	T5W	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65		
	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75		
	T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73		
	T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74		
T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73			
T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74			
T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73			
TFTM	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75			
TSVS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78			
T5S	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78			
T5M	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77			
T5W	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76			
T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71			
T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70			
T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70			
T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70			
T3M	21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70			
T4M	21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70			
TFTM	22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71			
TSVS	22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74			
T5S	22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73			
T5M	22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73			
T5W	22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
T1S	28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62			
T2S	29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61			
T2M	29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61			
T3S	29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60			
T3M	29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61			
T4M	28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60			
TFTM	29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62			
TSVS	30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64			
T5S	30,908	4	0	2	87	32,880	4	0	2	92	32,999	4	0	2	92	23,016	4	0	1	64			
T5M	30,760	5	0	3	86	32,723	5	0	3	91	32,841	5	0	3	92	22,906	4	0	2	64			
T5W	30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				90C (90 LEDs)																			
90C (90 LEDs)	530 mA	150W	T1S	15,409	3	0	3	103	16,392	3	0	3	109	16,451	3	0	3	110	11,475	3	0	3	76
			T2S	15,373	3	0	3	102	16,354	3	0	3	109	16,413	3	0	3	109	11,448	3	0	3	76
			T2M	15,399	4	0	4	103	16,381	4	0	4	109	16,440	4	0	4	110	11,467	3	0	3	76
			T3S	15,365	4	0	4	102	16,346	4	0	4	109	16,405	4	0	4	109	11,442	3	0	3	76
			T3M	15,395	4	0	4	103	16,378	4	0	4	109	16,437	4	0	4	110	11,464	4	0	4	76
			T4M	15,363	4	0	4	102	16,343	4	0	4	109	16,402	4	0	4	109	11,440	4	0	4	76
			TFTM	15,646	4	0	4	104	16,645	4	0	4	111	16,705	4	0	4	111	11,651	4	0	4	78
			TSVS	16,502	4	0	1	110	17,555	4	0	1	117	17,618	4	0	1	117	12,289	3	0	1	82
			TSS	16,085	4	0	1	107	17,112	4	0	1	114	17,174	4	0	1	114	11,978	3	0	1	80
			TSM	16,519	4	0	2	110	17,573	4	0	2	117	17,636	4	0	2	118	12,301	4	0	2	82
			TSW	16,260	4	0	2	108	17,298	5	0	3	115	17,360	5	0	3	116	12,109	4	0	2	81
			T1S	19,320	4	0	4	94	20,553	4	0	4	100	20,627	4	0	4	100	14,387	3	0	3	70
	T2S	19,275	4	0	4	94	20,506	4	0	4	100	20,579	4	0	4	100	14,354	3	0	3	70		
	T2M	19,307	4	0	4	94	20,540	4	0	4	100	20,614	4	0	4	100	14,378	4	0	4	70		
	T3S	19,265	4	0	4	94	20,495	4	0	4	99	20,569	4	0	4	100	14,347	4	0	4	70		
	T3M	19,303	4	0	4	94	20,535	4	0	4	100	20,609	4	0	4	100	14,374	4	0	4	70		
	T4M	19,262	4	0	4	94	20,492	5	0	5	99	20,566	5	0	5	100	14,344	4	0	4	70		
	TFTM	19,618	4	0	4	95	20,870	4	0	4	101	20,945	4	0	4	102	14,609	4	0	4	71		
	TSVS	20,691	4	0	1	100	22,011	4	0	1	107	22,090	4	0	1	107	15,408	4	0	1	75		
	TSS	20,168	4	0	1	98	21,533	4	0	1	105	21,533	4	0	1	105	15,019	4	0	1	73		
	TSM	20,712	4	0	2	101	22,034	5	0	3	107	22,113	5	0	3	107	15,424	4	0	2	75		
	TSW	20,388	5	0	3	99	21,689	5	0	3	105	21,767	5	0	3	106	15,182	4	0	2	74		
	T1S	25,901	4	0	4	81	27,554	4	0	4	86	27,653	4	0	4	86	19,288	4	0	4	60		
	T2S	25,840	4	0	4	81	27,490	4	0	4	86	27,588	4	0	4	86	19,243	4	0	4	60		
T2M	25,883	4	0	4	81	27,536	5	0	5	86	27,635	5	0	5	86	19,275	4	0	4	60			
T3S	25,827	4	0	4	81	27,476	4	0	4	86	27,574	4	0	4	86	19,233	4	0	4	60			
T3M	25,877	5	0	5	81	27,529	5	0	5	86	27,628	5	0	5	86	19,270	4	0	4	60			
T4M	25,823	5	0	5	81	27,471	5	0	5	86	27,570	5	0	5	86	19,230	4	0	4	60			
TFTM	26,299	5	0	5	82	27,978	5	0	5	87	28,079	5	0	5	88	19,585	4	0	4	61			
TSVS	27,738	5	0	1	87	29,508	5	0	1	92	29,614	5	0	1	93	20,656	4	0	1	65			
TSS	27,038	5	0	2	84	28,764	5	0	2	90	28,867	5	0	2	90	20,135	4	0	1	63			
TSM	27,766	5	0	3	87	29,538	5	0	3	92	29,645	5	0	3	93	20,677	4	0	2	65			
TSW	27,332	5	0	4	85	29,076	5	0	4	91	29,181	5	0	4	91	20,354	5	0	3	64			

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

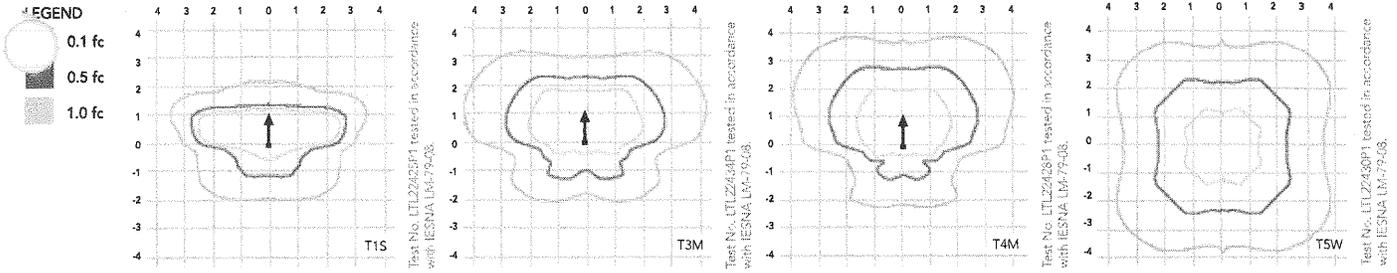
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor				
	0	25,000	50,000	100,000	
DSX2 LED 80C 1000	1.0	0.95	0.92	0.86	
	DSX2 LED 100C 700	1.0	0.98	0.97	0.96
		DSX2 LED 100C 1000	1.0	0.94	0.90

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	700	232W	1.95	1.13	0.99	0.88	0.67	0.49
	1000	360W	3.03	1.72	1.49	1.3	1.05	0.77

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



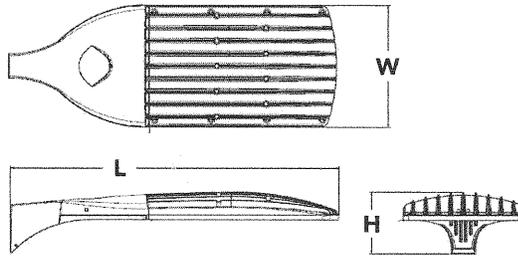
D-Series Size 2 LED Area Luminaire



d^{series}

Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



Catalog Number **DSX1 LED 60C 530 40K T2S MVOLT HS**

Notes **20' pole**

Type **D1**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED									
Series	LEDs	Drive current		Color temperature		Distribution	Voltage	Mounting	
DSX2 LED	Forward optics 80C 80 LEDs (four engine)	530	530 mA	30K	3000 K	T1S Type I Short	TFTM Forward Throw Medium	MVOLT ²	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁴ RPUMBA Round pole universal mounting adaptor ⁴ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁵
		700	700 mA	40K	4000 K	T2S Type II Short	T5VS Type V Very Short	120 ²	
		1000	1000 mA (1 A)	50K	5000 K	T2M Type II Medium	T5S Type V Short	208 ²	
	Rotated optics¹ 90C 90 LEDs				AMBPC Amber phosphor converted	T3S Type III Short	T5M Type V Medium	240 ²	
					T3M Type III Medium	T5W Type V Wide	277 ²		
					T4M Type IV Medium		347 ³		
							480 ³		

Control options

Shipped installed

PER	NEMA twist-lock receptacle only (no controls) ⁵
PER5	Five-wire receptacle only (no controls) ^{6,7}
PER7	Seven-wire receptacle only (no controls) ^{6,7}
DMG	0-10V dimming driver (no controls) ⁸
DCR	Dimmable and controllable via ROAM® (no controls) ⁹
DS	Dual switching ^{10,11}
PIRH	Motion sensor, 15-30' mounting height ¹²

BL30	Bi-level switched dimming, 30% ^{11,13}
BL50	Bi-level switched dimming, 50% ^{11,13}
PNMTDD3	Part night, dim till dawn ¹⁴
PNMTSD3	Part night, dim 5 hrs ¹⁴
PNMT6D3	Part night, dim 6 hrs ¹⁴
PNMT7D3	Part night, dim 7 hrs ¹⁴

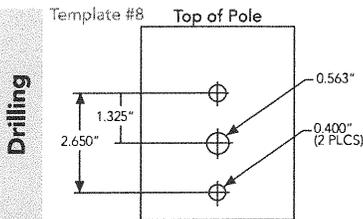
Other options

Shipped installed

HS	House-side shield ¹⁵
SF	Single fuse (120, 277, 347V) ²
DF	Double fuse (208, 240, 480V) ²
L90	Left rotated optics ¹⁶
R90	Right rotated optics ¹⁶

Finish (finish)

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLTXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° ***

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.
*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷
SC U	Shorting cap ¹⁷
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁵

For more control options, visit [DTE](#) and [ROAM](#) online.

Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- Rotated optics option (L90 or R90) required for 90C.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- Requires an additional switched circuit.
- Specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PER5 or PER7.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Available with 90 LEDs (90C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Performance Data

Lumen Output

Values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80C (80 LEDs)	530 mA	137W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77
			TFTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78
			TSVS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81
			T5S	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81
			T5M	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81
			T5W	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80
			T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71
			T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70
			T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70
			T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70
	T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70		
	T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70		
	TFTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71		
	TSVS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74		
	T5S	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74		
	T5M	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73		
	T5W	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72		
	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64		
	T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63		
	T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63		
	T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63		
	T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63		
	T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63		
	TFTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64		
	TSVS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67		
T5S	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67			
T5M	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66			
T5W	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65			
T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75			
T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73			
T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74			
T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73			
T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74			
T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73			
TFTM	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75			
TSVS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78			
T5S	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78			
T5M	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77			
T5W	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76			
T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71			
T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70			
T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70			
T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70			
T3M	21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70			
T4M	21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70			
TFTM	22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71			
TSVS	22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74			
T5S	22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73			
T5M	22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73			
T5W	22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72			
T1S	28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62			
T2S	29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61			
T2M	29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61			
T3S	29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60			
T3M	29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61			
T4M	28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60			
TFTM	29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62			
TSVS	30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64			
T5S	30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64			
T5M	30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64			
T5W	30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63			



Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
				90C (90 LEDs)																			
90C (90 LEDs)	530 mA	150W	T1S	15,409	3	0	3	103	16,392	3	0	3	109	16,451	3	0	3	110	11,475	3	0	3	76
			T2S	15,373	3	0	3	102	16,354	3	0	3	109	16,413	3	0	3	109	11,448	3	0	3	76
			T2M	15,399	4	0	4	103	16,381	4	0	4	109	16,440	4	0	4	110	11,467	3	0	3	76
			T3S	15,365	4	0	4	102	16,346	4	0	4	109	16,405	4	0	4	109	11,442	3	0	3	76
			T3M	15,395	4	0	4	103	16,378	4	0	4	109	16,437	4	0	4	110	11,464	4	0	4	76
			T4M	15,363	4	0	4	102	16,343	4	0	4	109	16,402	4	0	4	109	11,440	4	0	4	76
			TFTM	15,646	4	0	4	104	16,645	4	0	4	111	16,705	4	0	4	111	11,442	4	0	4	78
			TSVS	16,502	4	0	1	110	17,555	4	0	1	117	17,618	4	0	1	117	12,289	3	0	1	82
			T5S	16,085	4	0	1	107	17,112	4	0	1	114	17,174	4	0	1	114	11,978	3	0	1	80
			T5M	16,519	4	0	2	110	17,573	4	0	2	117	17,636	4	0	2	118	12,301	4	0	2	82
	T5W	16,260	4	0	2	108	17,298	5	0	3	115	17,360	5	0	3	116	12,109	4	0	2	81		
	T1S	19,320	4	0	4	94	20,553	4	0	4	100	20,627	4	0	4	100	14,387	3	0	3	70		
	T2S	19,275	4	0	4	94	20,506	4	0	4	100	20,579	4	0	4	100	14,354	3	0	3	70		
	T2M	19,307	4	0	4	94	20,540	4	0	4	100	20,614	4	0	4	100	14,378	4	0	4	70		
	T3S	19,265	4	0	4	94	20,495	4	0	4	99	20,569	4	0	4	100	14,347	4	0	4	70		
	T3M	19,303	4	0	4	94	20,535	4	0	4	100	20,609	4	0	4	100	14,374	4	0	4	70		
	T4M	19,262	4	0	4	94	20,492	5	0	5	99	20,566	5	0	5	100	14,344	4	0	4	70		
	TFTM	19,618	4	0	4	95	20,870	4	0	4	101	20,945	4	0	4	102	14,609	4	0	4	71		
	TSVS	20,691	4	0	1	100	22,011	4	0	1	107	22,090	4	0	1	107	15,408	4	0	1	75		
	T5S	20,168	4	0	1	98	21,533	4	0	1	105	21,533	4	0	1	105	15,019	4	0	1	73		
T5M	20,712	4	0	2	101	22,034	5	0	3	107	22,113	5	0	3	107	15,424	4	0	2	75			
T5W	20,388	5	0	3	99	21,689	5	0	3	105	21,767	5	0	3	106	15,182	4	0	2	74			
1000 mA	320W	T1S	25,901	4	0	4	81	27,554	4	0	4	86	27,653	4	0	4	86	19,288	4	0	4	60	
		T2S	25,840	4	0	4	81	27,490	4	0	4	86	27,588	4	0	4	86	19,243	4	0	4	60	
		T2M	25,883	4	0	4	81	27,536	5	0	5	86	27,635	5	0	5	86	19,275	4	0	4	60	
		T3S	25,827	4	0	4	81	27,476	4	0	4	86	27,574	4	0	4	86	19,233	4	0	4	60	
		T3M	25,877	5	0	5	81	27,529	5	0	5	86	27,628	5	0	5	86	19,270	4	0	4	60	
		T4M	25,823	5	0	5	81	27,471	5	0	5	86	27,570	5	0	5	86	19,230	4	0	4	60	
		TFTM	26,299	5	0	5	82	27,978	5	0	5	87	28,079	5	0	5	88	19,585	4	0	4	61	
		TSVS	27,738	5	0	1	87	29,508	5	0	1	92	29,614	5	0	1	93	20,656	4	0	1	65	
		T5S	27,038	5	0	2	84	28,764	5	0	2	90	28,867	5	0	2	90	20,135	4	0	1	63	
		T5M	27,766	5	0	3	87	29,538	5	0	3	92	29,645	5	0	3	93	20,677	4	0	2	65	
T5W	27,332	5	0	4	85	29,076	5	0	4	91	29,181	5	0	4	91	20,354	5	0	3	64			

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

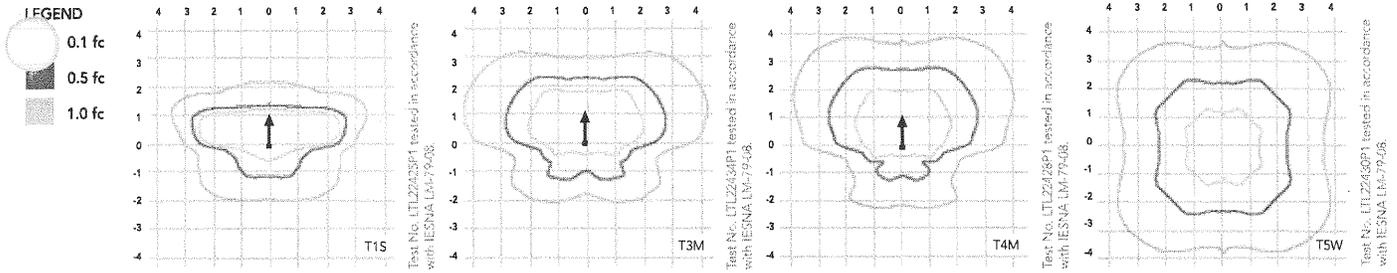
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1000			
	1.0	0.95	0.92	0.86
	DSX2 LED 100C 700			
	1.0	0.98	0.97	0.96
DSX2 LED 100C 1000				
1.0	0.94	0.90	0.84	

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	700	232W	1.95	1.13	0.99	0.88	0.67	0.49
	1000	360W	3.03	1.72	1.49	1.3	1.05	0.77

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomResources/Terms_and_Conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



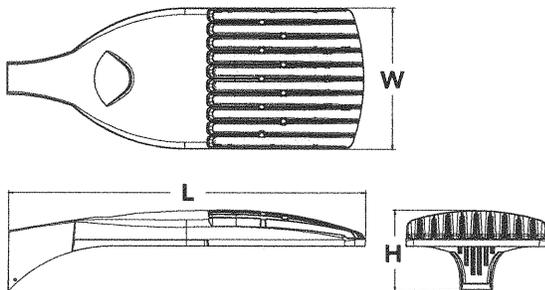
D-Series Size 1 LED Area Luminaire

d^{series}



Specifications

EPA:	1.2 ft ² (0.11 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



Catalog Number **DSX1 LED 60C 530 40K T3M MVOLT**

Notes **15' pole**

Type **E**

Hit the tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

DSX1LED		Drive current		Color temperature		Distribution				Voltage	Mounting				
Series	LEDs														
DSX1 LED	Forward optics	530	530 mA	30K	3000 K	T1S	Type I Short	TFTM	Forward Throw	MVOLT ³	Shipped included				
	30C	30 LEDs (one engine)	700	700 mA	40K	4000 K	T2S	Type II Short				120 ³	SPA	Square pole mounting	
	40C	40 LEDs (two engines)	1000	1000 mA (1 A)	50K	5000 K	T2M	Type II Medium	TSVS			Type V Very Short	208 ³	RPA	Round pole mounting
	60C	60 LEDs (two engines)			AMBPC	Amber phosphor converted ²	T3S	Type III Short	TSS			Type V Short	240 ³	WBA	Wall bracket
	Rotated optics¹	60C	60 LEDs (two engines)			T3M	Type III Medium	T5M	Type V Medium			277 ³	SPUMBA	Square pole universal mounting adaptor ⁵	
					T4M	Type IV Medium	T5W	Type V Wide	347 ⁴	RPUMBA	Round pole universal mounting adaptor ⁵				
									480 ⁴		Shipped separately				
											KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁶			

Control options		Other options		Finish	
Shipped installed		Shipped installed		DDBXD	Dark bronze
PER	NEMA twist-lock receptacle only (no controls) ⁷	PIRH	Motion sensor, 15-30' mounting height ¹³	DBLXD	Black
PERS	Five-wire receptacle only (no controls) ^{7,8}	BL30	Bi-level switched dimming, 30% ^{12,14}	DNAXD	Natural aluminum
PER7	Seven-wire receptacle only (no controls) ^{7,8}	BL50	Bi-level switched dimming, 50% ^{12,14}	DWHXD	White
DMG	0-10V dimming driver (no controls) ⁹	PNMTDD3	Part night, dim till dawn ¹⁵	DDBTXD	Textured dark bronze
DCR	Dimmable and controllable via ROAM® (no controls) ¹⁰	PNMT5D3	Part night, dim 5 hrs ¹⁵	DBLXD	Textured black
DS	Dual switching ^{11,12}	PNMT6D3	Part night, dim 6 hrs ¹⁵	DNATXD	Textured natural aluminum
PIR	Motion sensor, 8-15' mounting height ¹³	PNMT7D3	Part night, dim 7 hrs ¹⁵	DWHGXD	Textured white

Controls & Shields

Accessories <small>Ordered and shipped separately.</small>	DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁰
	DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁰
	DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁰
	SC U	Shorting cap ²⁰
	DSX1HS 30CU	House-side shield for 30 LED unit
	DSX1HS 40CU	House-side shield for 40 LED unit
	DSX1HS 60CU	House-side shield for 60 LED unit
	PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
	KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁶

For more control options, visit [DCL](#) and [ROAM](#) online.

NOTES

- Rotated optics available with 60C only.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (30C 530 or 60C 530 DS). Not available with BL30, BL50 or PNMT options.
- Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIR, PIRH, PERS, PER7, BL30, BL50 or PNMT options.

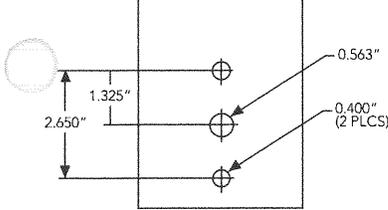
- Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR or PIRH.
- Requires an additional switched circuit.
- PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PERS or PER7.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PERS, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PERS, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- WTB not available with DS.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Available with 60 LEDs (60C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.



Drilling

Template #8

Top of Pole



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

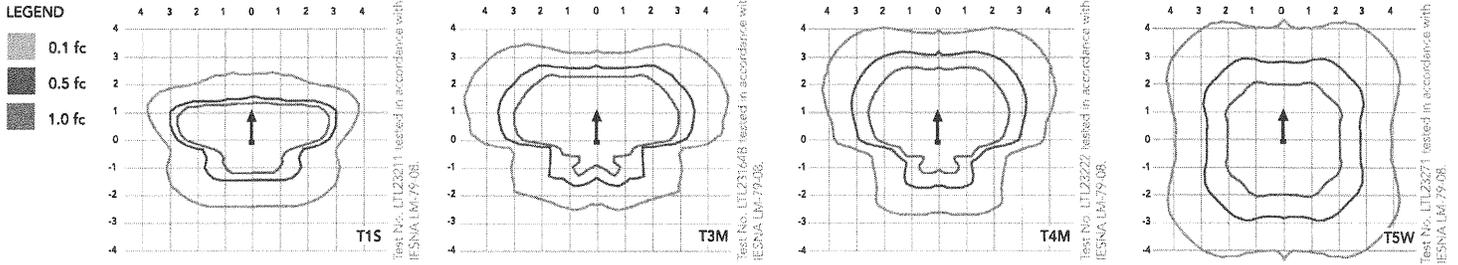
Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
25°C / 77°F	1.00
30°C / 86°F	1.00
40°C / 104°F	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	--	--
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
DSX1 LED 60C 1000	1.0	0.95	0.93	0.88
	1.0	0.99	0.98	0.96
DSX1 LED 60C 700	1.0	0.95	0.93	0.88
	1.0	0.99	0.98	0.96



