



TOWN OF BRUNSWICK  
STAFF REVIEW COMMITTEE

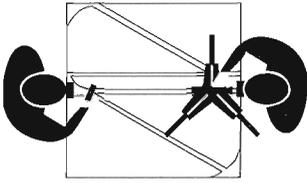
STAFF REVIEW COMMITTEE  
- AGENDA -  
BRUNSWICK TOWN HALL  
85 UNION STREET  
ROOM 206

THURSDAY, NOVEMBER 12, 2015, 10:00 A.M.

1. **Case # 15-027, Spruce Meadow Subdivision:** The Committee will review and provide a recommendation to the Planning Board regarding a **Final Plan Major Development Review** Subdivision Application submitted by William Moore, for a proposed 33-lot open space residential subdivision. (**Original Assessor's Map 13, Lot 34, 66-78**) in the **Mixed Use 5 (MU5) Zoning District and the Telecommunications Zone 2 Overlay (Lot 5)**.
2. **Other Business**
3. **Adjourn**

This agenda is mailed to owners of property within 200 feet of proposed development sites. In cases where Committee action is pending this agenda serves as notice of same. In cases where the Committee's role is to advise the Planning Board, this agenda is mailed as a courtesy along with notice of the Planning Board meeting.

The Staff Review Committee meeting is open to the public. All are invited to attend and participate. For further information call Jared Woolston at the Brunswick Department of Planning and Development (725-6660).



November 3, 2015

731.03-7

Mr. Jared Woolston  
Town Planner  
Town of Brunswick  
85 Union Street  
Brunswick, Maine 04011

**Re: Major Development Review Final Plan Application  
Spruce Meadows Subdivision  
Old Portland Road, U.S. Route 1  
Tax Map 13, Lots 34, 66-78**

Dear Jared:

On behalf of Moore Properties, Inc., Sitelines, PA has prepared the enclosed revised documents in support of the Major Development Review Final Application for the development of a residential subdivision located along Old Portland Road. The project was presented to the Planning Board as a Sketch Plan on July 14, 2015 and to the Recreation Commission on July 15, September 16, and again October 21, 2015. An application for an Amendment to the Site Location of Development Act (SLODA) permit previously issued for the Brunswick Commerce Center was submitted the Maine Department of Environmental Protection (MDEP) in September.

At the Recreation Commission meetings, the applicant's proposal to establish walking trails in the designated open space to provide recreational opportunities in accordance with Section 519 was discussed. The Director of Recreation, Tom Farrell, and the Recreation Commission provided feedback and guidance with regard to construction and maintenance standards to ensure the proposed trails would be equivalent to those that may be constructed by the Town of Brunswick. Tom Farrell walked a portion of the proposed trail alignment with the applicant and Sitelines staff on September 21, 2015. The result of this effort was trail and wetland crossing standards for the establishment of the trails. At the October meeting of the Recreation Commission, the board indicated they were satisfied with the standards for construction, but want some mechanism to ensure the maintenance of the trails was upheld. It was determined that the condition of the trails could be reviewed at such time as the project returns to the Planning Board for approval of phases 2 and 3. A meeting was held with the Director of Planning and Development, Anna Breinich, Tom Farrell, Bill Moore and Curt Neufeld to discuss the maintenance requirements and language for conditions of approval on October 29, 2015. The language to be added to the home owners association documents will be submitted under separate cover. The key elements for the maintenance are summarized as follows:

- Patrol trail as possible in the spring, after the leaves are down in the fall and after severe storms.
- Maintain a trail maintenance log and record dates, locations, conditions, work done and work pending.
- Replace missing and damaged directional sign and repaint blazes on trees.

## **SITELINES, PA**

ENGINEERS ■ PLANNERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS

8 Cumberland Street ■ Brunswick, ME 04011 ■ TEL 207-725-1200 ■ FAX 207-725-1114 ■ [www.sitelinespa.com](http://www.sitelinespa.com)

- Trim trees and shrubs to maintain alignment with, overhead clearances and sight distances
- Fill holes and ruts along the trail bed.
- Bush hog trail to a minimum width of 10 feet twice annually: first week of June and last week of August.
- Inspect elevated boardwalk structures for damage, deterioration, and make repairs as necessary

Remove all downed or fallen trees as well as branches within the trail limits  
to remove any garbage or trash found the pond along the trail

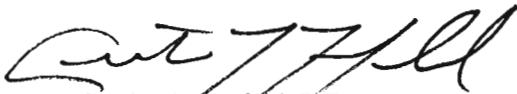
Other changes to the plans since the last staff review committee (SRC) meeting include:

- A potential layout of a home, driveway, septic system, and well are shown on each lot. These are intended to show that each lot can meet the ordinance requirements, but not necessarily define the exact location.
- The phasing of the development has been modified such that the road extension for Phase 2 does not exceed 1,500 feet.
- A note was added to the plan indicating the lots do not have direct access to fire protection and lots must be conveyed with a note on the deed advising the homeowners this may impact the ability of fire crews.
- Notes were added to the plan(s) regarding the limitations on the Open Space parcel.
- Notes were added to the plan(s) regarding the maintenance responsibilities of the trails.
- The wetland impacts related to the trail crossings were added to the plan(s).
- The building envelopes shown on each lot have been adjusted to account for septic systems, wetlands and water quality treatment buffers.
- Trail and wetland crossing standards have been added to the details.

Based on our conversation, the proposed trail alignments have been adjusted to eliminate one wetland crossing. However, the two wetland crossings on Loop A were not changed. After discussing the greater impacts to the wooded areas to move the alignment out of the existing cleared areas, it was agreed the trail alignment as shown provided the best approach.

We look forward to meeting with the Planning Board on November 24, 2015 to discuss and approve the project. If you have any questions or require additional information, please do not hesitate to call. Thank you for your assistance with this project.

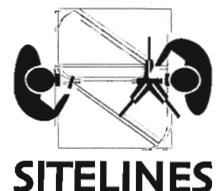
Very Truly Yours,

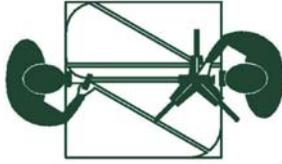


Curtis Y. Neufeld, P.E.  
Vice-President

Enclosures

cc: Bill Moore, Moore Properties, Inc.





September 15, 2015  
Revised November 6, 2015

731.03-7

Mr. Jared Woolston  
Town Planner  
Town of Brunswick  
85 Union Street  
Brunswick, Maine 04011

**Re: Major Development Review Final Plan Application  
Spruce Meadows Subdivision  
Old Portland Road, U.S. Route 1  
Tax Map 13, Lots 34, 66-78**

Dear Jared:

On behalf of Moore Properties, Inc., Sitelines, PA is pleased to submit the enclosed Major Development Review Final Application and supporting materials for the development of a residential subdivision and associated road to be located along Old Portland Road. The project was presented to the Planning Board as a Sketch Plan on July 14, 2015 and to the Recreation Commission on July 15, 2015. The comments received from those meetings have been incorporated into these plans.

#### **PROPERTY**

Moore Properties, Inc owns the parcels of land located along Old Portland Road identified as Tax Map 13, Lots 34, 66-78 on the Town of Brunswick Tax Assessors Map. The property received a Major Subdivision permit from the Town of Brunswick in June of 2009 for a subdivision consisting of four (4) residential lots and fourteen (14) commercial/industrial lots. The subdivision road has been roughed-in and a portion of the road has been paved. The four (4) residential lots have been sold and one (1) of the commercial lots has been sold. The remainders of the lots have been maintained in their undeveloped state. The 76.1 acre property is located in the Portland Road Area (MU5) Zoning district, in which residential use is a permitted use.

#### **SITE DESIGN**

The proposed subdivision consists of 32 residential lots, one of which will be ~~used for recreational purposes reserved as open space~~, and an approximately 2,230 foot long loop access road that has been partially constructed. The proposed lots will all have access from the loop access road. The individual lots will be served by private well and septic systems. As was previously approved, the loop access road will result in approximately 72,144 s.f. (1.65 acres) of new impervious area.

To allow for the number of lots proposed, the Applicant is seeking approval as an Open Space Development (OSD) per Section 308. In support of the OSD subdivision, a large part of the parcel previously retained by the Applicant will be dedicated as open space. A trail system is proposed to be

## **SITELINES**

ENGINEERS ▪ PLANNERS ▪ SURVEYORS ▪

8 Cumberland Street ▪ Brunswick, ME 04011 ▪ TEL 207 725-1200 ▪ FAX 207-725-1114 ▪ [www.sitelinespa.com](http://www.sitelinespa.com)

established in the open space lot adjacent to the highway corridor. The open space standards were addressed as part of the Sketch Plan application that was previously submitted to the Town.

The Applicant proposes to construct the project in three (3) phases as shown on the attached plan. **The phasing has been selected to ensure that the dead-end road length requirement is not exceeded.** The first phase will utilize the existing roadway constructed in 2009. Future phases will proceed with construction based on market forces. Each phase has been designed with a turn-around location as necessary.

The Applicant ~~will coordinate~~ **has coordinated** with the Maine Department of Transportation (MaineDOT) for amending the permits previously approved for the road as necessary. The Applicant has ~~had~~ **provided** correspondence with MaineDOT about the previously issued entrance permit that indicates the proposed use would be less intensive and could be constructed without improvements to Route 1.

The change to the subdivision plans will be submitted for review by the Maine Department of Environmental Protection (MDEP) to amend the previously issued Site Location of Development Act (SLODA) permit.

#### **REVIEW STANDARDS**

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 5: DEVELOPMENT REVIEW PLAN STANDARDS* of the Ordinance.

##### *501 PRESERVATION OF NATURAL FEATURES AND NET SITE AREA:*

Primarily for stormwater treatment, forested buffers will be maintained around the perimeter of the subdivision. The forested buffers are “no-cut” buffers that will be deed restricted upon the sale of each lot. **A note has been added to the subdivision plans requiring the deed restriction.** Meadow buffers are proposed along the frontage of the majority of the subdivision road for stormwater treatment. The meadow buffers are to be maintained as tall meadow grass that will be mowed a maximum of 1-2 times per year. In addition, as part of the subdivision, 36.18 acres will be conserved and used for recreational trails and open space.

##### *502 FLOOD HAZARD AREA:*

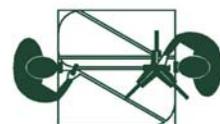
Based on the Flood Insurance Rate Map, community panel number 230042 0010 B, Revised January 3, 1986, the project site including the unnamed stream are located within Zone C, described as areas of minimal flooding and outside the 100-year flood zone. An excerpt of the Flood Map has been enclosed with this submission.

##### *503 STEEP SLOPES AND EMBANKMENTS:*

There are no steep (greater than **2025%**) slopes within the areas to be developed. Building envelopes have been configured to preclude construction in the vicinity of any steep slopes. **The only slopes in excess of 25% in the vicinity of the project are within the I-295 right-of-way.**

##### *504 STORM WATER MANAGEMENT:*

The impervious area from the access road and the future development of the residential lots will be directed to a combination of treatment systems. As designed as part of the previous permitting, the road will be directed to infiltration trenches and basins, an underdrained grass filter, and ditch turnout buffers.



As part of the proposed subdivision, a portion of the roadway and a majority of the residential lots will be directed to buffers adjacent to a road or buffers downgradient of a single-family residential lot. For additional information on stormwater management, refer to the enclosed Stormwater Management Plan. The supporting data for the stormwater management plan ~~will be~~ has been submitted under separate cover with the copy of the Site Location Permit Amendment application. The Maine Department of Environmental Protection is currently reviewing the amendment application.

*505 GROUNDWATER:*

The project will be serviced by private wells and septic systems. Through infiltration of the stormwater, the natural groundwater recharge cycle will be preserved. There are no adverse impacts to groundwater anticipated from this development. No activities are proposed or anticipated that will extract groundwater for commercial purposes.

*506 EROSION AND SEDIMENTATION:*

The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Protection, current edition. The potential for sediment transport from the project area will be mitigated through the use of permanent and temporary erosion control measures. Disturbed areas will be isolated through the use of sediment barrier and other measures to minimize the transport of sediment from the site. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

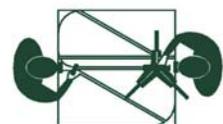
*507 SEWAGE DISPOSAL:*

The project will be served by private septic systems. Test pits have been located throughout the development, providing for at least two (2) test pits per lot. Test pit data has been developed by Albert Frick Associates, Inc. and test pit logs and reports have been enclosed with this submission. Detailed septic systems will be designed as individual lots are developed. Potential well and septic locations have been shown on the subdivision plan for each lot demonstrating that they can be served by private systems that comply with all applicable requirements.

*508 WATER SYSTEM:*

All lots for this project will be served by private wells. The project parcel is located over an aquifer and therefore an abundant supply of fresh water is anticipated. Residential lots having a 4-bedroom home have a typical usage of 360 GPD. Potential well locations are shown for each lot.

The Maine Geological Survey maps for the project area show wells close to the project and along the aquifer line to yield 25 to 50 GPM with well depths of 250 to 400 feet. Based on the documented flows and the development's proximity to a large aquifer it is anticipated there is an adequate supply of water for the development.