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	P	U	G	LPW	Lumens	P	U	G	LPW	Lumens	P	U	G	LPW	Lumens	P	U	G	LPW
30C (30 LEDs)	700 mA	68 W	T1S	5,697	1	0	1	84	7,127	2	0	2	105	7,180	2	0	2	106	4,561	1	0	1	67
			T2S	5,967	2	0	2	88	7,465	2	0	2	110	7,521	2	0	2	111	4,777	1	0	1	70
			T2M	5,773	1	0	2	85	7,222	2	0	2	106	7,276	2	0	2	107	4,622	1	0	2	68
			T3S	5,901	1	0	2	87	7,382	2	0	2	109	7,437	2	0	2	109	4,724	1	0	1	69
			T3M	5,872	1	0	2	86	7,346	2	0	2	108	7,401	2	0	2	109	4,701	1	0	2	69
			T4M	5,882	1	0	2	87	7,359	2	0	2	108	7,414	2	0	2	109	4,709	1	0	2	69
			TFTM	5,793	1	0	2	85	7,247	1	0	2	107	7,301	1	0	2	107	4,638	1	0	2	68
			TSVS	6,148	2	0	0	90	7,691	3	0	1	113	7,749	3	0	1	114	4,922	2	0	0	72
			T5S	6,074	2	0	0	89	7,598	3	0	0	112	7,655	3	0	0	113	4,863	2	0	0	72
			T5M	6,150	3	0	1	90	7,694	3	0	2	113	7,752	3	0	2	114	4,924	3	0	1	72
	TSW	5,979	3	0	1	88	7,479	3	0	2	110	7,536	3	0	2	111	4,787	3	0	1	70		
	1000 mA	105 W	T1S	7,913	2	0	2	75	9,899	2	0	2	94	9,973	2	0	2	95					
			T2S	8,288	2	0	2	79	10,368	2	0	2	99	10,446	2	0	2	99					
			T2M	8,019	2	0	2	76	10,031	2	0	3	96	10,106	2	0	3	96					
			T3S	8,196	2	0	2	78	10,253	2	0	2	98	10,330	2	0	2	98					
			T3M	8,156	2	0	2	78	10,202	2	0	2	97	10,279	2	0	2	98					
			T4M	8,170	2	0	2	78	10,220	2	0	2	97	10,297	2	0	2	98					
			TFTM	8,046	2	0	2	77	10,065	2	0	3	96	10,141	2	0	3	97					
			TSVS	8,539	3	0	1	81	10,682	3	0	1	102	10,762	3	0	1	102					
			T5S	8,436	3	0	1	80	10,553	3	0	1	101	10,632	3	0	1	101					
T5M			8,542	3	0	2	81	10,686	4	0	2	102	10,766	4	0	2	103						
TSW	8,304	3	0	2	79	10,388	4	0	2	99	10,466	4	0	2	100								
40C (40 LEDs)	700 mA	89 W	T1S	7,511	2	0	2	84	9,396	2	0	2	106	9,467	2	0	2	106	6,014	1	0	1	68
			T2S	7,868	2	0	2	88	9,842	2	0	2	111	9,916	2	0	2	111	6,299	2	0	2	71
			T2M	7,612	2	0	2	86	9,522	2	0	3	107	9,594	2	0	3	107	6,094	2	0	2	68
			T3S	7,780	2	0	2	87	9,733	2	0	2	109	9,806	2	0	2	109	6,229	1	0	2	70
			T3M	7,742	2	0	2	87	9,685	2	0	2	109	9,758	2	0	2	109	6,198	2	0	2	70
			T4M	7,756	2	0	2	87	9,702	2	0	2	109	9,775	2	0	2	109	6,209	1	0	2	70
			TFTM	7,638	2	0	2	86	9,555	2	0	2	107	9,627	2	0	2	107	6,115	1	0	2	69
			TSVS	8,106	3	0	1	91	10,140	3	0	1	114	10,216	3	0	1	114	6,490	2	0	0	73
			T5S	8,008	3	0	1	90	10,017	3	0	1	113	10,093	3	0	1	113	6,411	2	0	0	72
			T5M	8,109	3	0	2	91	10,144	4	0	2	114	10,220	4	0	2	114	6,492	3	0	1	73
TSW	7,883	3	0	2	89	9,861	4	0	2	111	9,936	4	0	2	111	6,311	3	0	2	71			
1000 mA	138 W	T1S	10,384	2	0	2	75	12,990	3	0	3	94	13,088	3	0	3	95						
		T2S	10,876	2	0	2	79	13,606	3	0	3	99	13,708	3	0	3	99						
		T2M	10,523	2	0	3	76	13,164	3	0	3	95	13,263	3	0	3	96						
		T3S	10,756	2	0	2	78	13,455	2	0	2	97	13,556	3	0	3	98						
		T3M	10,703	2	0	2	78	13,389	3	0	3	97	13,490	3	0	3	98						
		T4M	10,722	2	0	2	78	13,412	3	0	3	97	13,513	3	0	3	98						
		TFTM	10,559	2	0	3	77	13,209	2	0	3	96	13,308	2	0	3	96						
		TSVS	11,206	3	0	1	81	14,018	4	0	1	102	14,124	4	0	1	102						
		T5S	11,070	3	0	1	80	13,848	3	0	1	100	13,953	3	0	1	101						
		T5M	11,210	4	0	2	81	14,023	4	0	2	102	14,129	4	0	2	102						
TSW	10,898	4	0	2	79	13,633	4	0	2	99	13,735	4	0	2	100								
60C (60 LEDs)	700 mA	131 W	T1S	11,182	2	0	2	81	13,988	3	0	3	101	14,093	3	0	3	102	8,952	2	0	2	68
			T2S	11,712	3	0	3	85	14,651	3	0	3	106	14,761	3	0	3	107	9,377	2	0	2	72
			T2M	11,332	2	0	3	82	14,175	3	0	3	103	14,282	3	0	3	103	9,072	2	0	2	69
			T3S	11,582	2	0	2	84	14,489	3	0	3	105	14,598	3	0	3	106	9,273	2	0	2	71
			T3M	11,525	2	0	2	84	14,418	3	0	3	104	14,526	3	0	3	105	9,227	2	0	2	70
			T4M	11,546	2	0	2	84	14,443	3	0	3	105	14,552	3	0	3	105	9,243	2	0	2	71
			TFTM	11,370	2	0	3	82	14,224	2	0	3	103	14,331	2	0	3	104	9,103	2	0	2	69
			TSVS	12,067	3	0	1	87	15,095	4	0	1	109	15,209	4	0	1	110	9,661	3	0	1	74
			T5S	11,921	3	0	1	86	14,913	4	0	1	108	15,025	4	0	1	109	9,544	3	0	1	73
			T5M	12,071	4	0	2	87	15,101	4	0	2	109	15,214	4	0	2	110	9,665	3	0	2	74
	TSW	11,735	4	0	2	85	14,680	4	0	2	106	14,791	4	0	2	107	9,395	4	0	2	72		
	1000 mA	209 W	T1S	15,307	3	0	3	73	19,148	3	0	3	92	19,292	3	0	3	92					
			T2S	16,033	3	0	3	77	20,056	3	0	3	96	20,207	3	0	3	97					
			T2M	15,512	3	0	3	74	19,405	3	0	3	93	19,551	3	0	3	94					
			T3S	15,855	3	0	3	76	19,834	3	0	3	95	19,983	3	0	3	96					
			T3M	15,777	3	0	3	75	19,736	3	0	4	94	19,885	3	0	4	95					
			T4M	15,805	3	0	3	76	19,771	3	0	4	95	19,920	3	0	4	95					
			TFTM	15,565	3	0	3	74	19,471	3	0	4	93	19,617	3	0	4	94					
			TSVS	16,519	4	0	1	79	20,664	4	0	1	99	20,820	4	0	1	100					
			T5S	16,319	4	0	1	78	20,414	4	0	1	98	20,567	4	0	1	98					
T5M			16,525	4	0	2	79	20,672	5	0	3	99	20,827	5	0	3	100						
TSW	16,065	4	0	3	77	20,096	5	0	3	96	20,247	5	0	3	97								

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and reetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (80 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Full warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

**PROJECT PARCEL SITE
PORTLAND ASSESSOR'S
MAP & LOT NUMBERS**

MAP **LOT**

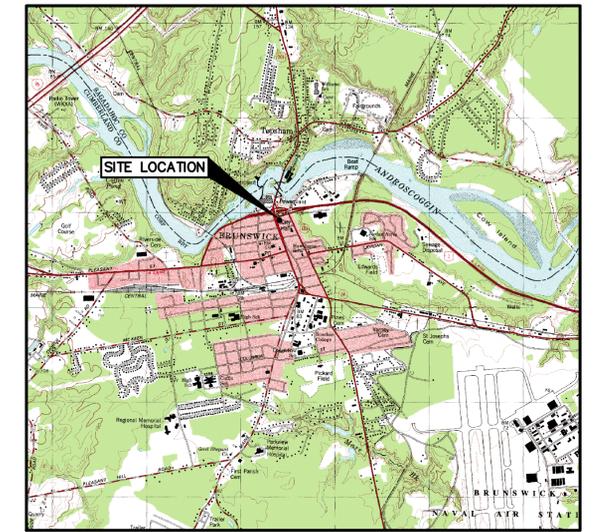
U14 163 + 165

Applicant:

CJ DEVELOPERS
35 PRIMROSE LANE, FREEPORT ME 04032
CLIENT PHONE #: (207) 865-4323
ATTN: DAVID LATULIPPE

BANGOR SAVINGS BANK

MAINE STREET/MASON STREET BRUNSWICK, MAINE



LOCATION MAP
N.T.S.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	RIGHT OF WAY	
	PROPERTY LINE	
	BUILDING SETBACK	
	ZONE LINE	
	WETLAND BOUNDARY	
	GUIDE RAIL	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL DRIVE	
	GRADING CONTOUR LINE	
	SPOT ELEVATION	
	TREELINE	
	TREES & HEDGES	
	POLE WITH LIGHT FIXTURE(S)	
	UTILITY POLE	
	FREESTANDING SIGN	
	PAINTED DIRECTIONAL TRAFFIC ARROW	
	OVERHEAD ELECTRIC/TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE	
	WATER LINE	
	STORM DRAIN LINE	
	CULVERT	
	HYDRANT	
	WATER GATE VALVE	
	WATER SHUT OFF VALVE	
	MANHOLE	
	CATCH BASIN	
	TEST PIT	
	IRON ROD (SET)	
	IRON ROD (FOUND)	
	MONUMENT	
	RIPRAP	
	SILT FENCE - PERIMETER	
	STONE SEDIMENT BARRIER	
	FENCE	
	WELL	

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS WAS PREPARED BY SITLENES, PA IN JULY 2015.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THE CITY OF BRUNSWICK OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND/OR TOWN OF BRUNSWICK SPECIFICATIONS.

PERMITTING NOTES

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE PLAN APPROVAL FROM THE TOWN OF BRUNSWICK. THE CONSTRUCTION WILL BE GOVERNED BY THE TOWN OF BRUNSWICK ZONING ORDINANCE WHICH IS AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.
2. THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

LAYOUT NOTES

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB.
2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
4. PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE, BY A MAINE LICENSED LAND SURVEYOR.
5. PROPOSED RIGHT OF WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE LICENSED LAND SURVEYOR.
6. CURB RADI UNLESS OTHERWISE NOTED ON THE PLAN SHALL BE A MINIMUM OF 3'.

UTILITY NOTES

1. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO BRUNSWICK TOPSHAM WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
2. THE LOCATION OF THE PROPOSED UNDERGROUND ELECTRICAL SERVICE IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH CENTRAL MAINE POWER COMPANY.
3. THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE PORTLAND WATER DISTRICT STANDARDS.
4. TEST PITS AT ALL UTILITY CROSSINGS SHALL BE COMPLETED TWO WEEKS IN ADVANCE OF THE START OF CONSTRUCTION OR ORDERING OF MATERIALS. TEST PIT INFORMATION SHALL BE PROMPTLY PROVIDED TO ENGINEER FOR REVIEW.

GRADING AND DRAINAGE NOTES

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603-- PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 - REINFORCED CONCRETE PIPE, CLASS III
 - POLYVINYL-CHLORIDE (PVC) PIPE
 - SMOOTH BORE POLYETHYLENE - ADS OR HANCOR
2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

EROSION CONTROL NOTES

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE CONSTRUCTION ENTRANCE.
3. ALL GROUND AREAS DISTURBED FOR CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE. PERMANENT SEED MIXTURE SHALL CONFORM TO THE SEEDING PLAN CONTAINED IN THE EROSION CONTROL NOTES INCLUDED ON SHEET C405.
4. PRIOR TO PAVING, THE CONTRACTOR SHALL FLUSH SEDIMENT FROM ALL STORM DRAIN LINES, REMOVE ACCUMULATED SEDIMENT FROM SUMPS AND INVERTS AND PROPERLY DISPOSE OF.
5. ALL CATCH BASINS WITH OUTLET PIPES 18" DIAMETER OR LESS SHALL BE PROVIDED WITH A "SNOUT" SEDIMENTATION HOOD PER DETAIL.
6. SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES.
7. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.
8. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
9. EROSION CONTROL NOTES ACCOMPANY THIS PLAN SET AND ARE CONTAINED ON DRAWING C405 OF THIS PLAN SET.
10. THE MAINTENANCE SCHEDULE FOR THE CATCH BASIN SEDIMENT SUMPS IS CONTAINED IN THE EROSION CONTROL NOTES INCLUDED ON SHEET C405.
11. THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS BASED UPON ANY THIRD PARTY REVIEW (to MDEP) MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.
12. ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
13. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.

UTILITIES

WATER:
BRUNSWICK AND TOPSHAM WATER DISTRICT
266 RIVER ROAD
TOPSHAM, MAINE 04086
(207) 729-9956
CONTACT: ERIC GAGNON

SEWER:
BRUNSWICK SEWER DISTRICT
10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
(207) 729-0148
CONTACT: ROBERT PONTAU

ELECTRIC:
CENTRAL MAINE POWER
162 CANCO ROAD
PORTLAND, MAINE 04103
(207) 828-2882
CONTACT: PAUL DUPERRÉ

TELEPHONE:
VERIZON
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1842
CONTACT: DEBBIE MURPHY

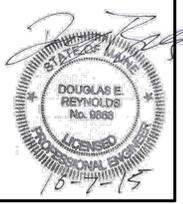
INDEX

C001	COVER SHEET, GENERAL NOTES, & LEGEND
-	EXISTING CONDITIONS PLAN
C002	DEMOLITION PLAN
C101	SITE AND UTILITY PLAN
C102	GRADING, DRAINAGE & EROSION CONTROL PLAN
C401	DETAILS 1
C402	DETAILS 2
C403	DETAILS 3
L101	LANDSCAPE PLAN
	LIGHTING LAYOUT PLAN

CALL BEFORE YOU DIG
1-888-344-7233

PERMITS

TYPE OF PERMIT	GOVERNING BODY	STATUS
MAJOR DEVELOPMENT REVIEW APPLICATION	TOWN OF BRUNSWICK PLANNING DEPARTMENT 85 UNION STREET BRUNSWICK, MAINE 04011 (207) 725-6663	SUBMITTED: 8/20/2015



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Rev.	Date	Revision

MAJOR DEVELOPMENT REVIEW	Date	By
Issued For	8/20/15	AMP

Design: DER	Draft: CG	Date: JULY 2015
Checked: AMP	Scale: NTS	Job No.: 3025
File Name: 3025_COVER.dwg		

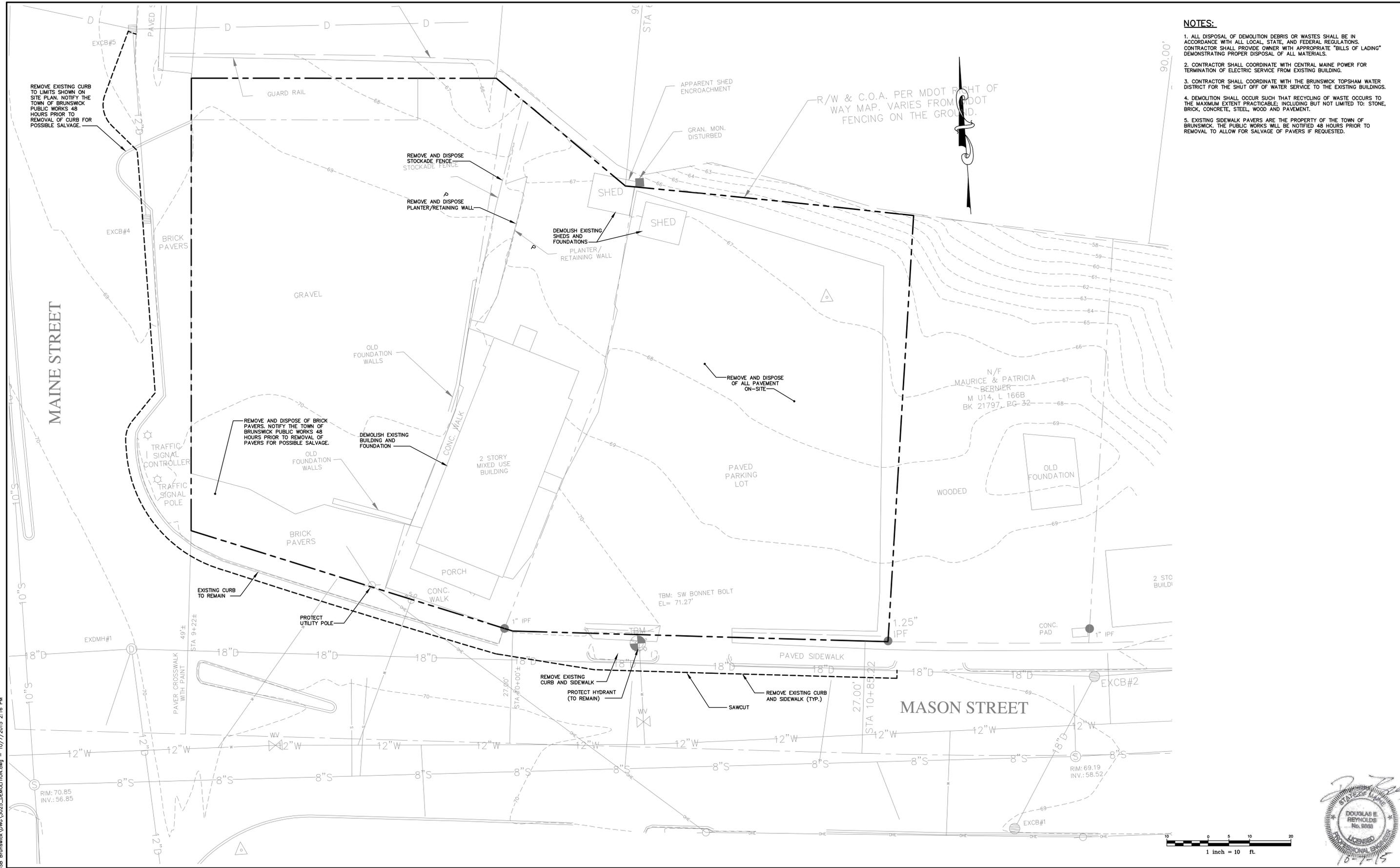
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Drawing Name:	Cover Sheet, General Notes, and Legend
Project:	Bangor Savings Bank Brunswick, Maine
Client:	CJ Developers 35 Primrose Lane, Freeport, ME 04032

Drawing No.
C001



- NOTES:**
1. ALL DISPOSAL OF DEMOLITION DEBRIS OR WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL PROVIDE OWNER WITH APPROPRIATE "BILLS OF LADING" DEMONSTRATING PROPER DISPOSAL OF ALL MATERIALS.
 2. CONTRACTOR SHALL COORDINATE WITH CENTRAL MAINE POWER FOR TERMINATION OF ELECTRIC SERVICE FROM EXISTING BUILDING.
 3. CONTRACTOR SHALL COORDINATE WITH THE BRUNSWICK TOPSHAM WATER DISTRICT FOR THE SHUT OFF OF WATER SERVICE TO THE EXISTING BUILDINGS.
 4. DEMOLITION SHALL OCCUR SUCH THAT RECYCLING OF WASTE OCCURS TO THE MAXIMUM EXTENT PRACTICABLE, INCLUDING BUT NOT LIMITED TO: STONE, BRICK, CONCRETE, STEEL, WOOD AND PAVEMENT.
 5. EXISTING SIDEWALK PAVERS ARE THE PROPERTY OF THE TOWN OF BRUNSWICK. THE PUBLIC WORKS WILL BE NOTIFIED 48 HOURS PRIOR TO REMOVAL TO ALLOW FOR SALVAGE OF PAVERS IF REQUESTED.

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Rev.	Date	Revision

MAJOR DEVELOPMENT REVIEW	Date	By
	8/20/15	AMP
Issued For		

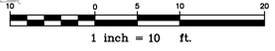
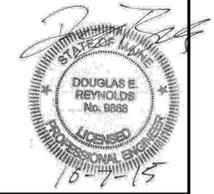
Design: DER Draft: CG Date: JULY 2015
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Drawing Name:	Demolition Plan
Project:	Bangor Savings Bank Brunswick, Maine
Client:	CJ Developers 35 Primrose Lane, Freeport, ME 04032

Drawing No.
C002



US ROUTE ONE

SPACE AND BULK STANDARDS		
ZONE: TC-1	REQUIRED	PROVIDED
MIN. LOT SIZE	N/A	19,641 S.F.
BUILDING SETBACKS		
FRONT	N/A	5 FT
SIDE	N/A	11 FT
REAR	N/A	120 FT
MAX. IMPERVIOUS SURFACE COVERAGE	100%	76%
MAX. BUILDING HEIGHT	40 FT	< 40 FT
MAX. BUILDING FOOTPRINT PER STRUCTURE	30,000 SF	3,389 S.F.

SITE DATA		
BUILDING AREA		
USE		
BANK	3,714 S.F.	
TOTAL	3,714 S.F.	
PARKING	REQUIRED	PROVIDED
NEW STRUCTURE		
TOTAL PARKING		
RETAIL OR SERVICE BUSINESS (4 SPS/1,000 S.F.)	15	15
TOTAL	15	15
BARRIER FREE	1	1

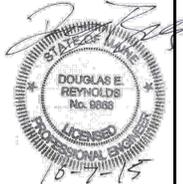
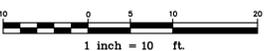
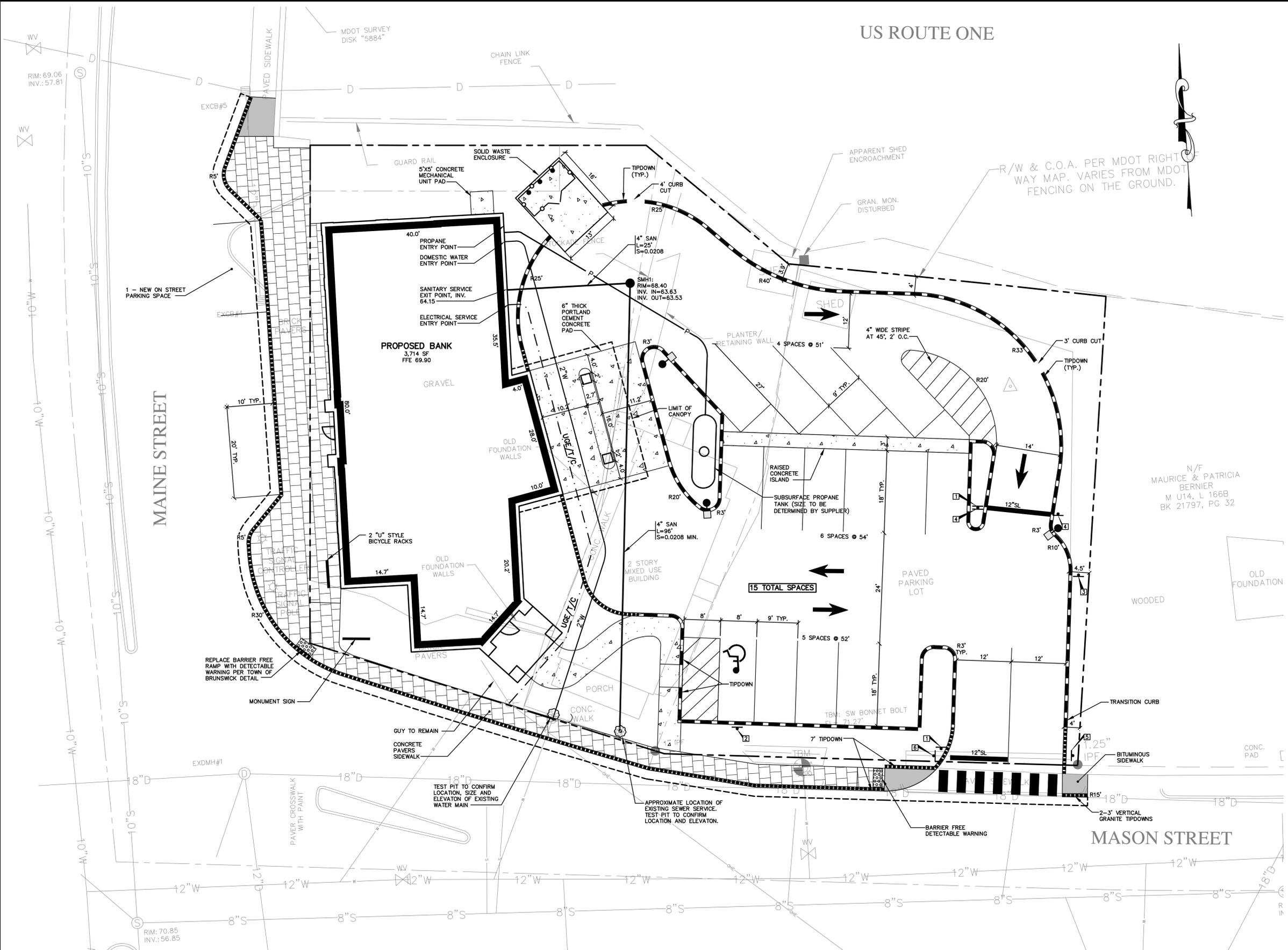
PAVEMENT LEGEND	
ALL PAVEMENT SHALL BE STANDARD DUTY EXCEPT AS FOLLOWS:	
	PORTLAND CEMENT CONCRETE
	CONCRETE PAVERS
	BITUMINOUS SIDEWALK

CURBING LEGEND	
	VERTICAL GRANITE CURB
	SLOPED CURB
	MONOLITHIC CONCRETE

SIGN LEGEND			
R1-1 30" x 30"	R7-8 12" x 18"		
1	2	3	4
5	6		

STRIPING LEGEND	
SIGNAGE, STRIPING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REGARDING SIZE, INSTALLATION, LOCATION & REFLECTIVITY.	
12" SL - 12" WIDTH STOP LINE	

- NOTES:**
- ELECTRICAL SERVICE SHALL BE COORDINATED WITH CMP.
 - COORDINATE LOCATION OF UTILITY SERVICE ENTRY POINTS WITH ARCHITECTURAL PLANS.
 - SNOW SHALL BE REMOVED FROM THE SITE BY THE SNOW REMOVAL CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.