**509 COMMUNITY FACILITIES IMPACT ANALYSIS:** The anticipated impacts on public services such as police, fire and public works would be what are regularly associated with a residential development.

Solid waste from individual units will be collected by the Town's curbside collection service. The locations of mailboxes will be coordinated with the local Post Master.

The anticipated demographic for the future homeowners is families of average size. Per the census for Cumberland County, the average household size is 2.33. For the 32 residential lots, an anticipated eleven (11) children will be added to the school system. No adverse impact to the school system is anticipated from the proposed subdivision.

**510 DEVELOPMENT IMPACT FEES:**

Impact Fees have been previously calculated at the following rates: The Solid Waste Impact Fee is calculated at a rate of \$258.56 per ton for each of the new housing units. For the 32 proposed housing units, the Recreational Impact Fee is calculated at \$8,273.92. It is requested the impact fee be prorated by phase as follows:

<b>Phase</b>	<b>New Units</b>	<b>Solid Waste Impact Fee \$258.56 per Unit</b>
<b>1</b>	12	\$3,102.72
<b>2</b>	13 11	<del>\$3,361.28</del> \$2,844.16
<b>3</b>	7 9	<del>\$1,809.92</del> \$2,327.04
<b>Total</b>	32	\$8,273.92

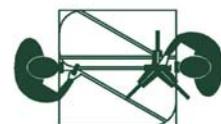
No sewer impact fees are applicable to this project.

**511 DEVELOPMENT OF NEW STREETS:**

An approximately 2,230 linear foot loop road is proposed for this project, of which approximately 700 lineal feet has been constructed. This road will be built to the same design standards as Industrial Park Road and will be proposed to the Town of Brunswick for acceptance upon completion. The Public Works Director has indicated his willingness to accept responsibility for the completed road should the Town Council accept it.

**512 OFF STREET PARKING:**

Based on the depths of the lot, and size of the anticipated buildings, off street parking averages four (4) spaces per lot with garages and driveways considered.



*513 CURB CUTS:*

A Maine Department of Transportation (MaineDOT) Entrance permit was issued for the two curb cuts onto Old Portland Road. As part of the permit, there were requirements to widen Old Portland Road and add turn lanes for the proposed development due to the anticipated number of trips to be generated. As the project is being converted from a commercial to a residential subdivision, which generates much fewer trips, it is anticipated that no road widening or turn lanes will be required. ~~Upon confirmation from the MDOT, a letter will be sent to the Town for reference.~~ Correspondence from MaineDOT confirming that no off-site improvements are required had been submitted to the town.

*514 OFF STREET LOADING:*

No off street loading is proposed for this project.

*515 APPEARANCE ASSESSMENT:*

The plan reflects the project's integration with the site and the surrounding area. The anticipated houses will be similar in appearance and spacing to those in existing neighborhoods in the vicinity. Although it is subject to the individual lot owners, it is anticipated that the houses will have clapboard siding and asphalt shingle roofs.

*516 BUILDING CONFIGURATION:*

All ~~but one~~ of the lots will have access off the ~~proposed-internal~~ road. Due to orientation of the private road, the front doors will most likely face towards the road. This is subject to the design of the homeowner, and alternate orientations could be considered.

*517 PRESERVATION OF HISTORIC RESOURCES:*

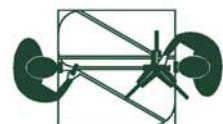
In a letter from the Maine Historic Preservation Commission dated January 15, 2009, it was recognized that the subject parcel possibly contains one or more prehistoric archeological sites. A Phase I archeological survey was completed by Dr. Leslie Shaw, a professor in the Department of Sociology and Anthropology at Bowdoin College, who is a MDEP approved archaeologist. This survey indicated that no further investigation was warranted.

*518 ACCESS FOR PERSONS WITH DISABILITIES:*

Units can be modified for accessibility, if required. ~~However, for single-family homes this is up to the discretion of the homeowner.~~ All grades and slopes will be accessible to those with disabilities.

*519 RECREATIONAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS:*

Several meetings have been held with the Recreation Commission to discuss meeting the requirements of section 519 by providing primitive trail system within the open space. Separate correspondence has been provided summarizing the results of these meetings. This correspondence is included for reference.



*520 FISCAL CAPACITY:*

The estimated site costs were approximately \$795,000 to develop the infrastructure for construction of the entire subdivision roadway, utilities, and stormwater management. To date approximately one third of the road, all of the basin subbase gravels, and all of the stormwater features have been completed. The Town of Brunswick holds approximately \$100,000 in escrow for completion of the roadway. The remaining work will be financed through the sale of lots.

The estimated cost for the remaining phases of roadway are as follows:

Phase 2: \$75,000

Phase 3: \$79,000

Costs for the development of the individual lots will be borne by future owner/developer and supported by sale of the lots. The Applicant can fully fund the entire estimated construction cost, however, the project is proposed to be constructed in phases. Construction of subsequent phases will be financed from the escrow account and capital raised from sales of lots in the initial/previous phase. Infrastructure for Phase I was completed and the roadway paved. The remaining roadway for future phases has been rough graded constructed including base and subbase gravels.

*521 PERFORMANCE GUARANTEE:*

A performance guarantee will be posted for each phase of the road. The amount of the guarantee will be 110% of the estimated construction costs for the proposed phase.

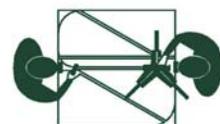
*522 HOME OWNERS/PROPERTY OWNERS ASSOCIATION:*

A home owners/property owners association is proposed for the subdivision. A copy of the Declaration of Restrictive Covenants and Easements has been enclosed with this submission. The requirements for the maintenance of the stormwater management features and we trail system have been added to the homeowners documents.

*523 PROTECTED CONSERVATION LAND:*

The applicant proposed to preserve approximately 36.18 acres to be open space. Within this conservation area, the applicant proposes to establish walking trails. There are several unimproved trails resulting from logging operations that will serve as the basis of the trail system. The ~~conservation area~~ open space is bordered by privately held land and the interstate corridor making connectivity to a larger trail system impractical. Although the trails will be available to the general public, no parking areas or signage is proposed.

The terrain has minimal change in elevation and, with modest improvement, will be accessible to just about anyone. It is not intended or proposed to construct the trail surface to ADA guidelines, however. The Home Owners Association (HOA) will be responsible for maintaining the trails once it is established. Until that milestone is reached, the developer will be responsible for maintenance. Maintenance activities will include removal of vegetation, grading of the trail surface, removal of any trees that fall and block the trail and refreshing the paint markings along the alignment.



*524 NOISE AND DUST:*

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP's as published by the Maine Department of Environmental Control, will be utilized to control noise and dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust.

**Waivers**

The following waivers are requested:

- Profile of Existing Roads – Existing roads are shown on the plans. No changes are proposed to existing roads; therefore providing profile data would add undue cost and hardship for the applicant, without benefit to the project.
- Location of all trees over 10 inches diameter – The trees necessary for construction of the road have already been removed. Those trees to be removed for the future homes will be determined by the lot owners.
- Stormwater Management Plan Request that detailed review of stormwater management plan and computations be conducted by MDEP as part of the Site Location of Development Permit.

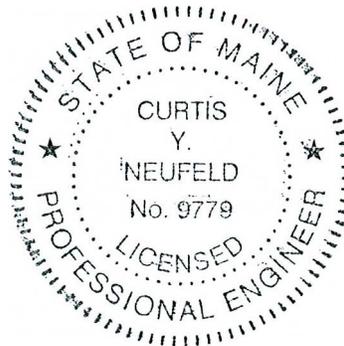
**SUMMARY**

We trust that this information satisfactorily addresses the requirements for Subdivision Review and we look forward to your comments. We look forward to meeting with the Planning Board on ~~October 6~~ **November 24**, 2015 to discuss and approve the project. If you have any questions or require additional information, please do not hesitate to call. Thank you for your assistance with this project.

Very Truly Yours,

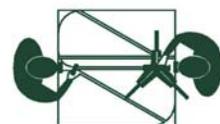


Curtis Y. Neufeld, P.E.  
Vice-President



Enclosures

cc: Bill Moore, Moore Properties, Inc.



# SPRUCE MEADOWS SUBDIVISION

## OLD PORTLAND ROAD - BRUNSWICK, MAINE

TAX MAP 13. LOTS 34, 66-78

PREPARED FOR:

### MOORE PROPERTIES, INC

#### LEGEND

EXISTING		PROPOSED
● OR ■	IRON PIPE OR MONUMENT	○ OR □
▲	BENCH MARK (SEE NOTES)	
△	TRAVERSE STATION	
■	CATCH BASIN	
⊙	SEWER MANHOLE	
⊕	FIRE HYDRANT	
⊖	WATER GATE VALVE	
⊗	WATER SHUT-OFF	
⊘	BLOW-OFF/CLEAN-OUT	
⊙	WATER/MONITORING WELL	
○	UTILITY POLE	
○	GUY WIRE	
○	POLE W/SINGLE LIGHT	
○	POLE W/DOUBLE LIGHT	
○	WALL MOUNT LIGHT	
○	SIGN W/DELINEATION NUMBER	
○	HANDICAP SYMBOL	
▨	PAVEMENT PAINT MARKINGS	
▨	PARKING SPACE COUNT	
---	PROPERTY LINE	
---	EASEMENTS	
---	SETBACK/BUFFER	
---	SOILS BOUNDARY	
---	WETLAND BOUNDARY	
---	STREAM	
---	CULVERT	
---	CURB	
---	EDGE OF PAVEMENT	
---	ROAD CENTERLINE	
---	BUILDING	
---	STORM DRAIN(SEE PLAN FOR SIZE)	
---	UTILITIES LINE(SEE PLAN FOR SIZE)	
---	SPOT ELEVATION	
---	SPOT: CURB TOP & BOTTOM	
---	SLOPE ARROW	
---	CONTOURS	
---	CLEARING LIMIT	
---	TREE LINE	
---	STONE WALL	
---	SILT FENCE	
---	CHAIN LINK FENCE	
---	WOOD GUARD RAIL	
---	RIPRAP	
---	CONSTRUCTION ENTRANCE	
---	PROPOSED PAVEMENT	

#### PROJECT CONTACTS:

**BRUNSWICK PLANNING & DEVELOPMENT PUBLIC WORKS DEPARTMENT:**  
85 UNION STREET  
BRUNSWICK, MAINE 04011  
PHONE: 207-725-6660

**BRUNSWICK CODE ENFORCEMENT**  
85 UNION STREET  
BRUNSWICK, MAINE 04011  
PHONE: 207-725-6651

**ELECTRIC SERVICE:**  
CENTRAL MAINE POWER  
280 BATH ROAD  
BRUNSWICK, MAINE 04011  
PHONE: 207-721-8081

**TELEPHONE SERVICE:**  
FAIRPOINT COMMUNICATIONS  
360 BATH ROAD (P.O. BOX 360)  
BRUNSWICK, MAINE 04011  
PHONE: 207-442-8018

#### DESIGN TEAM:

**ENGINEERING, PLANNING, SURVEYING & LANDSCAPE ARCHITECTS:**  
SITELINES, P.A.  
CURTIS NEUFELD, P.E.  
8 CUMBERLAND STREET  
BRUNSWICK, MAINE 04011  
PHONE: 207-725-1200

**SEPTIC DESIGN:**  
ALBERT FRICK ASSOCIATES, INC.  
ATTN: ALBERT FRICK  
95A COUNTY ROAD  
GORHAM, MAINE 04038  
207-839-5563

**WETLANDS:**  
ECO-ANALYSTS, INC.  
ATTN: TIM FORRESTER  
P.O. BOX 224  
BATH, ME 04530  
207-882-1115

**GEOTECHNICAL:**  
SUMMIT GEOENGINEERING SERVICES  
ATTN: BILL PETERLEIN, P.E.  
640 MAIN STREET  
LEWISTON, ME 04240

#### SHEET INDEX

NO.	SHEET TITLE	SCALE
1	COVER SHEET	N/A
2	SUBDIVISION MASTER PLAN	1:150
3	LOT LAYOUT AND DEVELOPMENT PLAN	1:100
4	PLAN & PROFILE STA 0+00 TO 11+00 GRADING, DRAINAGE & EC PLAN	1:50
5	PLAN & PROFILE STA 11+00 TO 22+50 GRADING, DRAINAGE & EC PLAN	1:50
6	EROSION CONTROL NOTES AND DETAILS	NTS
7	CONSTRUCTION DETAILS	NTS
8	STORMWATER DETAILS	NTS

#### GENERAL NOTES:

- DRAWINGS ARE BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION FROM MULTIPLE SOURCES BY SITELINES PA.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO CONSTRUCTION MANAGER FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, CABLE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES. (NOT ANTICIPATED)
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED.
- ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED LICENSED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
- ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING. SEE SPECIFICATIONS FOR GEOTECHNICAL INFORMATION.