Rev.	Date	Revision
2	10/7/15	REVISED PER VRB COMMENTS
1	9/9/15	RESPONSE TO STAFF COMMENTS

Issued For	Date	By
MAJOR DEVELOPMENT REVIEW	8/20/15	AMP

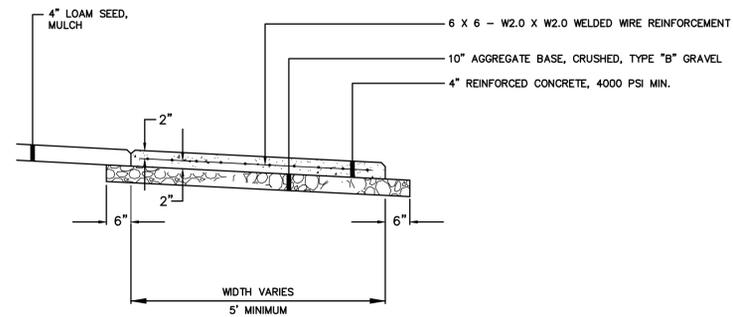
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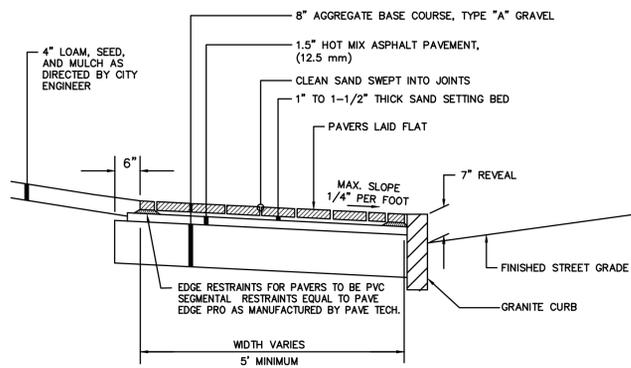
Drawing Name: **Site and Utility Plan**
 Project: **Bangor Savings Bank**
 Brunswick, Maine
 Client: **CJ Developers**
 35 Primrose Lane, Freeport, ME 04032

Drawing No. **C101**

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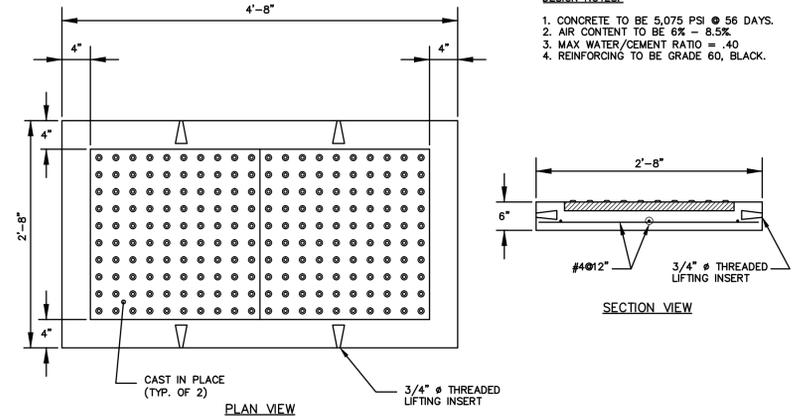


REINFORCED CONCRETE SIDEWALK
NOT TO SCALE

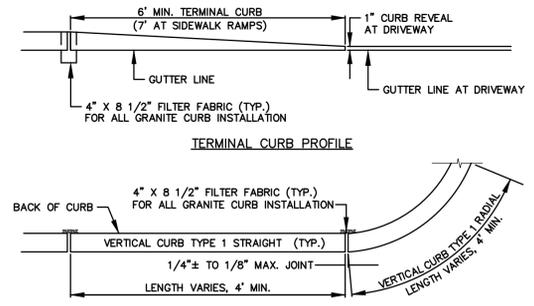


PAVER SIDEWALK WITH BITUMINOUS BASE
NOT TO SCALE

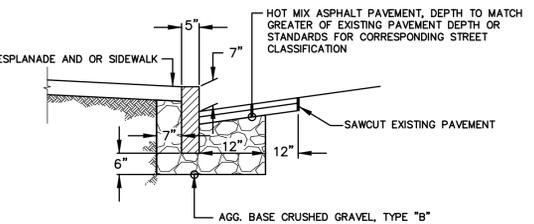
PAVERS TO BE USED:
HOLLAND STONE SERIES CONCRETE PAVER BY GENEST
COLORS: CUMBERLAND BLEND AND CHARCOAL (CUMBERLAND BLEND HERRINGBONE PATTERN WITH CHARCOAL SOLDIER COURSE)



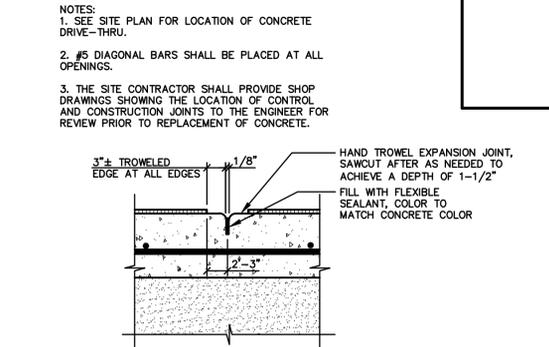
SIDEWALK RAMP DETECTABLE WARNING PANEL
NOT TO SCALE



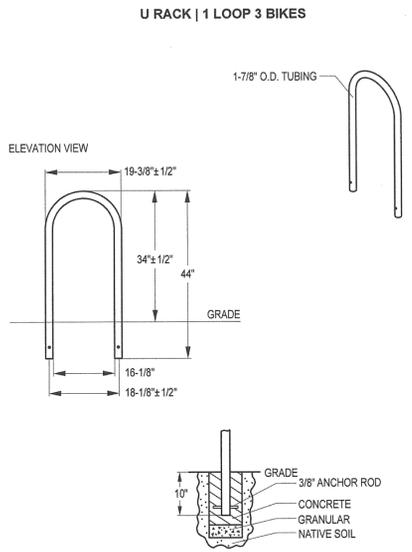
VERTICAL GRANITE CURB PLAN VIEW



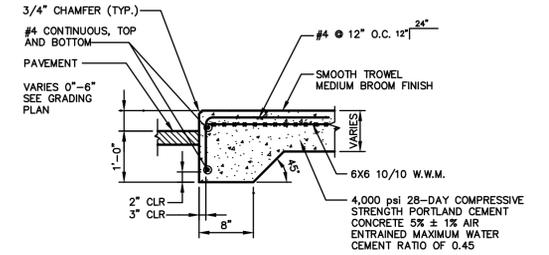
VERTICAL GRANITE CURB CROSS SECTION
VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS
NOT TO SCALE



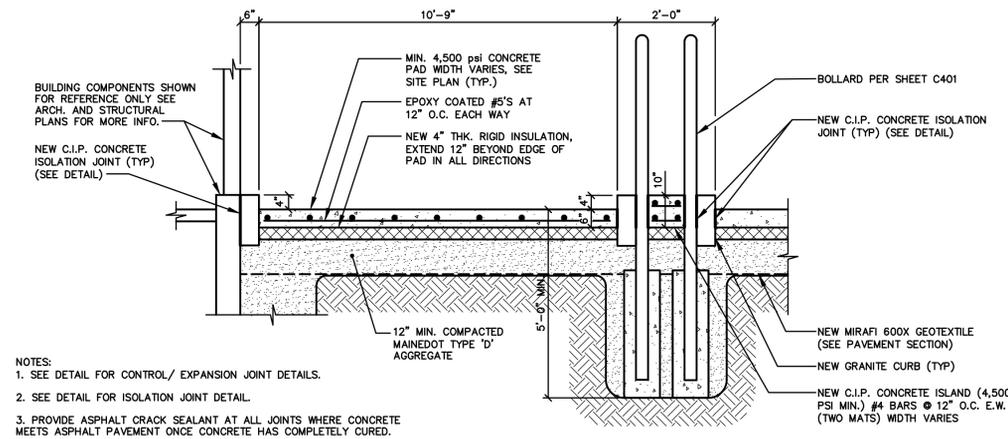
CONTROL JOINT
CONSTRUCTION JOINT
NEW C.I.P. CONCRETE CONTROL/CONSTRUCTION JOINT
NOT TO SCALE



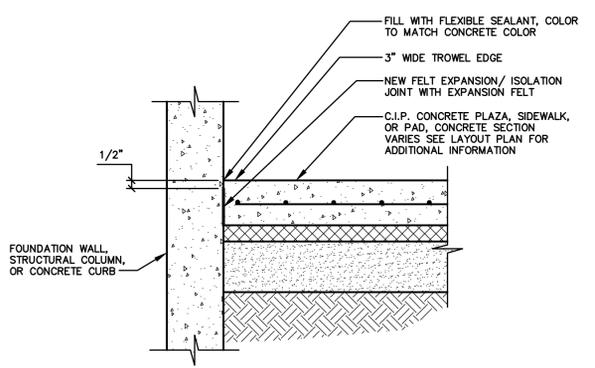
"U" STYLE BIKE RACK
NOT TO SCALE



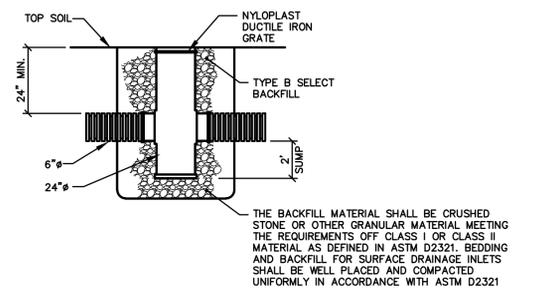
MONOLITHIC CONCRETE CURB AND SIDEWALK
NOT TO SCALE



DRIVE-THRU SECTION
NOT TO SCALE



NEW C.I.P. CONCRETE ISOLATION JOINT
NOT TO SCALE



24" NYLOPLAST STRUCTURE
NOT TO SCALE

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Rev.	Date	Revision
1	9/11/15	REVISED BIKE RACK DETAIL

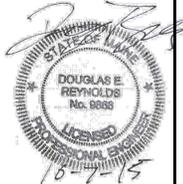
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Drawing Name:	Details 2
Project:	Bangor Savings Bank Brunswick, Maine
Client:	CJ Developers 35 Primrose Lane, Freeport, ME 04032

Drawing No.
C402



TREE AND SHRUB PLANTING DETAIL

NOT TO SCALE

GENERAL PLANTING NOTES:

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH ROOT FLARE AT GROUND LEVEL. CORRECT HOLE DEPTH AS NEEDED. NOTE: MANY BALLED & BURLAPPED PLANTS HAVE SOIL PILED AROUND THE ROOT FLARE WHICH SHOULD BE REMOVED PRIOR TO PLANTING.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE ALL CONTAINERS AND GENTLY COMB OUT ROOTS TO ELIMINATE CIRCLING ROOTS. PRUNE DAMAGED ROOTS AS NEEDED.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OR 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).

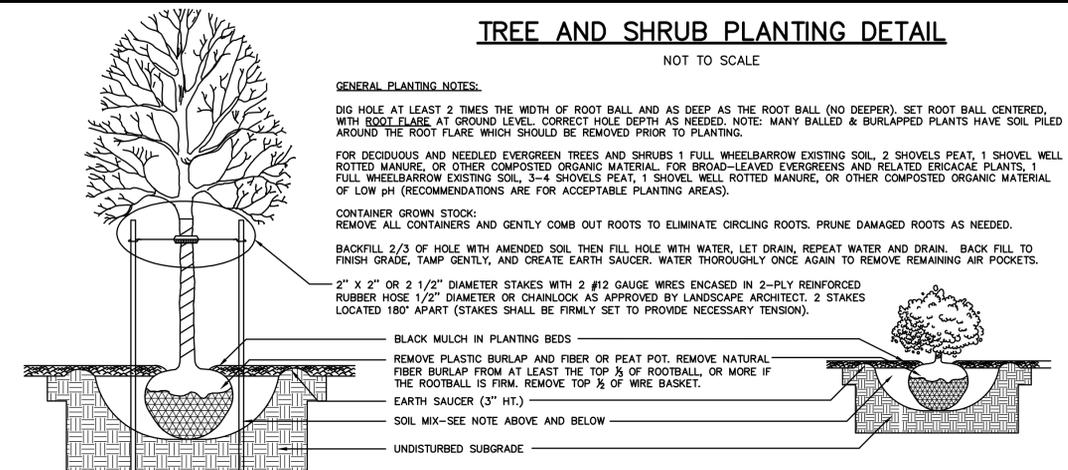
BLACK MULCH IN PLANTING BEDS

REMOVE PLASTIC BURLAP AND FIBER OR PEAT POT. REMOVE NATURAL FIBER BURLAP FROM AT LEAST THE TOP 1/2 OF ROOTBALL, OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/2 OF WIRE BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX-SEE NOTE ABOVE AND BELOW

UNDISTURBED SUBGRADE

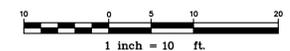


PLANT LIST

		TREES		
KEY	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE
A.FR	2	ACER X FREMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2" CALIPER
		SHRUBS		
C.AL	8	CLETHRA ALNIFOLIA 'RUBY SPICE'	SWEET PEPPERBUSH	2 GAL.
H.AR	15	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	3 GA.
J.SQ	21	JUNIPERUS SOJAMATA 'BLUE STAR'	BLUE STAR JUNIPER	2 GAL.
V.CH	8	VACCINIUM 'CHIPPEWA'	CHIPPEWA Highbush Blueberry	2 GAL.
V.NO	5	VACCINIUM 'NORTHCOUNTRY'	NORTHCOUNTRY Highbush Blueberry	2 GAL.
		PERENNIALS		
A.TC	36	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	TERRA COTTA ACHILLEA	6" POT
E.WS	35	ECHINACEA 'WHITE SWAN'	WHITE SWAN CONEFLOWER	6" POT
H.CC	50	HEMEROCALLIS 'CUSTARD CANDY'	CUSTARD CANDY DAYLILY	6" POT
H.LB	24	HEMEROCALLIS 'LULLABY BABY'	LULLABY BABY DAYLILY	6" POT
H.HB	50	HOSTA 'HONEY BELLS'	HONEY BELLS HOSTA	6" POT

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, PLANT QUANTITIES, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVENED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSPECTION OF PLANT MATERIAL AND LOCATIONS WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANT MATERIAL SHALL BE ON-SITE AND PLACED BEFORE INSPECTION CAN BE COMPLETED. A MINIMUM OF 48 HOUR NOTIFICATION SHALL BE REQUIRED.
- MAINTENANCE REQUIREMENTS: PRUNE DEAD OR DAMAGED BRANCHES, MAINTAIN GUY POSTS AND WATER AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER.
- WATERING: ALL PLANTINGS SHALL BE THOROUGHLY WATERED UPON INSTALLATION, AND THEN WEEKLY WHENEVER ANY DRY SPELLS OCCUR, UNTIL ACCEPTANCE BY OWNER.
- LANDSCAPE CONTRACTOR OR PLANT SUPPLIER SHALL GUARANTEE PLANTS AND PROVIDE REPLACEMENTS FOR TWO YEARS FROM INSTALLATION.



Lucky Rock LLC
 www.luckyrockdesign.com 207.318.9322
 373 Hussey Hill Road - Vassalboro, Maine 04989

Rev.	Date	Revision
2	10/7/15	REVISED BUILDING PER VRB COMMENTS
1	10/1/15	RESPONSE TO STAFF COMMENTS

Issued For	Date	By
MAJOR DEVELOPMENT REVIEW	8/20/15	AMP

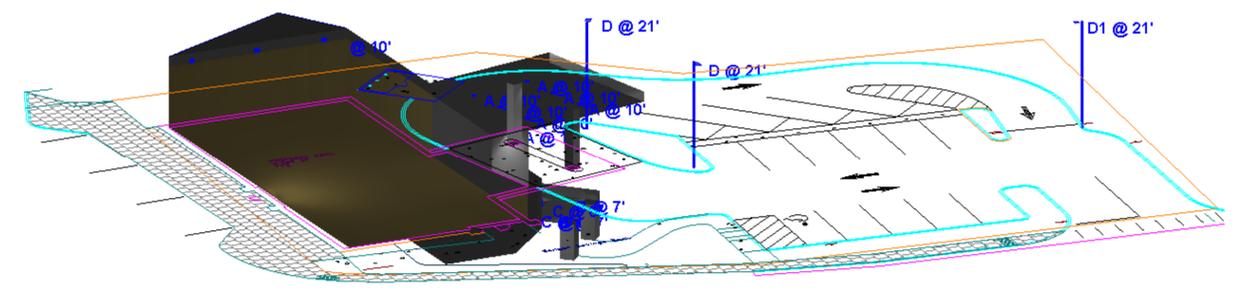
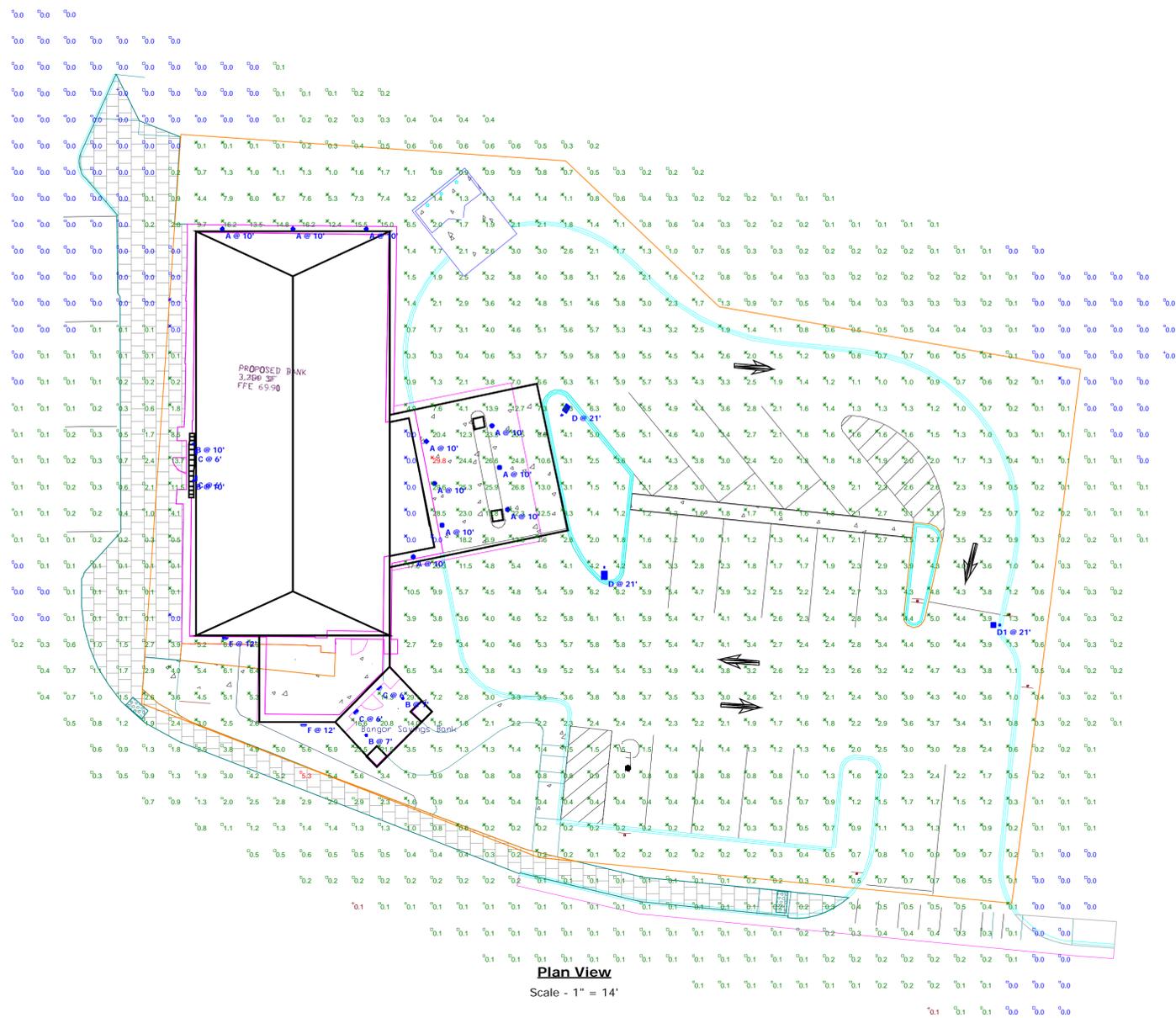
Design: BP Draft: BP Date: JULY 2015
 Checked: AMP Scale: 1"=10' Job No.: 3025
 File Name: 3025_LP_revised.dwg
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

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Drawing Name: **Landscape Plan**
 Project: **Bangor Savings Bank**
 Brunswick, Maine
 Client: **CJ Developers**
 35 Primrose Lane, Freeport, ME 04032

Drawing No. **L101**

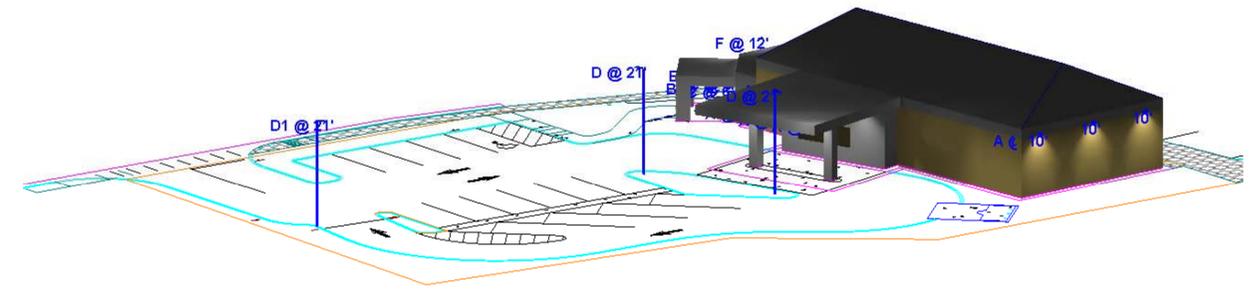
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View #3

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Stat Zone Inside Property Line	X	3.6 fc	29.8 fc	0.0 fc	N/A
Stat Zone Outside Property Line	□	0.3 fc	5.3 fc	0.0 fc	N/A
Values at 0' above grade	+	2.1 fc	29.8 fc	0.0 fc	N/A

Number Lamps							
Symbol	Label	Catalog Number	Image	Quantity	Manufacturer	Description	Wattage
○	A	R18 40/30 120 ROBAR		10	Lithonia Lighting	8" LED RETROFIT COMMERCIAL DOWNLIGHT WITH 3000 NOMINAL LUMENS, (4000K) 3500K LEADS, 120V INPUT, AND CLEAR SEMI-SPECULAR REFLECTOR	41.55
○	B	R16 40/15 ROBAR 120		4	Lithonia Lighting	R16 4000K 1500L 120V CLEAR SEMISPECULAR FINISH	21.04
□	C			4	Scott	S3345	20
□	D	DSX2 LED 89C 530 40K T25 MVOLT HS		2	Lithonia Lighting	DSX2 LED W/4 (20) LED LIGHT ENGINES, (1) 530mA DRIVER, 4000K LED, TYPE T25 OPTICS WITH HOUSE SIDE SHIELD	133
□	D1	DSX1 LED 60C 530 40K T25 MVOLT HS		1	Lithonia Lighting	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T25 OPTIC, 4000K, @ 530mA WITH HOUSE SIDE SHIELD	99.28
□	E	DSX1 LED 60C 530 40K T3M MVOLT		0	Lithonia Lighting	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, LEFT ROTATED TYPE T3M OPTIC, 4000K, @ 530mA	99.22
□	F	DSXW1 LED 20C 1000 AMBER T25 MVOLT HS		2	Lithonia Lighting	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T25 OPTIC, AMBER PC, @ 1000mA WITH HOUSE-SIDE SHIELDS.	73.2



View #4

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JULY 14, 2015**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Bill Dana, Soxna Dice, Jeremy Evans, Dale King and Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich

A meeting of the Brunswick Planning Board was held on Tuesday, July 14, 2015, in the Meeting Room, 2nd floor, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

Case # 15-006: Avita Assisted Living Facility: The Planning Board will hold a **Public Hearing** and then review and take action on a Final Major Plan Review application submitted by the Sandy River Company, for construction of a single story 47,703 sf assisted living facility, two parking areas totaling 65 spaces, and associated site improvements on two lots totaling 13.64 acres; the site has not yet been addressed, but will have access off of Admiral Fitch Avenue, in the Community Mixed Use Zoning District, and proposed to be within the Common Development Plan boundary. Assessor's Map 40, Lots 50 & 82.

Anna Breinich introduced the application for the construction of a single story assisted living facility to be located in Brunswick Landing and reviewed the project summary.

Daniel Maguire, representative for Sandy River Company, stated that Sandy River has been in business for roughly 30 years and have built approximately 15 facilities from the ground up since 1983. Daniel stated that Sandy River Company, in partner with Northbridge Company have, come together over the past 4 years to build similar facilities and they are currently building a facility in Wells, Maine. Daniel stated that they have bids out to contractors and hope to make a decision on this soon. Daniel said that the name Avita is Italian for "for life", and stated that they believe people dealing with memory loss deserve quality of life.

Will Conway of Sebago Technics, stated that there have been only small changes to the plan since sketch review and reviewed the current site plan. Will stated that the entrance to the facility is important and reviewed the parking, traffic flow and provided a brief description of the front landscaping. Will reviewed the 3 courtyard designs and landscaping and stated that there is a secured perimeter fence that ties into the building surrounding the 3 courtyards. Will reviewed a rendering of the proposed building and noted that the design has received MRRRA Design approval.

Margaret Wilson stated that she was concerned as they do not have a bike rack and noted that many people bike in this area and it is possible that staff may bike in as well. Will Conway stated that they would be happy to put in a bike rack and asked that it be a Condition of Approval.