#### PERMITTING REQUIREMENTS:

AGENCY:	PERMIT:	STATUS:
TOWN OF BRUNSWICK	MAJOR DEVELOPMENT REVIEW	PENDING
	BUILDING	(BY CONTRACTOR)
MDEP	AMENDMENT TO SITE LAW	TO BE SUBMITTED

4.	10-30-15	REVISED PER MDEP COMMENTS	CYN
3.	09-28-15	SUBMITTED TO MDEP FOR SLODA AMENDMENT	CYN
2.	09-15-15	SUBMITTED FOR FINAL REVIEW	JJM
1.	06-02-15	SUBMITTED TO TOWN OF BRUNSWICK	RPL

PROGRESS PRINT  
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

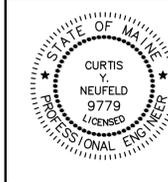
### COVER SHEET

PROJECT: **SPRUCE MEADOWS SUBDIVISION**  
**OLD PORTLAND ROAD, BRUNSWICK, MAINE**

PREPARED FOR: **MOORE PROPERTIES, INC.**  
**228 OLD PORTLAND ROAD, BRUNSWICK, MAINE**



CALL DIG SAFE UTILITY LOCATION  
**1-888-344-7233**  
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



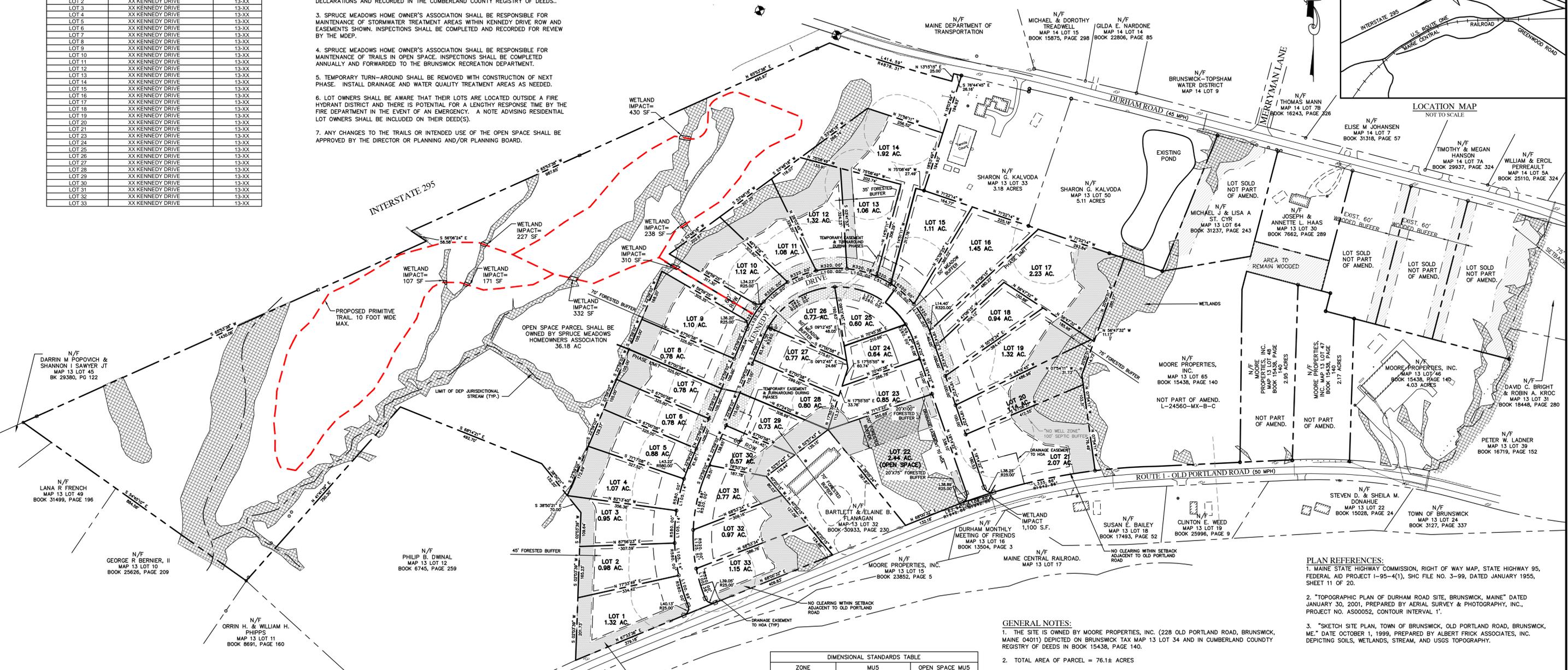
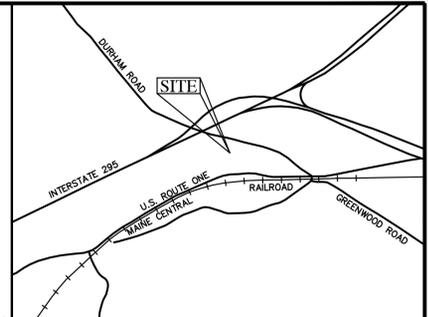
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LANDSCAPE ARCHITECTS  
8 CUMBERLAND STREET, BRUNSWICK, ME 04011  
207.725.1200 www.sitelinespa.com

FIELD WK: N/A	SCALE: NTS	SHEET: <b>1</b>
DRN BY: JJM	JOB #: 731.03	
CHD BY: CYN	MAP/LOT: 13 / 34.66-78	
DATE: 9-15-15	FILE: 731.03-COVER	

ASSIGNED STREET ADDRESSES AND MAP/LOT NUMBERS

SUBDIVISION LOT #	STREET ADDRESS*	MAP/LOT
LOT 1	XX KENNEDY DRIVE	13-XX
LOT 2	XX KENNEDY DRIVE	13-XX
LOT 3	XX KENNEDY DRIVE	13-XX
LOT 4	XX KENNEDY DRIVE	13-XX
LOT 5	XX KENNEDY DRIVE	13-XX
LOT 6	XX KENNEDY DRIVE	13-XX
LOT 7	XX KENNEDY DRIVE	13-XX
LOT 8	XX KENNEDY DRIVE	13-XX
LOT 9	XX KENNEDY DRIVE	13-XX
LOT 10	XX KENNEDY DRIVE	13-XX
LOT 11	XX KENNEDY DRIVE	13-XX
LOT 12	XX KENNEDY DRIVE	13-XX
LOT 13	XX KENNEDY DRIVE	13-XX
LOT 14	XX KENNEDY DRIVE	13-XX
LOT 15	XX KENNEDY DRIVE	13-XX
LOT 16	XX KENNEDY DRIVE	13-XX
LOT 17	XX KENNEDY DRIVE	13-XX
LOT 18	XX KENNEDY DRIVE	13-XX
LOT 19	XX KENNEDY DRIVE	13-XX
LOT 20	XX KENNEDY DRIVE	13-XX
LOT 21	XX KENNEDY DRIVE	13-XX
LOT 22	XX KENNEDY DRIVE	13-XX
LOT 23	XX KENNEDY DRIVE	13-XX
LOT 24	XX KENNEDY DRIVE	13-XX
LOT 25	XX KENNEDY DRIVE	13-XX
LOT 26	XX KENNEDY DRIVE	13-XX
LOT 27	XX KENNEDY DRIVE	13-XX
LOT 28	XX KENNEDY DRIVE	13-XX
LOT 29	XX KENNEDY DRIVE	13-XX
LOT 30	XX KENNEDY DRIVE	13-XX
LOT 31	XX KENNEDY DRIVE	13-XX
LOT 32	XX KENNEDY DRIVE	13-XX
LOT 33	XX KENNEDY DRIVE	13-XX

**NOTES:**  
 1. SUBDIVISION IS SUBJECT TO REQUIREMENTS OF MDEP PERMIT L-24560-MX-A-N  
 2. ALL LOTS SHALL BE SOLD WITH DEED RESTRICTIONS FOR THE WOODED AND/OR MEADOW BUFFERS SHOWN. SAMPLE DEED RESTRICTIONS SHALL BE INCLUDED IN THE DECLARATIONS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.  
 3. SPRUCE MEADOWS HOME OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF STORMWATER TREATMENT AREAS WITHIN KENNEDY DRIVE ROW AND EASEMENTS SHOWN. INSPECTIONS SHALL BE COMPLETED AND RECORDED FOR REVIEW BY THE MDEP.  
 4. SPRUCE MEADOWS HOME OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAILS IN OPEN SPACE. INSPECTIONS SHALL BE COMPLETED ANNUALLY AND FORWARDED TO THE BRUNSWICK RECREATION DEPARTMENT.  
 5. TEMPORARY TURN-AROUND SHALL BE REMOVED WITH CONSTRUCTION OF NEXT PHASE. INSTALL DRAINAGE AND WATER QUALITY TREATMENT AREAS AS NEEDED.  
 6. LOT OWNERS SHALL BE AWARE THAT THEIR LOTS ARE LOCATED OUTSIDE A FIRE HYDRANT DISTRICT AND THERE IS POTENTIAL FOR A LENGTHY RESPONSE TIME BY THE FIRE DEPARTMENT IN THE EVENT OF AN EMERGENCY. A NOTE ADVISING RESIDENTIAL LOT OWNERS SHALL BE INCLUDED ON THEIR DEED(S).  
 7. ANY CHANGES TO THE TRAILS OR INTENDED USE OF THE OPEN SPACE SHALL BE APPROVED BY THE DIRECTOR OR PLANNING AND/OR PLANNING BOARD.



EXISTING	LEGEND	PROPOSED
● OR ■	IRON PIPE OR MONUMENT	○ OR □
+	BENCH MARK (SEE NOTES)	
○	TRAVERSE STATION	
○	UTILITY POLE	
+	SIGN	
---	PROPERTY LINE	---
---	EASEMENTS	---
---	SETBACK/BUFFER	---
---	EDGE OF PAVEMENT	---
---	EDGE OF GRAVEL	---
---	WETLAND BOUNDARY	---
---	STREAM	---
---	BUILDING	---
○	TEST PIT	
---	STONE WALL	---
---	FORESTED BUFFER, LIMITED DISTURBANCE	---
---	MEADOW BUFFER, LIMITED DISTURBANCE	---
---	ROAD SIDE DITCH BUFFER	---

**SURVEYOR'S CERTIFICATION:**  
 THE PREPARER HEREBY CERTIFIES THAT THIS SURVEY HAS BEEN UNDERTAKEN IN CONFORMANCE WITH THE RULES SET FORTH BY THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, DATED APRIL 1, 2001, FOR A BOUNDARY SURVEY.  
 KEVIN P. CLARK #2245  
 DATE: \_\_\_\_\_  
 KEVIN P. CLARK, PLS #2245

**APPROVAL**  
 TOWN OF BRUNSWICK PLANNING BOARD  
 DATE: \_\_\_\_\_  
 CHAIRMAN: \_\_\_\_\_

**DIMENSIONAL STANDARDS TABLE**

ZONE	MUS	OPEN SPACE MUS
MIN. LOT AREA	2 ACRES	20,000 S.F.
MAX. DENSITY	1 UNIT PER 2 ACRES	1 UNIT PER 1 ACRES
MIN. LOT WIDTH	150 FT	100 FT*
MIN. FRONT YARD	25 FT	25 FT
MIN. REAR YARD	30 FT	20 FT
MIN. SIDE YARD	30 FT	10 FT
MAX. IMPERVIOUS SURFACE	25%	25%
MAX. HEIGHT	40 FT	40 FT
MAX. BUILDING FOOTPRINT PER STRUCTURE	10,000 S.F.	10,000 S.F.
MIN. PROTECT CONSERVATION LAND	N/A	50%

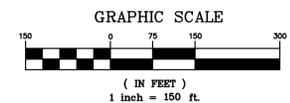
\*FRONTAGE ON SECONDARY ROAD

**PHASING PLAN:**

PHASE	LOTS	TIME PERIOD
PHASE 1	LOTS 1-7, 29-33 (12 TOTAL)	2015-2020
PHASE 2	LOTS 8-14, 25-28 (11 TOTAL)	2020-2025
PHASE 3	LOTS 15-21, 23-24 (9 TOTAL)	2025-2030

**GENERAL NOTES:**  
 1. THE SITE IS OWNED BY MOORE PROPERTIES, INC. (228 OLD PORTLAND ROAD, BRUNSWICK, MAINE 04011) DEPICTED ON BRUNSWICK TAX MAP 13 LOT 34 AND IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15438, PAGE 140.  
 2. TOTAL AREA OF PARCEL = 76.1± ACRES  
 3. THE SURFICIAL SOILS ARE CLASSIFIED BY ALBERT FRICK ASSOCIATES, INC. (SOIL SCIENTISTS & SITE EVALUATORS).  
 Ad ADAMS Cr CROGHAM  
 E1 ELDRIDGE En ENOSBURG  
 N1 NICHOLVILLE Ro ROUNDABOUT  
 4. THE SITE IS SUBJECT TO SECTION 208.1 USE TABLE.  
 5. CONSTRUCTION WITHIN 100 FEET OR CLEARING ACTIVITIES WITHIN 75' OF THE STREAM MAY REQUIRE A NATURAL RESOURCES PROTECTION ACT PERMIT BY RULE FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.  
 6. NO DEVELOPMENT IS PROPOSED WITHIN A WILDLIFE HABITAT BLOCK DISTRICT OR WILDLIFE CORRIDOR DISTRICT.  
 7. TOTAL WETLAND IMPACTS: 2,914 S.F.

CUMBERLAND COUNTY REGISTRY OF DEEDS:  
 RECEIVED: \_\_\_\_\_  
 AT \_\_\_\_\_ HRS \_\_\_\_\_ MIN \_\_\_\_\_ M, AND  
 FILED IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTESTED: \_\_\_\_\_ REGISTER



**PLAN REFERENCES:**  
 1. MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY 95, FEDERAL AID PROJECT I-95-4(1), SHC FILE NO. 3-99, DATED JANUARY 1955, SHEET 11 OF 20.  
 2. "TOPOGRAPHIC PLAN OF DURHAM ROAD SITE, BRUNSWICK, MAINE" DATED JANUARY 30, 2001, PREPARED BY AERIAL SURVEY & PHOTOGRAPHY, INC., PROJECT NO. AS00052, CONTOUR INTERVAL 1'.  
 3. "SKETCH SITE PLAN, TOWN OF BRUNSWICK, OLD PORTLAND ROAD, BRUNSWICK, ME." DATE OCTOBER 1, 1999, PREPARED BY ALBERT FRICK ASSOCIATES, INC. DEPICTING SOILS, WETLANDS, STREAM, AND USGS TOPOGRAPHY.

4. 10-30-15	REVISED PER MDEP COMMENTS	CYN
3. 09-28-15	SUBMITTED TO MDEP FOR SLODA AMENDMENT	CYN
2. 09-15-15	SUBMITTED FOR FINAL REVIEW	JJM
1. 06-02-15	SUBMITTED TO TOWN OF BRUNSWICK	RPL

**OVERALL SUBDIVISION**

PROJECT: **SPRUCE MEADOWS SUBDIVISION**  
 OLD PORTLAND ROAD, BRUNSWICK, MAINE

PREPARED FOR: **MOORE PROPERTIES, INC.**  
 228 OLD PORTLAND ROAD, BRUNSWICK, MAINE

**SITELINES, PA**  
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 8 CUMBERLAND STREET, BRUNSWICK, ME 04011  
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FIELD WK: BWM SCALE: 1"=150' SHEET: **2**

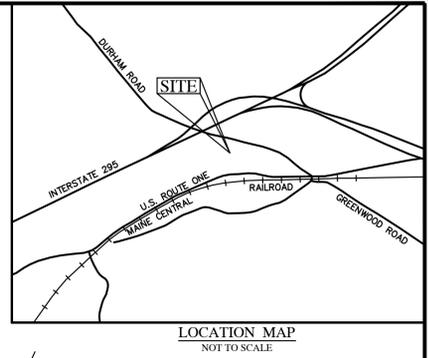
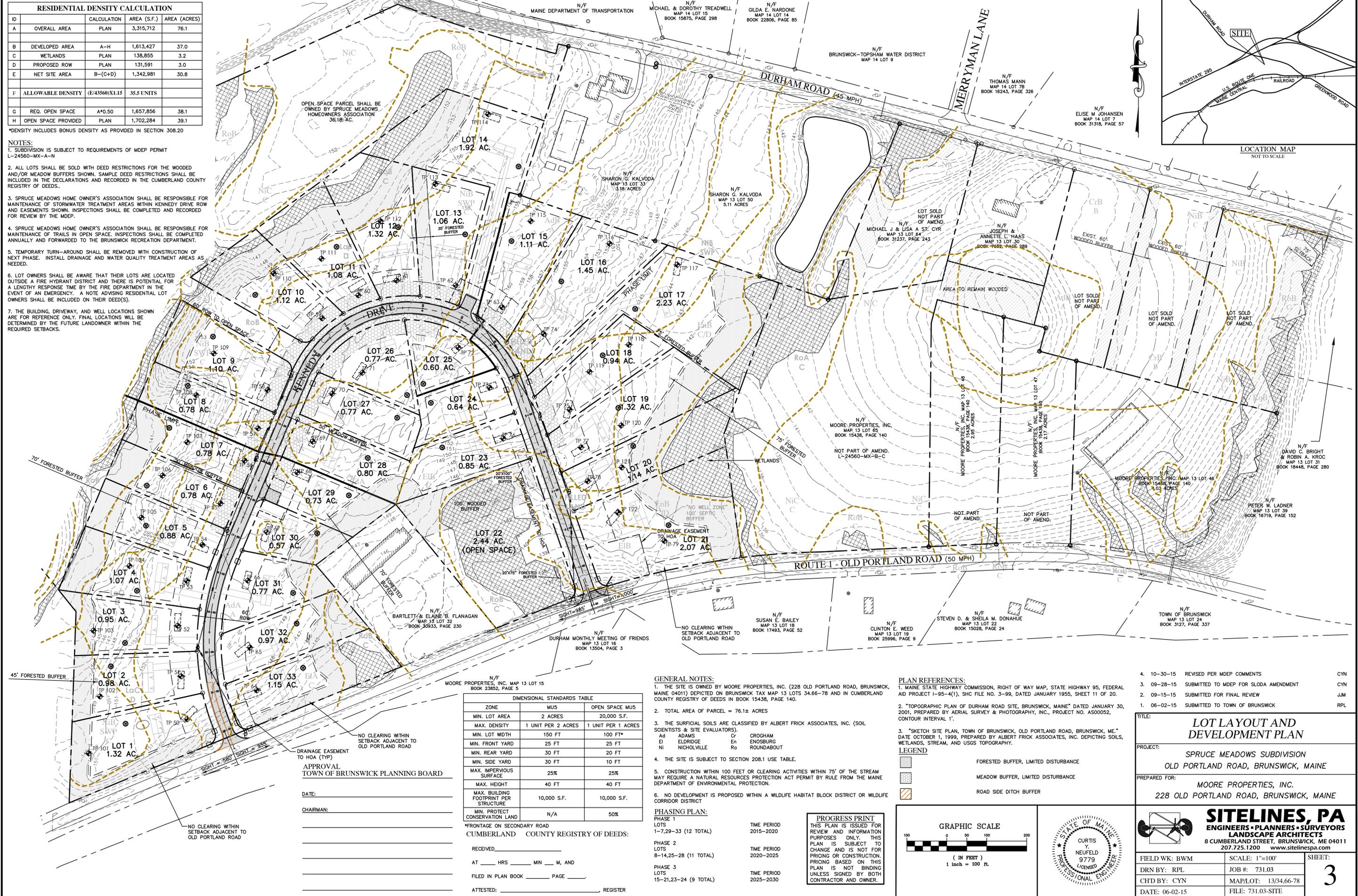
DRN BY: RPL JOB #: 731.03  
 CH'D BY: CYN MAP/PLOT: 13/34  
 DATE: 09-15-15 FILE: 731.03-SITE

X:\LAND PROJECTS\03 MOORE BOC RESIDENTIAL BRUNSWICK\DWG\03 SITE.DWG - 2 SUB MASTER - 150 - 02/01/15 10:03:27 AM - CURT

RESIDENTIAL DENSITY CALCULATION				
ID	CALCULATION	AREA (S.F.)	AREA (ACRES)	
A	OVERALL AREA	PLAN	3,315,712	76.1
B	DEVELOPED AREA	A-H	1,613,427	37.0
C	WETLANDS	PLAN	138,855	3.2
D	PROPOSED ROW	PLAN	131,591	3.0
E	NET SITE AREA	B-(C+D)	1,342,981	30.8
F	ALLOWABLE DENSITY	(E/43560)X1.15	35.5 UNITS	
G	REQ. OPEN SPACE	A*0.50	1,657,856	38.1
H	OPEN SPACE PROVIDED	PLAN	1,702,284	39.1

\*DENSITY INCLUDES BONUS DENSITY AS PROVIDED IN SECTION 308.20

- NOTES:
- SUBDIVISION IS SUBJECT TO REQUIREMENTS OF MDEP PERMIT L-24560-MX-A-N
  - ALL LOTS SHALL BE SOLD WITH DEED RESTRICTIONS FOR THE WOODED AND/OR MEADOW BUFFERS SHOWN. SAMPLE DEED RESTRICTIONS SHALL BE INCLUDED IN THE DECLARATIONS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
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  - THE BUILDING, DRIVEWAY, AND WELL LOCATIONS SHOWN ARE FOR REFERENCE ONLY. FINAL LOCATIONS WILL BE DETERMINED BY THE FUTURE LANDOWNER WITHIN THE REQUIRED SETBACKS.



X:\LAND PROJECTS\03 MOORE BOC RESIDENTIAL\BRUNSWICK\DWG\3-LOT LAYOUT\_100\_09242015\_10:03:27 AM\_CURT

APPROVAL  
TOWN OF BRUNSWICK PLANNING BOARD

DATE: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_

ZONE	DIMENSIONAL STANDARDS TABLE	
	MU5	OPEN SPACE MU5
MIN. LOT AREA	2 ACRES	20,000 S.F.
MAX. DENSITY	1 UNIT PER 2 ACRES	1 UNIT PER 1 ACRES
MIN. LOT WIDTH	150 FT	100 FT*
MIN. FRONT YARD	25 FT	25 FT
MIN. REAR YARD	30 FT	20 FT
MIN. SIDE YARD	30 FT	10 FT
MAX. IMPERVIOUS SURFACE	25%	25%
MAX. HEIGHT	40 FT	40 FT
MAX. BUILDING FOOTPRINT PER STRUCTURE	10,000 S.F.	10,000 S.F.
MIN. PROTECT CONSERVATION LAND	N/A	50%

\*FRONTAGE ON SECONDARY ROAD

CUMBERLAND COUNTY REGISTRY OF DEEDS:

RECEIVED \_\_\_\_\_

AT \_\_\_\_\_ HRS \_\_\_\_\_ MIN \_\_\_\_\_ M, AND

FILED IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

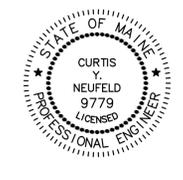
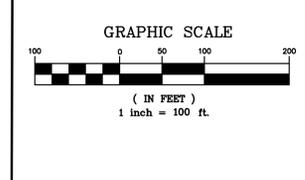
ATTESTED: \_\_\_\_\_ REGISTER

- GENERAL NOTES:
- THE SITE IS OWNED BY MOORE PROPERTIES, INC. (228 OLD PORTLAND ROAD, BRUNSWICK, MAINE 04011) DEPICTED ON BRUNSWICK TAX MAP 13 LOTS 34.66-78 AND IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15438, PAGE 140.
  - TOTAL AREA OF PARCEL = 76.1± ACRES
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  - NO DEVELOPMENT IS PROPOSED WITHIN A WILDLIFE HABITAT BLOCK DISTRICT OR WILDLIFE CORRIDOR DISTRICT

- PHASING PLAN:
- PHASE 1  
LOTS  
1-7,29-33 (12 TOTAL) TIME PERIOD 2015-2020
- PHASE 2  
LOTS  
8-14,25-28 (11 TOTAL) TIME PERIOD 2020-2025
- PHASE 3  
LOTS  
15-21,23-24 (9 TOTAL) TIME PERIOD 2025-2030

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- LEGEND
- [Symbol] FORESTED BUFFER, LIMITED DISTURBANCE
  - [Symbol] MEADOW BUFFER, LIMITED DISTURBANCE
  - [Symbol] ROAD SIDE DITCH BUFFER



- 10-30-15 REVISED PER MDEP COMMENTS CYN
- 09-28-15 SUBMITTED TO MDEP FOR SLODA AMENDMENT CYN
- 09-15-15 SUBMITTED FOR FINAL REVIEW JMM
- 06-02-15 SUBMITTED TO TOWN OF BRUNSWICK RPL

TITLE: **LOT LAYOUT AND DEVELOPMENT PLAN**

PROJECT: **SPRUCE MEADOWS SUBDIVISION  
OLD PORTLAND ROAD, BRUNSWICK, MAINE**

PREPARED FOR: **MOORE PROPERTIES, INC.  
228 OLD PORTLAND ROAD, BRUNSWICK, MAINE**

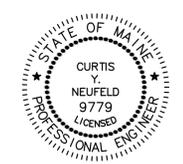
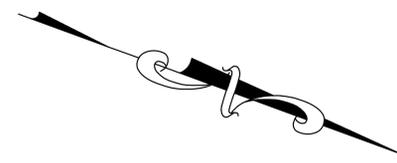
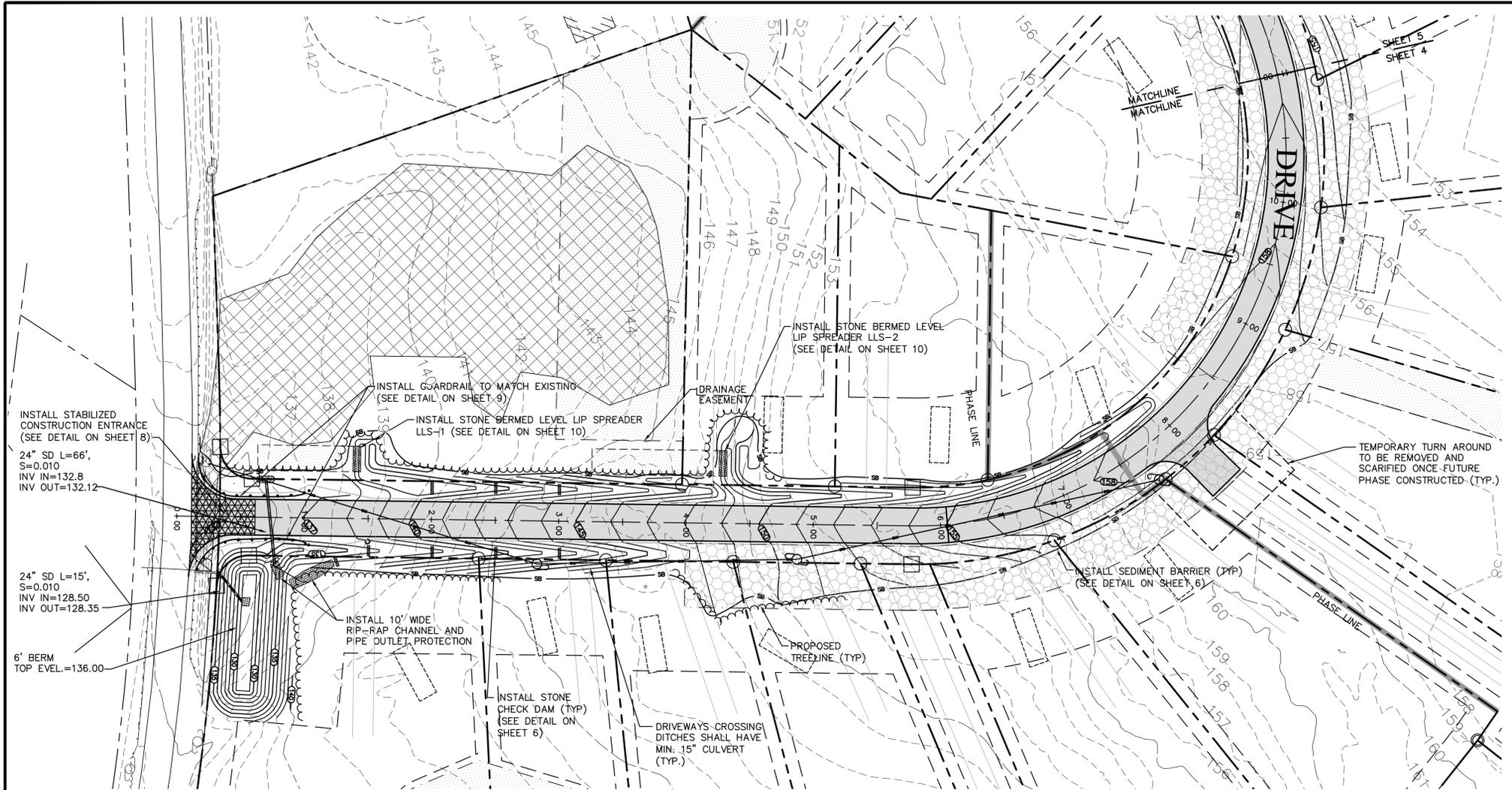
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FIELD WK: BWM SCALE: 1"=100' SHEET: **3**

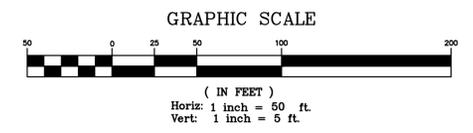
DRN BY: RPL JOB #: 731.03

CHD BY: CYN MAP/PLOT: 13/34.66-78

DATE: 06-02-15 FILE: 731.03-SITE



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- 4. 10-30-15 REVISED PER MDEP COMMENTS CYN
- 3. 09-28-15 SUBMITTED TO MDEP FOR SLODA AMENDMENT CYN
- 2. 09-15-15 SUBMITTED FOR FINAL REVIEW JJM
- 1. 06-02-15 SUBMITTED TO TOWN OF BRUNSWICK RPL

**TITLE: PLAN & PROFILE STA 0+00 TO 11+00 GRADING, DRAINAGE & EC PLAN**

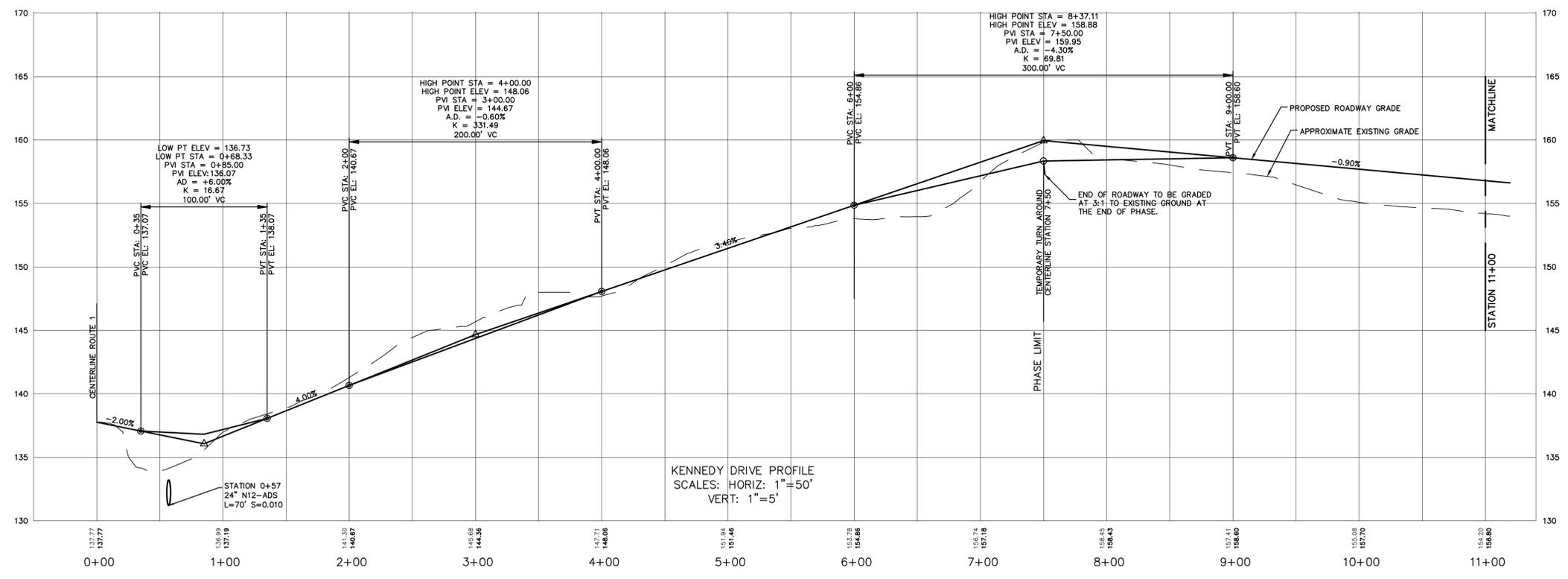
PROJECT: **SPRUCE MEADOWS SUBDIVISION**  
 OLD PORTLAND ROAD, BRUNSWICK, MAINE

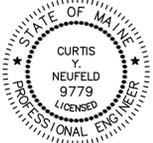
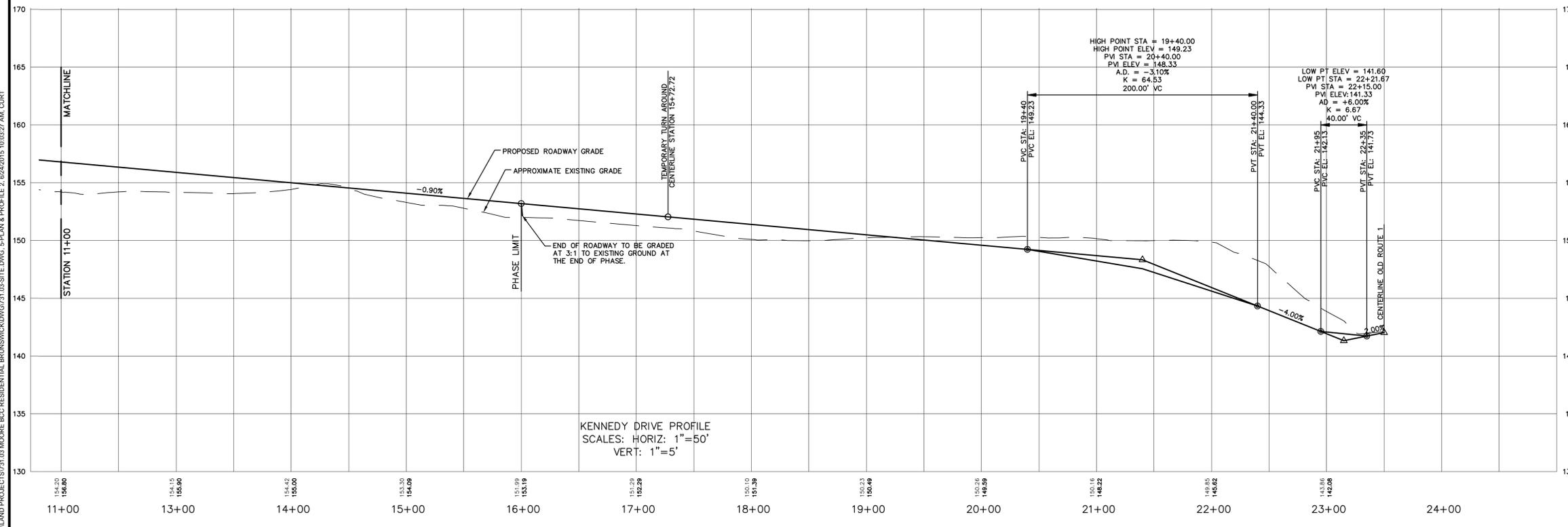
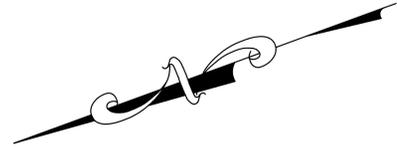
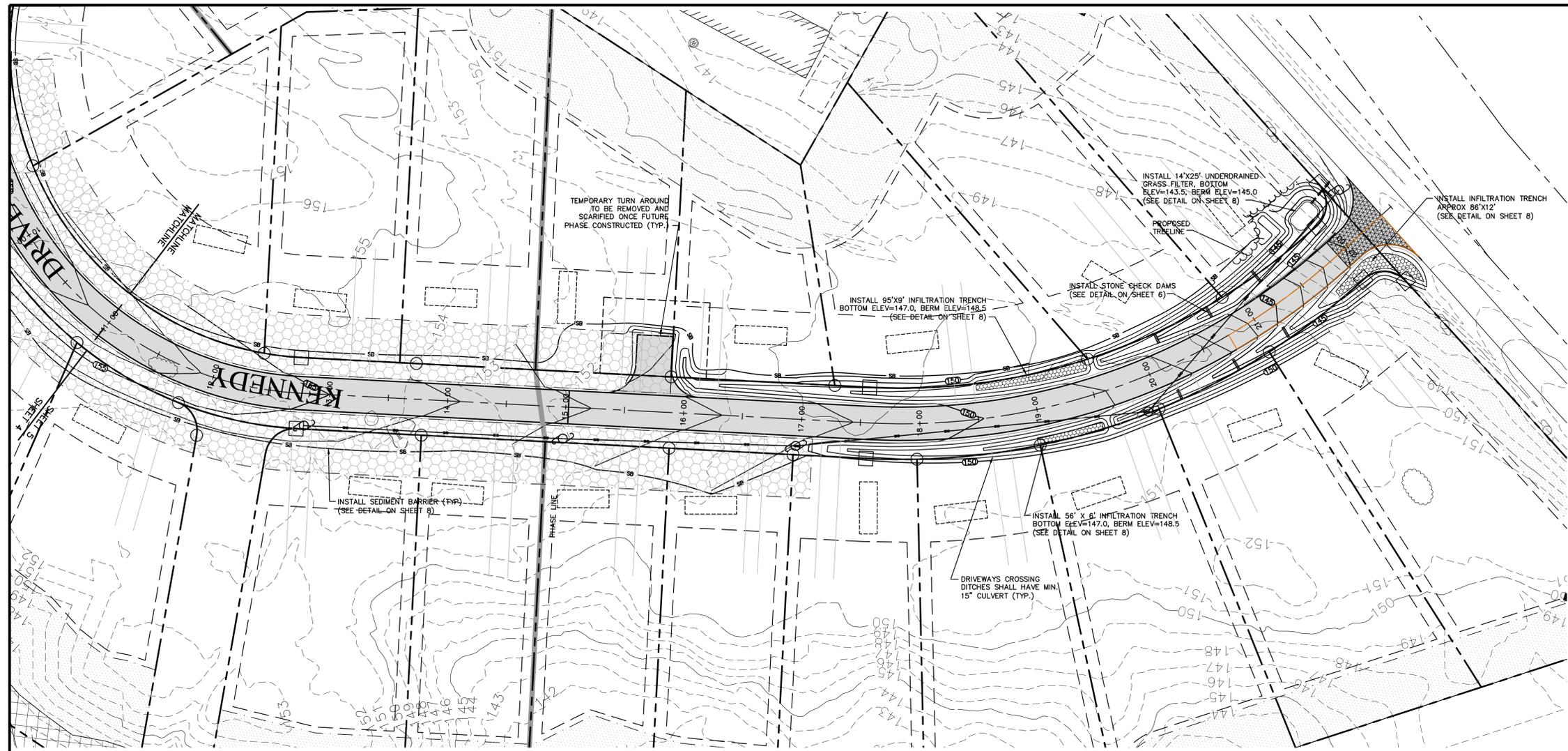
PREPARED FOR: **MOORE PROPERTIES, INC.**  
 228 OLD PORTLAND ROAD, BRUNSWICK, MAINE

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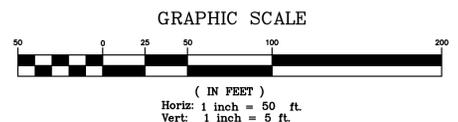
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DRN BY: JJM	JOB #: 731.03	<b>4</b>
CHD BY: CYN	MAP/PLOT: 13/34, 66-78	
DATE: 09-15-15	FILE: 731.03-SITE	

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**PROGRESS PRINT**  
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



- 4. 10-30-15 REVISED PER MDEP COMMENTS CYN
- 3. 09-28-15 SUBMITTED TO MDEP FOR SLODA AMENDMENT CYN
- 2. 09-15-15 SUBMITTED FOR FINAL REVIEW JIM
- 1. 06-02-15 SUBMITTED TO TOWN OF BRUNSWICK RPL

**TITLE:** PLAN & PROFILE STA 11+00 TO 22+50  
GRADING, DRAINAGE & EC PLAN

**PROJECT:** SPRUCE MEADOWS SUBDIVISION  
OLD PORTLAND ROAD, BRUNSWICK, MAINE

**PREPARED FOR:** MOORE PROPERTIES, INC.  
228 OLD PORTLAND ROAD, BRUNSWICK, MAINE

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**GENERAL NOTES:**

1. TOPOGRAPHIC DATA IS BASED ON AERIAL DATA FROM BRADSTREET ASSOCIATES AND ON THE GROUND SURVEY PERFORMED BY ROB SPIVEY ASSOCIATES.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (TELEPHONE AND ELECTRIC).
4. ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS.
6. ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
8. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REGULATIONS.
9. THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.

**GRADING AND DRAINAGE NOTES:**

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:  
POLYVINYL CHLORIDE PIPE (PVC)  
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS OR SDR 35
2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

**EROSION AND SEDIMENTATION NOTES:**

1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.
2. GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:  
EROSION/SEDIMENTATION CONTROL DEVICES:  
THE FOLLOWING EROSION/SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS. IN ADDITION TO THE MEASURES BELOW THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW THE REQUIREMENTS OF APPENDICES A, B & C OF CHAPTER 500 OF THE MDEP RULES.

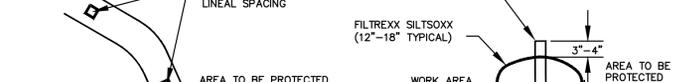
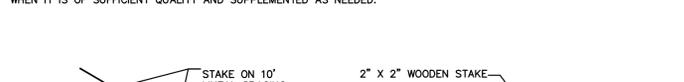
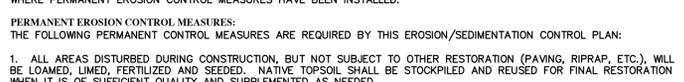
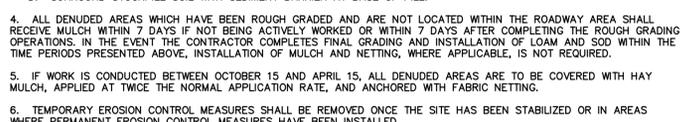
1. SEDIMENT BARRIER: SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
4. STRAW AND HAY MULCH: USED TO COVER DENuded AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
5. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

**TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:**

- THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:
1. SEDIMENT BARRIER ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER WILL REMAIN IN PLACE UNTIL THE SITE IS PERMANENTLY STABILIZED.
  2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
  3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBING, OR COMMON EXCAVATION AS FOLLOWS:  
A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.  
B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES.  
C. STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.  
D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
  4. ALL DENuded AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE ROADWAY AREA SHALL RECEIVE MULCH WITHIN 7 DAYS IF NOT BEING ACTIVELY WORKED OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
  5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENuded AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING.
  6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

**PERMANENT EROSION CONTROL MEASURES:**

- THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:
1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY AND SUPPLEMENTED AS NEEDED.



- NOTES:**
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
  2. SILT/ROCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
  3. SILT/ROCK COMPOST IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
  4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

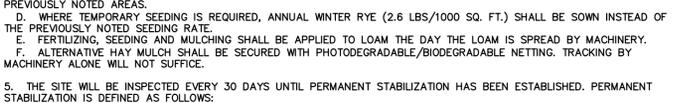
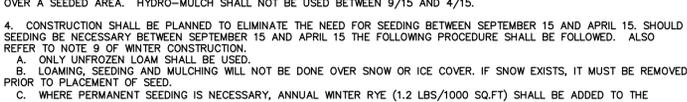
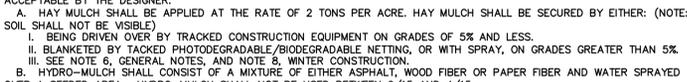
**CONSTRUCTION PHASE:**

- THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.
1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 7 DAYS, SEE ITEM NO. 4.
  2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TRAP FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THAN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:  
A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).  
B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.  
C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
  4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE EITHER:  
A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR  
B. SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
  5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH RIPRAP, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
  6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

**POST-CONSTRUCTION REVEGETATION:**

- THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.
1. A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
  2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:  
LAWNS SHALL BE: ALLEN, STERLING & LATHROP 'TUFTTURF', 70% DIAMOND TALL FESCUE, 20% PLEASURE OLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.  
SWALES SHALL BE: WILDFLOWER MEADOW (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQ.FT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 1/2 OZ. PER 1,000 SQ.FT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUILEGIA CANADENSIS COLUMBINE, ASCLEPIAS TUBEROSE BUTTERFLY MILKWEED, ASTER NOVAE-ANGLIAE NEW-ENGLAND ASTER, CHRYSANTHEMUM LEUCANTHEMUM OX-EYE DAISY, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPY, RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQ.FT. OR 4 OZ. PER 1,000 SQ.FT. IN COMBINATION
  3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE ENGINEER.  
A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)  
I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.  
II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.  
B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
  4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.  
A. ONLY UNFROZEN LOAM SHALL BE USED.  
B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.  
C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.  
D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.  
E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.  
F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
  5. THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. PERMANENT STABILIZATION IS DEFINED AS FOLLOWS:  
(A) SEEDED AREAS. FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.  
(B) SODDED AREAS. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.  
(C) PERMANENT MULCH. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.  
(D) RIPRAP. FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.  
(E) PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.  
(F) DITCHES, CHANNELS, AND SWALES. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A WELL-GRADED RIPRAP LINING, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

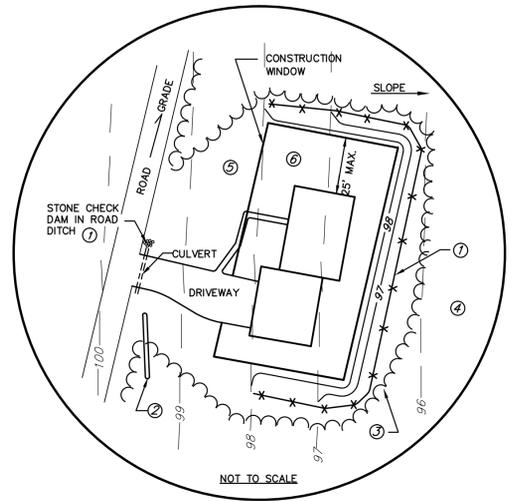
RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER/THIRD PARTY INSPECTOR THAT THE EXISTING CATCH IS INADEQUATE.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE



**INSTALLATION:**

1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
2. CONSTRUCT A DIVERSION DITCH TO KEEP UPSLOPE RUNOFF OUT OF WORK AREA.
3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOILS OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.

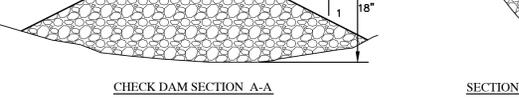
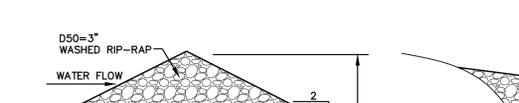
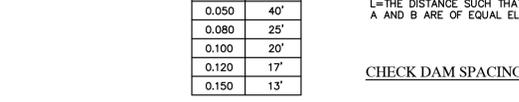
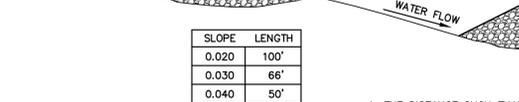
**MAINTENANCE:**

EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.

**HOUSE SITE - BEST MANAGEMENT PRACTICES**



SLOPE	LENGTH
0.020	100'
0.030	66'
0.040	50'
0.050	40'
0.080	25'
0.100	20'
0.120	17'
0.150	13'



**MONITORING SCHEDULE:**

- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION PERIOD AFTER EACH RAINFALL. A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:
1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND/OR STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
  2. VISUALLY INSPECT INLET PROTECTION AT CATCH BASINS ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL. REMOVE SEDIMENT AS REQUIRED.
  3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEED AS NEEDED. EXPOSED AREAS WILL BE RESEED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

**EROSION CONTROL DURING WINTER CONSTRUCTION:**

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 SQ. FT. (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS. SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

**SITE INSPECTION AND MAINTENANCE:**

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE WHEN THE PROJECT IS PERMANENTLY STABILIZED. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

4.	10-30-15	REVISED PER MDEP COMMENTS	CYN
3.	09-28-15	SUBMITTED TO MDEP FOR SLODA AMENDMENT	CYN
2.	09-15-15	SUBMITTED FOR FINAL REVIEW	JJM
1.	06-02-15	SUBMITTED TO TOWN OF BRUNSWICK	RPL

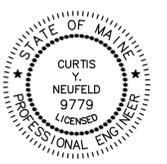
**TITLE:** EROSION CONTROL NOTES AND DETAILS

**PROJECT:** SPRUCE MEADOWS SUBDIVISION  
OLD PORTLAND ROAD, BRUNSWICK, MAINE

**PREPARED FOR:** MOORE PROPERTIES, INC.  
228 OLD PORTLAND ROAD, BRUNSWICK, MAINE

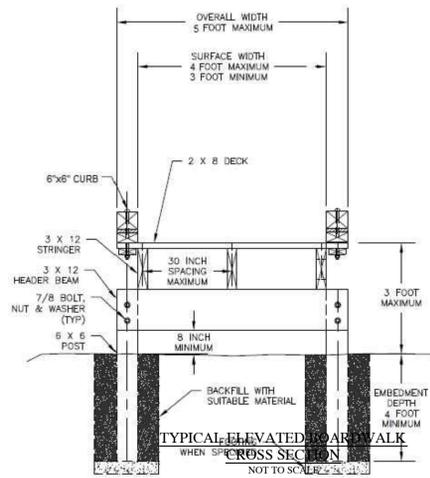
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FIELD WK: NA	SCALE: AS SHOWN	SHEET:
DRN BY: JJM	JOB #: 731.03	6
CHD BY: CYN	MAP/PLOT: 13/34.66-78	
DATE: 3-16-09	FILE: 731.03-COVER	

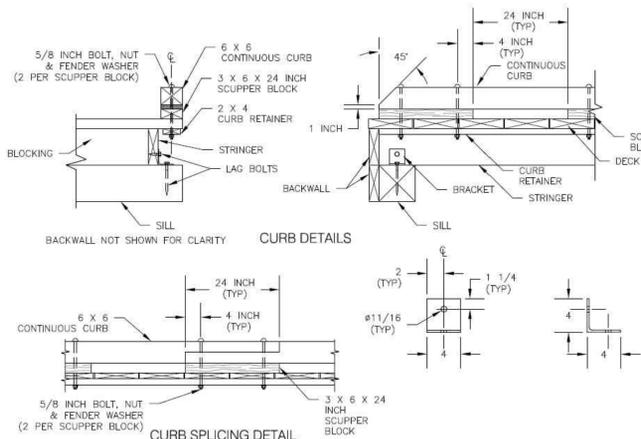


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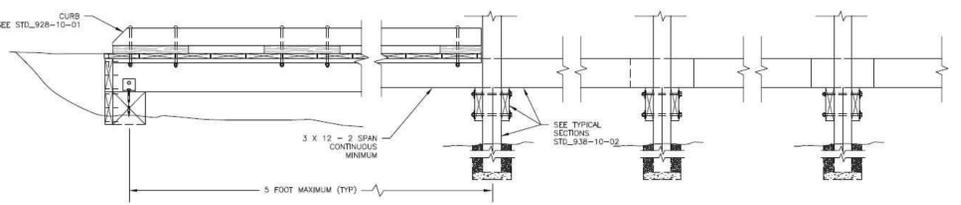
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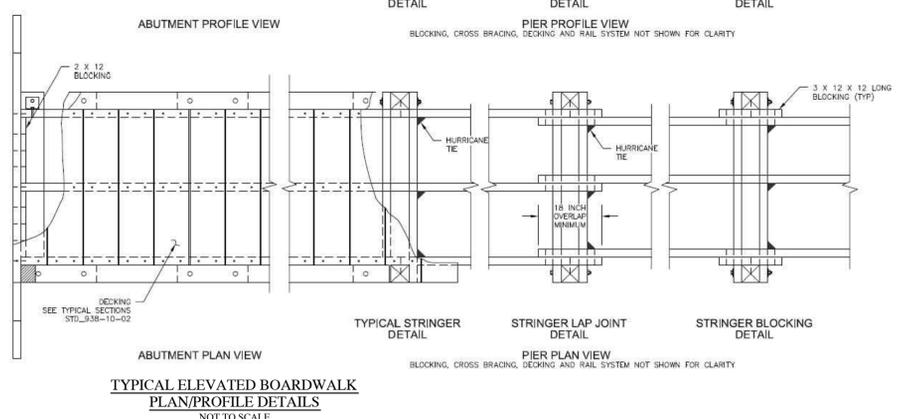
**TYPICAL ELEVATED BOARDWALK CROSS SECTION**  
NOT TO SCALE



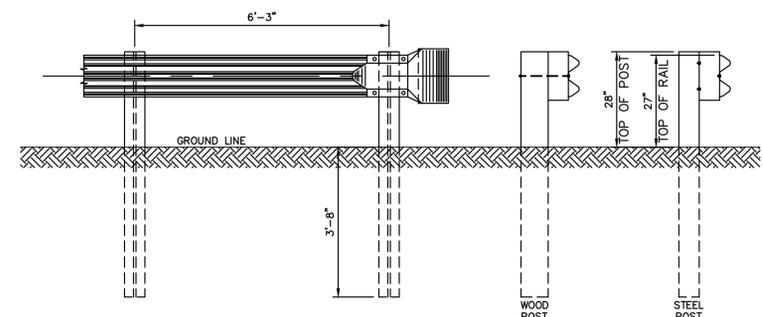
**TYPICAL ELEVATED BOARDWALK CURB DETAILS**  
NOT TO SCALE



**TYPICAL ELEVATED BOARDWALK PLAN/PROFILE DETAILS**  
NOT TO SCALE

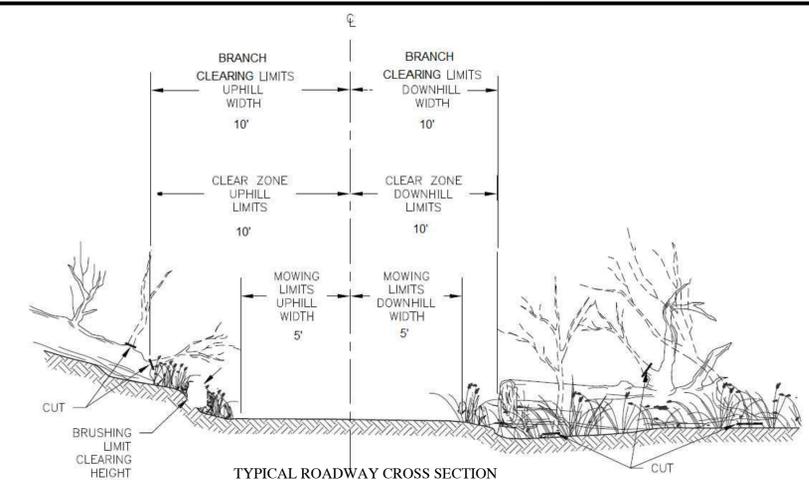


**TYPICAL ELEVATED BOARDWALK PLAN/PROFILE DETAILS**  
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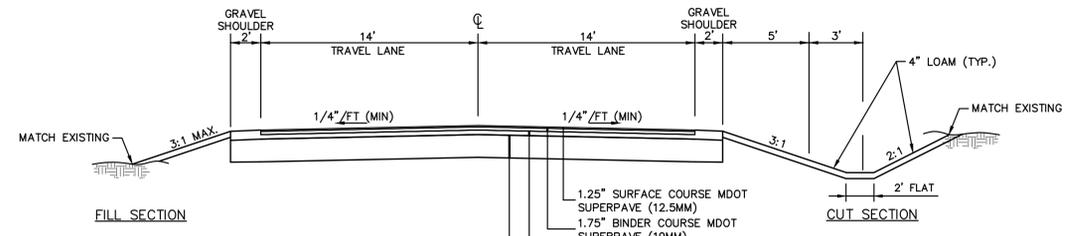


- NOTES:**
- WOOD POSTS FOR GUARD RAIL SHALL BE 6"x6" WITH 6"x6" OFFSET BLOCKS.
  - STEEL POSTS AND OFFSET BRACKETS FOR GUARD RAIL SHALL BE W6x8.5 OR W6x9.

**TYPICAL GUARD RAIL DETAIL**  
NOT TO SCALE

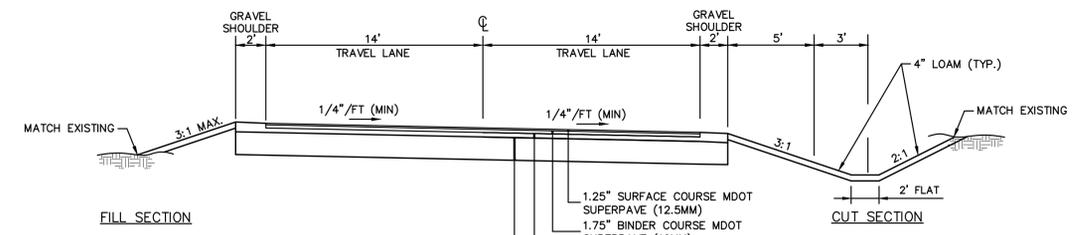


**TYPICAL ROADWAY CROSS SECTION**  
NOT TO SCALE



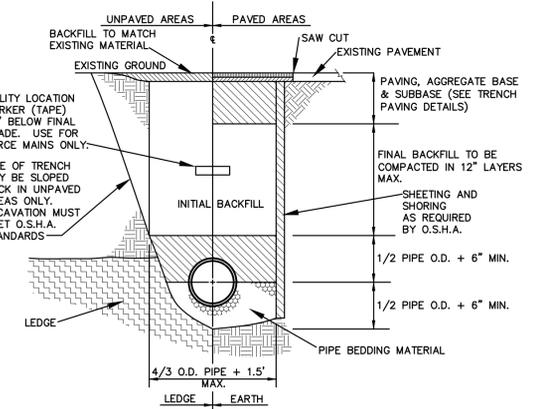
- NOTES:**
- SWALE OR FILL SLOPE SHALL BE 2.5' BELOW CENTERLINE FINISHED GRADE MINIMUM. SWALE CENTERLINE WILL BE 6' OFF SHOULDER MINIMUM.
  - DITCH CENTERLINE VARIES WITH DITCH ELEVATION.
  - INSTALL EROSION CONTROL MATT ALONG FLOW LINE

**TYPICAL ROADWAY CROSS SECTION**  
NOT TO SCALE



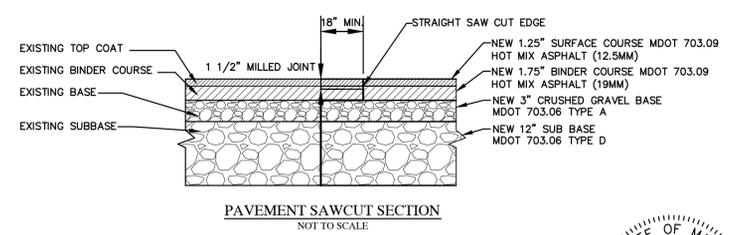
- NOTES:**
- SWALE OR FILL SLOPE SHALL BE 2.5' BELOW CENTERLINE FINISHED GRADE MINIMUM. SWALE CENTERLINE WILL BE 6' OFF SHOULDER MINIMUM.
  - DITCH CENTERLINE VARIES WITH DITCH ELEVATION.
  - INSTALL EROSION CONTROL MATT ALONG FLOW LINE

**SUPER-ELEVATED ROADWAY CROSS SECTION**  
NOT TO SCALE



- NOTES:**
- INSTALL 3 FOOT LONG IMPERVIOUS DAMS IN BEDDING/INITIAL BACKFILL MATERIAL EVERY 100 FEET TO PREVENT TRENCH GROUNDWATER FROM BEING CHANNLED ALONG BEDDING/INITIAL BACKFILL
  - REFER TO LATEST MDOT SPECIFICATIONS FOR BEDDING AND BACKFILL REQUIREMENTS.
  - INITIAL BACKFILL TO BE 12 INCHES OVER TOP OF PVC PIPE ONLY.

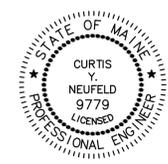
**TYPICAL TRENCH DETAIL**  
NOT TO SCALE

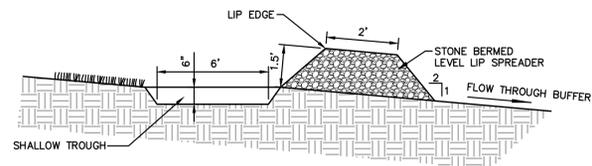


**PAVEMENT SAWCUT SECTION**  
NOT TO SCALE

- 01-30-15 REVISED PER MDEP COMMENTS CYN
- 09-28-15 SUBMITTED TO MDEP FOR SLODA AMENDMENT CYN
- 09-15-15 SUBMITTED FOR FINAL REVIEW JMM
- 06-02-15 SUBMITTED TO TOWN OF BRUNSWICK RPL

<b>TITLE:</b> CONSTRUCTION DETAILS		
<b>PROJECT:</b> SPRUCE MEADOWS SUBDIVISION OLD PORTLAND ROAD, BRUNSWICK, MAINE		
<b>PREPARED FOR:</b> MOORE PROPERTIES, INC. 228 OLD PORTLAND ROAD, BRUNSWICK, MAINE		
<b>SITELINES, PA</b> ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com		
<b>FIELD WK:</b>	<b>SCALE:</b> AS SHOWN	<b>SHEET:</b>
<b>DRN BY:</b> DAM	<b>JOB #:</b> 731.03	<b>7</b>
<b>CHD BY:</b> CYN	<b>MAP/PLOT:</b>	
<b>DATE:</b> 3-16-09	<b>FILE:</b> 731.03-COVER	

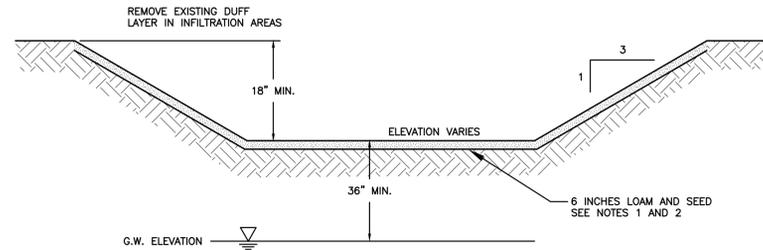




BERM STONE SIZE	
SEIVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 IN	100
6 IN	84 - 100
3 IN	69 - 83
1 IN	42 - 55
NO. 4	8 - 12

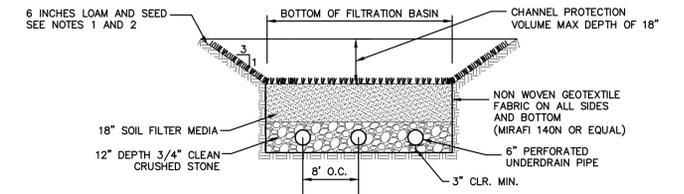
LEVEL LIP SPREADER SCHEDULE		
I.D.	LIP ELEV.	REQUIRED LENGTH
LLS-1	139.5	20 L.F.
LLS-2	149.5	20 L.F.

STONE BERMED - LEVEL LIP SPREADER  
NOT TO SCALE



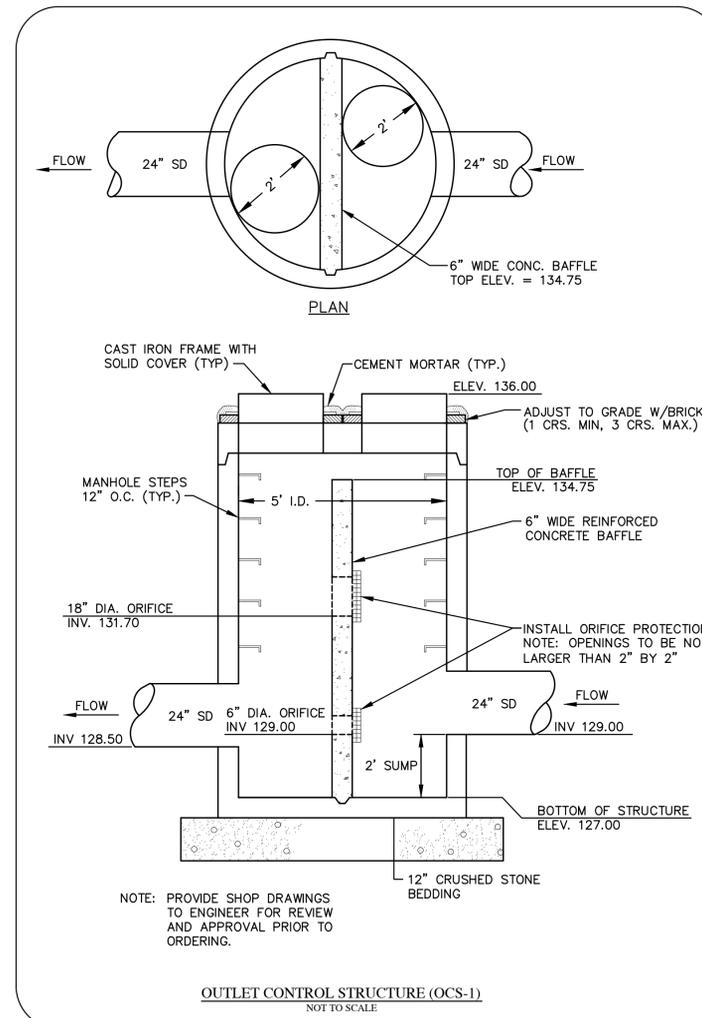
- NOTES:**
- SEED MIX SHALL BE A PREMIUM WATERWAY MIX: 35% CREEPING RED FESCUE, 20% RED TOP GRASS, 20% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS, 5% ALSIKE CLOVER. SEEDING RATE SHALL BE 5-LBS./1,000 SQ. FT.
  - TILL FIRST THREE INCHES OF LOAM INTO NATIVE SOIL.
  - MINIMIZE USE OF HEAVY EQUIPMENT IN INFILTRATION AREAS
  - WHERE INFILTRATION AREA WILL BE CONSTRUCTED IN DISTURBED AREAS, USE ON SITE SOIL TO BACK FILL TO FINAL GRADE WITHOUT COMPACTION.
  - PROTECT INFILTRATION AREAS FROM SEDIMENT DEPOSITION DURING CONSTRUCTION AND WORK IN ADJACENT AREAS.
  - REMOVE ANY SEDIMENT FROM INFILTRATION AREAS PRIOR TO FINAL GRADING AND SEEDING.

INFILTRATION BASIN  
NOT TO SCALE



- NOTE:**
- SEED MIX SHALL BE A PREMIUM WATERWAY MIX: 35% CREEPING RED FESCUE, 20% RED TOP GRASS, 20% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS, 5% ALSIKE CLOVER. SEEDING RATE SHALL BE 5-LBS./1,000 SQ. FT.
  - TILL FIRST THREE INCHES OF LOAM INTO NATIVE SOIL.
  - SOIL FILTER: GRAVELLY COARSE SAND MIXED WITH 20-30% BY VOLUME OF WOOD FIBER MULCH. IF SUPERHUMUS IS USED THEN THE RATIO NEEDS TO BE EQUIVALENT TO 2 PARTS-ONE PART BY VOLUME. THE COMBINED MIXTURE MUST HAVE NO MORE THAN 10% FINES PASSING THE #200 SIEVE.
  - THE FILTER MEDIA SHALL BE INSTALLED ONLY AFTER ITS ASSOCIATED DRAINAGE AREA HAS BEEN FULLY STABILIZED.
  - INSTALL SEDIMENT BARRIERS BETWEEN WATER QUALITY FEATURE AREAS AND UNSTABILIZED AREAS. SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL ITS ASSOCIATED DRAINAGE AREA HAS BEEN FULLY STABILIZED.

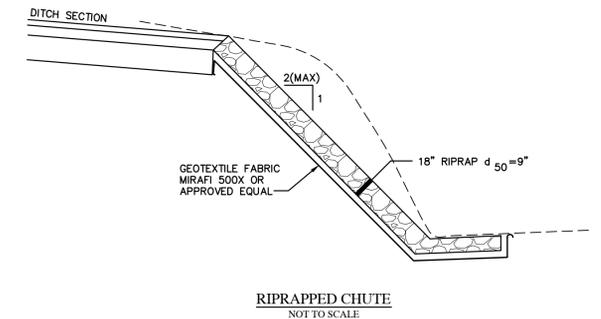
VEGETATED UNDERDRAIN GRASS FILTER DETAIL  
NOT TO SCALE



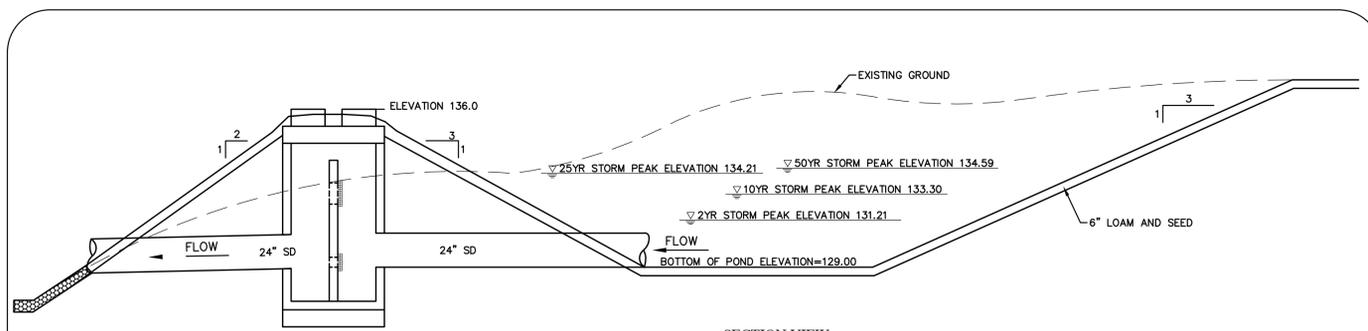
NOTE: PROVIDE SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

OUTLET CONTROL STRUCTURE (OCS-1)  
NOT TO SCALE

ALREADY CONSTRUCTED  
INCLUDED FOR REFERENCE ONLY



RIPRAPPED CHUTE  
NOT TO SCALE

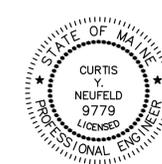


SECTION VIEW  
DETENTION BASIN CROSS SECTION A - A'  
SCALE: NOT TO SCALE

ALREADY CONSTRUCTED  
INCLUDED FOR REFERENCE ONLY

- 10-30-15 REVISED PER MDEP COMMENTS CYN
- 09-28-15 SUBMITTED TO MDEP FOR SLODA AMENDMENT CYN
- 09-15-15 SUBMITTED FOR FINAL REVIEW JMM
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PROGRESS PRINT  
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



TITLE: **STORMWATER DETAILS**

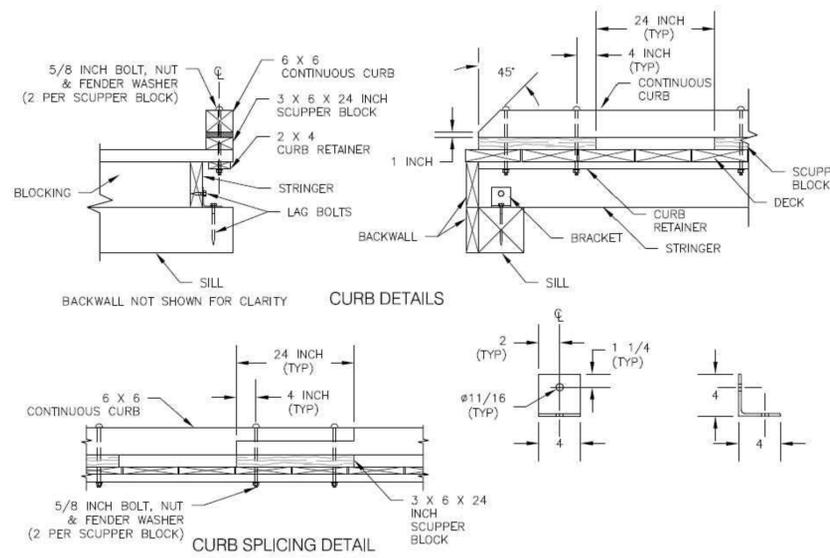
PROJECT: **SPRUCE MEADOWS SUBDIVISION  
OLD PORTLAND ROAD, BRUNSWICK, MAINE**

PREPARED FOR: **MOORE PROPERTIES, INC.  
228 OLD PORTLAND ROAD, BRUNSWICK, MAINE**

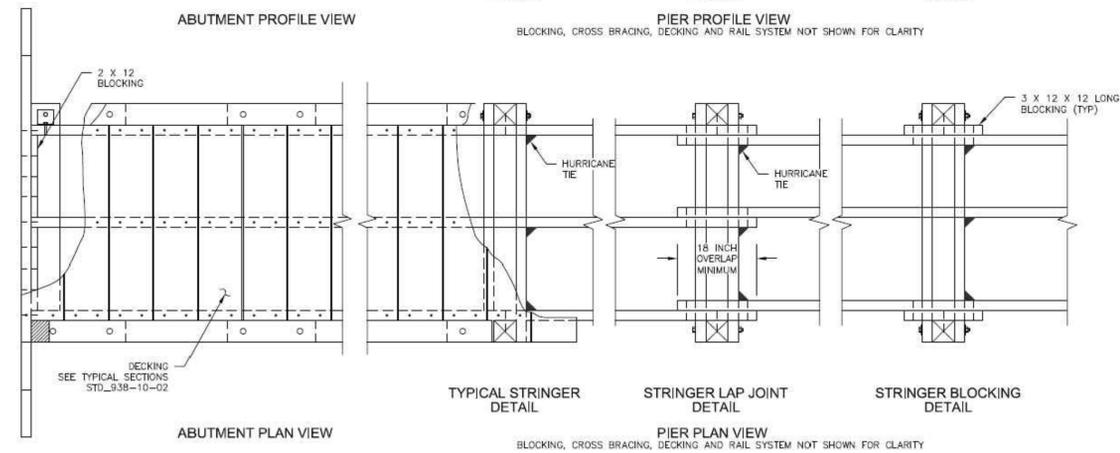
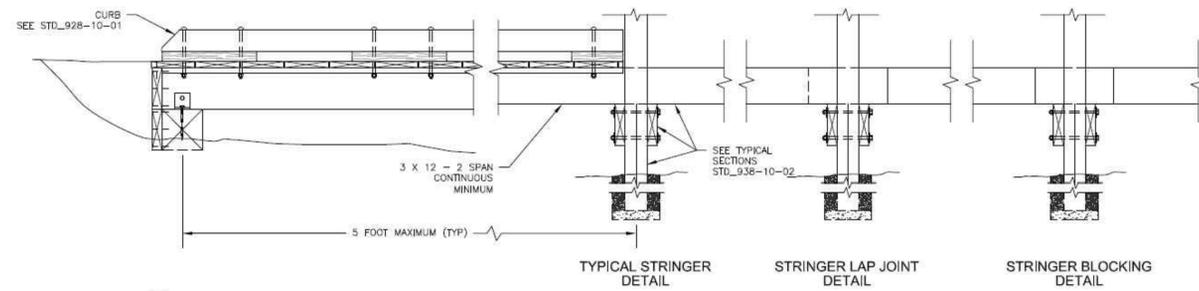
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FIELD WK: NA	SCALE: AS SHOWN	SHEET: 8
DRN BY: DAM	JOB #: 731.03	
CHD BY: CYN	MAP/PLOT: 13/34, 66-78	
DATE: 3-16-09	FILE: 731.03-COVER	

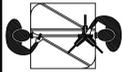
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- NOTES:
- DESIGN LOAD: 100 PSF PEDESTRIAN LOAD.
  - ALL MATERIAL TYPE SHALL BE DOUGLAS FIR OR SOUTHERN PINE NO. 2 OR BETTER AS SPECIFIED IN THE ABOVE TABLE.
  - ALL FASTENERS SHALL BE GALVANIZED.
  - FASTENERS:
    - DECKING: 60d 6 INCH RING SHANK NAILS OR DECK SCREWS 2 PER DECK STRINGER CONNECTION.
    - RAILING: NO. 10 X 4 INCH LONG WOOD SCREWS 2 PER RAIL POST CONNECTION.
    - STRINGERS & BACKWALLS: 40d 5 INCH LONG RING SHANK NAILS.
  - ALTERNATIVE FOR 7/8 BOLTS FOR HEADER BEAM IS BRACKET WITH AN ALLOWABLE LOAD OF 1100 LBS EACH SIDE.



- |             |                                       |     |
|-------------|---------------------------------------|-----|
| 4. 10-30-15 | REVISED PER MDEP COMMENTS             | CYN |
| 3. 09-28-15 | SUBMITTED TO MDEP FOR SLODA AMENDMENT | CYN |
| 2. 09-15-15 | SUBMITTED FOR FINAL REVIEW            | JJM |
| 1. 06-02-15 | SUBMITTED TO TOWN OF BRUNSWICK        | RPL |

<b