Chair Charlie frizzle opened the meeting to public hearing. No public comment was made and the public hearing was closed.

MOTION BY DALE KING THAT THE MAJOR DEVELOPMENT REVIEW FINAL SITE PLAN APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

MOTION BY RICHARD VISSER THAT THE BOARD WAIVES THE FOLLOWING REQUIREMENTS:

1. Section 412.2.B.8 Profile, cross-section dimensions, curve radii of existing streets.
2. Section 412.2.B.16 Class A High Intensity Soil Survey.
3. Section 412.2.B.17 Location of trees over 10” in diameter.

MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT FINAL SITE PLAN APPLICATION IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to the issuance of a building permit that the municipal solid waste fee of \$7,105.00 is paid to the Town.
3. That prior to the issuance of a building permit, a determination by the Recreation Commission that the project complies with standards set forth in Section 519 of the Brunswick Zoning Ordinance.
4. That prior to the issuance of a building permit, the applicant provides documentation of financial capacity to complete the project, to the satisfaction of the Director of Planning and Development.
5. That prior to the issuance of a Certificate of Occupancy, the applicant shall have the storm water design consultant review and inspect the final as-built storm water improvements and the consultant will submit a statement to the Director of Planning and Development indicating that all storm water management improvements have been satisfactorily installed in accordance with the approved design.
6. That prior to the issuance of a Certificate of Occupancy, that adequate bicycle parking be provided onsite.

MOTION SECONDED BY MARGARET WILSON, APPROVED UNANIMOUSLY.

2. Case # 15-029: Moody Road Subdivision, Phase II Reapproval: The Planning Board will review and take action on an application for the reapproval of the 6-lot residential subdivision, Moody Road Subdivision, Phase II, submitted by Harold & Barbara Sandelin in partnership with Joseph Klocek to subdivide 14.72 acres into six (6) single-family residential lots on Manwaring Way (Assessor’s Map 14, Lot 13) in the Farm and Forest 1 (FF1) District and Aquifer Protection 2 Zone.

Anna Breinich introduced the application for reapproval of a 6-lot residential subdivision. Anna said that this application was approved by the Planning Board in October 13, 2009, but expired on October 14, 2014 per subdivision requirements; the applicant is seeking reapproval of the original plan and noted that there are no changes to the plan and there have been no Zoning Ordinance changes in this zone.

Curt Neufeld, of Sitelines PA, reviewed the project and provided an aerial view of the lots. Curt showed the open space block, lot layout and roadway. Curt noted that the notes have been added to the plan and pointed out that there are lots located outside of the fire hydrant district; this indication has been added to the plan. Curt reviewed the profile of the roadway and slope of the profile. Curt clarified that a portion of the roadway (slope of greater than 8%) will not be gravel, but will be reclaimed surface. Soxna Dice clarified that the conservation land was part of the original approval and Anna replied that it was part of the original approval.

Chair Charlie frizzle opened the meeting to public hearing. No public comment was made and the public hearing was closed.

MOTION BY MARGARET WILSON THAT THE MAJOR DEVELOPMENT FINAL SITE PLAN APPLICATION IS EXTENDED WITH THE FOLLOWING CONDITIONS:

1. All conditions of approval from the July 26, 2005 approval remain in effect, as follows:

1) That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, their representatives, reviewing officials and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval shall require review and approval in accordance with the Brunswick Zoning Ordinance.

2) That, prior to issuance of a building permit, the Solid Waste Impact fee of \$2,068.48 shall be paid.

3) That the recommendations of the Recreation Commission shall be implemented and that any impact fee recommended by the Commission is hereby assessed and shall be paid prior to issuance of a building permit.

4) That, prior to start of construction, five paper copies of a revised subdivision plan, satisfactory to the Director of Planning and Development, shall be submitted that: 1) complies with the maximum dead-end road length standard, 2) depicts all jurisdictional streams and their associated NRPZ setbacks, 3) shows a note stipulating that any

additional clearing, filling, grading or building within any wetland area shall constitute an amendment to the subdivision plan and shall require prior local, state and Federal review and approval and, 4) shows a property boundary between the land retained by the applicant and the land to be conveyed to the homeowners association.

5) That, prior to the start of construction, the applicant shall provide an executed conservation easement, satisfactory to the Conservation Commission and Town Attorney, for the proposed open space areas. Should the Town Council not accept the conservation easement, the open space in question shall otherwise be protected with deed covenants satisfactory to the Town Attorney in accordance with Section 523.4 of the Brunswick Zoning Ordinance.

6) That the written recommendations of the Town Engineer shall be implemented and that, should those recommendations require plan revisions, three paper copies of those revised plans, satisfactory to the Town Engineer, shall be submitted.

7) That, prior to issuance of a building permit, a landscape plan, satisfactory to the Director of Planning and Development, shall be submitted, to provide screening of the new road from abutting properties along its first 350 feet.

8) That, prior to the sale of Lot 8, the applicant shall provide evidence, satisfactory to the Codes Enforcement Officer, of two passing test pits on that lot.

MOTION SECONDED BY SOXNA DICE, APPROVED UNANIMOUSLY.

3. Case # 15-027: Spruce Meadow Subdivision: The Planning Board will review and take action on a Sketch Plan Major Development Review Subdivision Application submitted by William Moore, for a proposed 33-lot open space residential subdivision. **(Original Assessor's Map 13, Lot 34) in the Mixed Use 5 (MU5) Zoning District.**

Anna Breinich reviewed the application for a proposed 33-lot subdivision. Anna pointed out that many Planning Board members attended the site walk of the proposed area on July 7th jointly with the Conservation Commission and noted that after the site walk, the Conservation Commission has recommended that the open space property stay in the hands of a homeowners association and not be taken on by the Town. Anna said that the Recreation Commission will be reviewing the proposed trails on 7/15/15.

Curt Neufeld, of Sitelies PA, said that the applicant proposes that the road be given to the Town once completed. Curt said that the DEP permit is in the process of being amended and residents

will have private well and septic. Curt reviewed the layout and the open space tree growth land and said that if the Recreation Commission and the Conservation Commission do not embrace the open space as a public space, the reality of a parking lot off Durham Road and maintenance of trails by a homeowners association is very slim. Curt said that this project is proposed to be developed in 3 phases. Curt noted that they are still working on the well / septic systems, but pointed out that most of the lots drain towards the perimeter. Curt pointed out that this development is near the public transportation corridor and will be an asset to the Town.

Charlie Frizzle asked if lots 1, 33, 21 and 22 will meet the requirements of a 50 foot buffer from Old Portland Road. Curt replied that they had not discussed this and Charlie pointed out that the buffer was part of the original business approval. Curt replied that they would like to revisit this and suggested with a residential home, they could have a 25 foot buffer as the lots are narrow. Anna said that this may only effect lots 1 and 33 and suggested that they revisit the building envelope to see if the applicant can make things fit; lot 21 has the open space and lot 22 has the drainage. Bill Dana pointed out that lots 33 and 21 are constrained by wetlands as well and will limit the development of the houses.

Chair Charlie Frizzle opened the meeting to public comment. No public comment was made and the public comment period was closed

MOTION BY BILL DANA TO DEEM THE MAJOR DEVELOPMENT SKETCH PLAN APPLICATION COMPLETE. MOTION SECONDED BY DALE KING, APPROVED UNANIMOUSLY.

MOTION BY DALE KING TO APPROVE THE MAJOR DEVELOPMENT SKETCH PLAN DALE. MOTION SECONDED BY SOXNA DICE, APPROVED UNANIMOUSLY.

4. Zoning Ordinance Rewrite Committee (ZORC) Update

Anna Breinich stated that ZORC will be presenting an update at the next Town Council meeting and hope to have Draft 2 for public review ready by the end of next week.

5. Approval of Minutes

No minutes were reviewed at this meeting.

6. Other

No other business.

Adjourn

This meeting was adjourned at 8:09 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
AUGUST 4, 2015**

MEMBERS PRESENT: Chair Charlie Frizzle, Bill Dana, Soxna Dice, Jeremy Evans, and Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich

A meeting of the Brunswick Planning Board was held on Tuesday, August 4, 2015, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case #15-034 Grace Reformed Baptist Church Special Permit: The Planning Board will hold a **Public Hearing**, then review and take action regarding a **Special Permit** application submitted by Micah Renihan, on behalf of the Northern New England District, Council of Assemblies of God, requesting approval to reestablish a church in the existing structures onsite as a use by Special Permit. The property is located at 34 Grover Lane, in the **Country Residential 1 (CR1) Zoning District. (Assessor's Map 41, Lot 23A).**

Anna Breinich introduced the Special Permit application to reestablish the existing structure at 34 Grover Lane for a religious institution as it is unknown when the current owner, Northern New England District, Council of Assemblies of God, established the institution for this purpose as no Special Permit was granted. Anna stated that the applicant plans to comply with all applicable codes and regulations and that the structure is compatible with the proposed use. Anna also noted that no additional changes to the site are proposed at this time, but may occur in the future after the structural survey is conducted. Anna said that one staff request is that the new owners continue to work with the Parks and Recreation Department to maintain the shared parking arrangement that was in effect with the previous owners and the Town for bike path users.

Micah Renihan, Pastor of Grace Reformed Baptist Church, said that they are under contract to purchase this structure with the condition that they are granted this Special Permit; they will come back to the Planning Board for development review in the future to make any changes to the structure. Charlie Frizzle asked the applicant if they are willing to continue the shared parking agreement and Micah replied that they are more than happy to resume or recreate an agreement if one cannot be found and are very open to discussion. Richard Visser asked for clarification on the number of cars / people they anticipated. Micah replied that it would be 40-70 people on Sunday, not cars and noted that they have 61 parking spaces.

Chair Charlie Frizzle opened the meeting to public hearing. No public comments were made, and the public hearing was closed.

MOTION BY JEREMY EVANS THAT THE SPECIAL PERMIT APPLICATION BE DEEMED COMPLETE. MOTION SECONDED BY SOXNA DICE, APPROVED UNANIMOUSLY.

MOTION BILL DANA TO APPROVE THE SPECIAL PERMIT WITH THE FOLLOWING CONDITION:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, their representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

2. Case #15-033 Rose Douglas Village Sketch Plan: The Planning Board will review and take action regarding a **Major Development Review Sketch Plan** application submitted by Robert and Judith Muller to develop a 14-unit open space residential subdivision at 207 Hacker Road and adjacent undeveloped lots totally 47.56 acres, in the **Farm and Forest 1 (FF1) Zoning District. (Assessor's Map 7, Lots 36-41.**

Anna Breinich reviewed the project summary and stated that this project was before the Board in November 2014 for a pre-application workshop with a similar design. Anna reviewed the review requirements for Sketch Plan development.

Kevin Clark of Sitelines, PA, reviewed a PowerPoint Presentation on the Rose Douglas Village Subdivision. Charlie Frizzle suggested that the applicant may want to review Section 511.3 in the Brunswick Zoning Ordinance regarding road interconnectiveness for the final plan and noted that the Fire Department, at the Staff Review Committee Meeting, suggested an access way between the proposed road and the 2 Echo Community. Kevin replied that they have spoken with the Fire Department and are willing to create an access road; this is being discussed. With regard to fire protection, Charlie stated that the Board will require that a statement be placed into the deeds of the development that they are beyond water access for the Fire Department if the applicant does nothing further in regards to fire protection. Kevin replied that they are discussing protection options. Soxna Dice asked if there was any further information on the power purchase. Robert Muller replied that he has spoken to Revision Energy and PPA's are becoming more common in Maine, but that he does not have any more information. Robert reviewed how the PPA would work. Bill Dana pointed out that the plan before the Board in November 2014 had a proposed access road to the 2 Echo Community. Robert replied that he has spoken with the 2 Echo Community Association, but that he has not heard back from them. Richard Visser asked about John Foster's concern with the steep grade on the proposed road and asked if there were any options being considered. Kevin replied that they have reviewed the preliminary plan and feel that they can do a design within 8% grade. Charlie pointed out that this is also something that the 2 Echo Community should be considering; connecting these neighborhoods makes sense. Anna Breinich recommended that the applicant explain the purpose of the use of this land identified on the plan as being retained by the owner. Kevin replied that they will address this in the final plan. Anna also suggested that the applicant go back to the Conservation Commission and the Parks and Recreation Commission in regards to the proposed conservation lands.

Chair Charlie Frizzle opened the meeting to public comment.

Jean Konzal, resident of 2 Echo community (127 Echo Road), said that she would need to have continued discussions regarding the access road, but does see the significance in terms of emergency vehicles; she is concerned about the other vehicular traffic that would occur. Charlie Frizzle noted that in the past, the Fire Department has made accommodations to have a gated road so that only emergency personnel would have access. Jean stated that she did not understand the waivers the applicant is asking for and what that means in terms of her community. Charlie replied that the applicant has stated that the proposed development is located on soil that is suitable for development, but that the applicant will still have to conduct a test pit for their septic systems and do not have to be part of sketch plan approval. Jean asked about the profile changes and Charlie replied that the applicant is not proposing any changes on Hacker Road and do not need the profile, cross sections, curve radii of existing streets. Jean asked for clarification on the red dotted lines that Kevin Clark had in his presentation that looked as though they were going into 2 Echo. Kevin replied that the red dots represent existing trails within the conservation area. Jean asked how close the new houses will be and Kevin replied that the closest to the roadway would be 50 feet. Jean stated that she is concerned about the noise and lights from the traffic in the circle and Kevin replied that the applicant has followed the ordinance. Charlie replied that the houses are well back from the property line. Charlie explained the subdivision plan process and what will come next. Robert Muller replied that the major change from the original plan is density; they originally proposed upwards of 20 houses and are now proposing 14 houses. Robert said that they have officially completed the wetland delineation and that the configuration has changed to create a village within a village as the houses are meant to interact with each other.

Jilda Izzo, resident of 227 Hacker Road, stated that her biggest concern is the area proposed to be retained by the owner with no explanation of future plans. Jilda said that there is a lot that is located next to her land that is no longer being developed; she is concerned as she does not know what that land will be used for. Jilda asked who monitors and maintains the PPA and asked where the PPA house will be located. Jilda asked about the impact on the land and how long it takes to build 14 homes that have to buy energy from a PPA. Jilda noted that in the meeting with the Planning Board in November 2014, the Board had stated that there were problems with the wetlands and suggested that the developer stay in contact with the neighbors; there has been no conversation or attempt to keep in touch with neighbors. Jilda is concerned about the number of cars and traffic on Hacker Road and about the timber cutting debris in the area that occurred a few years ago. Jilda asked what happens if the plan changes again and said that she is concerned about the follow-thru. Jilda reiterated that she is most concerned about not being able to identify land that was previously going to be developed. With regards to access to Hacker Road, Charlie Frizzle replied that the applicant will need to have an opening permit to put in the street and will have to meet the Town requirements. Charlie said that the applicant is entitled to do what he wishes on his property as long as it is within the Zoning Ordinance, but that it would be nice to know what the future plans, if any, are. Soxna Dice asked Jilda if she was concerned that the applicant may want, at some point, to subdivide the piece of land with frontage on Hacker Road. Jilda replied that she is concerned that the applicant may add another road on the side to access and subdivide the land in the back. Anna Breinich replied that the applicant has the right to say that the land is for future development, but noted that there are density limits. Anna said that her concerns at this time is how ownership is going to be handled. Kevin Clark replied that they will clarify ownership before they come back with the final plan and noted that the back portion is

conservation land. Robert Muller replied that they had communicated with the residents of 2 Echo up until the last Planning Board meeting where he stated that he would contact them if anything drastic changed; no drastic changes have been made and again reiterated that they have reduced density. With regards to the land being retained by the owner, Robert said that they have not yet addressed ownership. Robert noted that there will be no home for the PPA. Anna asked if the applicant was still considering a shared out building in the common area. Robert replied that this is still being considered, but he does not know who will maintain and manage the building.

Werner Wellman, resident of 227 Hacker Road, said it would help if the plan highlighted what the applicant is retaining. Charlie Frizzle reiterated that the applicant has not yet determined what he is going to retain. Robert Muller explained the conservation area and explained the areas where ownership and easement will be. Robert explained how he will have access to the back land; he does not know how the access will be off the loop road and whether it will be a walkway or driveway. Warner asked how many septic systems there will be and where will they be located. Robert stated that they do not know the final number but it will be less than 10. Warner pointed out that if a septic system is placed near his property it will run down into his well. Charlie stated that when the engineering is done for the septic system, if it is determined that it will run onto his property, the applicant would not be allowed to place a septic system at this location.

Chair Charlie Frizzle closed the public comment period.

MOTION BY BILL DANA THAT THE BOARD DEEMS THE APPLICATION COMPLETE. MOTION SECONDED BY SOXNA DICE, APPROVED UNANIMOUSLY.

MOTION RICHARD VISSER THAT THE BOARD APPROVES THE SKETCH PLAN. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

3. Zoning Ordinance Rewrite Committee (ZORC) Update

Anna Breinich stated that the Zoning Ordinance Draft II is available for review and on the website.

4. Approval of Minutes

No minutes were reviewed at this meeting.

5. Other Business

Anna Breinich said that the September 10th meeting will have a full agenda and confirmed a quorum will be in attendance.

Adjourn

This meeting was adjourned at 8:20 P.M.

Respectfully Submitted,

Tonya Jenusaitis
Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
SEPTEMBER 10, 2015**

MEMBERS PRESENT: Chair Charlie Frizzle, Bill Dana, Dale King, Jeremy Evans, and Richard Visser

STAFF PRESENT: Town Planner, Jeremy Woolston

A meeting of the Brunswick Planning Board was held on Thursday, September 10, 2015, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case # 15-015 Meadow Rose Farm Subdivision: The Board will review and take action regarding a Final Plan Major Development Review application, submitted by Two Clarks, LLC, for a proposed 12-lot residential subdivision, associated conservation lands, and a 1,500 linear foot private lane accessed from Church Road, located on a 71.4 acre lot in the Rural Brunswick Smart Growth Overlay District, within the Coastal Protection 2 (CP2) Zoning District. Assessor's Map 17, Lot 126.

Jeremy Woolston introduced the application for a Final Plan Major Development for a proposed 12-lot residential subdivision with a 2,200 foot private road.

Kevin Clark, applicant representative from Sitelines, PA., presented a PowerPoint presentation for Meadow Rose Farms Subdivision. Kevin provided in his presentation a project overview, design philosophy, infrastructure overview, reasons behind the waivers being requested, DEP permitting and items pending reflected in the Conditions of Approval. Kevin reviewed the open space areas, lot layouts and buffers of the subdivision.

Charlie Frizzle noted that this application requires a DEP stormwater permit as well as a natural resources protection permit which extends into the Army Corps. of Engineers permit. The applicant also needs a Central Maine Power permit crossing right-of-way agreement and these have all been included in the Conditions of Approval. Charlie noted that most of the drawing changes recommended by the Staff Review Committee have been included in the revised drawings such as the fact that the road will be constructed to private road standards and will begin with a two car length construction. Bill Dana replied that it is noted that if the Homeowners Association chooses to, they can upgrade the road to Town standards. Charlie replied that this would be a great undertaking and would require an amended DEP stormwater permit.

Charlie Frizzle opened the meeting to public comment.

Martin McKenna, resident of 202 Church Road, questioned whether lot 12 was a developable lot in terms of size. Charlie Frizzle replied that it is developable. Martin stated that the lot is a slope. Charlie replied that anyone who wishes to develop on a slope would have to build according to the Town's steep slope requirements.

Thomas Carney, resident of 84 Greenwood, asked about pesticides and about the possible road extension. With regards to pesticides, Kevin Clark replied that they will be following all applicable application methods and that no fertilizer shall be placed on frozen grounds; all pesticides used shall be used according to instructions / restrictions. Kevin explained the reasons behind the dead end road length waiver.

Brigitte Kornblum, resident of 84 Greenwood Road, asked where the domestic water supply pond was that is supposed to be shown on the plan per the last Planning Board meeting. Charlie Frizzle replied that there are other topographical maps that do show the pond. Brigitte asked why she was not invited to the site walk and stated that she was disappointed. Charlie Frizzle replied that the walks were noticed in accordance to Town requirements, but that her lack of notification would need to be researched.

Martin McKenna asked if the sewer will extend down the road. Kevin Clark replied that it will not and that the homeowners will have septic systems. Martin noted that he too was not notified of the rescheduled site walk.

Robert Burgess, resident of 64 Friendship Street, asked about runoff and stated that he is concerned about the amount of rainwater that comes off; is this something that DEP will look into? Charlie Frizzle stated that DEP will look into the entire development and that this is their job to ensure that runoff from this development does not run into or adversely affect adjacent properties.

Chair Charlie Frizzle closed the public comment period.

MOTION BY JEREMY EVANS TO DEEM THE MEADOW ROSE FARM SUBDIVISION FINAL PLAN MAJOR DEVELOPMENT REVIEW APPLICATION COMPLETE. MOTION SECONDED BY DALE KING, MOTION MOVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE BOARD WAIVES THE FOLLOWING REQUIREMENTS:

1. Profile, cross-section dimensions, curve radii of existing streets
2. Class A Soil Survey
3. Location of existing trees over 10-inches in diameter
4. Maximum Length of Dead End Street waivers

MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY RICHARD VISSER THAT THE FINAL SUBDIVISION PLAN IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a

minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

2. That prior to issuance of the entrance permit the applicant shall revise the Final Subdivision Plan with any changes required by the DEP for the approved NRPA permit.

3. That prior to issuance of the entrance permit the applicant shall revise the Final Subdivision Plan with any changes required by the DEP for the approved Stormwater Management Law permit.

4. That prior to the issuance of a building permit for any proposed building that is accessible to a sewer or drain of the District as required pursuant to 38 M.R.S. Section 1160 the applicant obtain a statement that capacity is available for the sewer connection from the Superintendent of the Brunswick Sewer District.

5. That prior to the issuance of the entrance permit the applicant shall obtain a statement from the Brunswick-Topsham Water District of conditions under which the District will supply water, and approve the size and location of mains, valves and hydrants proposed.

6. That prior to issuance of a building permit for an individual lot the lot owner shall pay the Solid Waste Impact Fees in the amount of \$258.56.

7. That prior to issuance of a building permit for an individual lot a Recreation Impact fee shall be approved by the Director of Parks and Recreation and/or the Recreation Commission, and proof of payment per unit shall be provided by the applicant.

8. That prior to the issuance of an entrance permit the applicant shall record the proposed conservation easement in the Cumberland County Registry of Deeds and provide a copy of the recorded easement to the Director of Planning and Development.

9. That prior to the issuance of a building permit a performance guarantee approved by the Town Engineer shall be posted in accordance with Section 521 of the Zoning Ordinance.

10. That prior to the issuance of the entrance permit the applicant shall obtain a revised easement with sufficient rights to develop the proposed subdivision and provide a copy of the recorded easement to the Director of Planning and Development for review and approval.

MOTION SECONDED BY DALE KING, MOTION MOVED UNANIMOUSLY.

2. Case # 15-037 Brunswick Landing Subdivision Lots 30 and 32 Amendment: The Board will review and take action regarding a combined Major Development Review application, submitted by Sandy River II, Inc., dba Sandy River Company, to revise boundary lines for Lots 30 and 32 of the approved Brunswick Landing Subdivision Plan, Phase 1. Located in BNAS Reuse Zoning District Reuse-Residential (RR); Assessor's Map 40, Lots 50 & 82.

Jeremy Woolston introduced the application to amend lot lines for Lot 30 and Lot 32 at Brunswick Landing.

Will Conway of Sebago Technics, applicant representative, stated that the applicant wishes to redivide the lot lines for the Avita lot, Lot 30, which will consist of 9.3 acres of land and Lot 32 which will comprise of 4.3 acres of land. Will stated that they have included 2 easements in the plan.

Chair Charlie Frizzle opened the meeting to the public, hearing none, the public comment period was closed.

MOTION BY BILL DANA THAT THE AMENDED SUBDIVISION APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY

MOTION DALE KING THAT ALL APPLICABLE PRIOR CONDITIONS RELATING TO THIS AMENDMENT REMAIN IN EFFECT, IN ADDITION TO ANY NEW CONDITIONS CONTAINED HEREIN. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE AMENDED SITE PLAN APPLICATION IS APPROVED WITH THE FOLLOWING CONDITIONS ADDED TO PRIOR CONDITIONS CURRENTLY IN PLACE:

1. That the Board's review and approval does hereby refer to the plans and materials submitted by the applicant and the written and oral comments of the applicant's representatives, reviewing officials and members of the public as reflected in the public record and that any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.

MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

3. Case # 15-020 Brunswick Landing Subdivision Phase 2: The Board will review and take action regarding a Final Plan Major Development Review application submitted by the Mideast Regional Redevelopment Authority for the proposed creation of eleven (11) new lots, a proposed private street to intersect with Orion Street, and associated improvements. The project is situated on 21.55 acres to the east of Orion Street, in the BNAS Reuse District, within the Business & Technology Industries Land Use District (RBTI). Assessor's Map 40, Lots 55 & 81.

Removed from agenda per applicants request.

4. Zoning Ordinance Rewrite Committee (ZORC) Update

Charlie Frizzle stated that the next meeting is scheduled for September 23, 2015.

5. Approval of Minutes

MOTION BY DALE KING TO APPROVE THE MINUTES FOR MAY 27, 2015. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

MOTION BY BILL DANA TO APPROVE THE MINUTES OF JUNE 9, 2015. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

6. Other Business

Adjourn

This meeting was adjourned at 7:48 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary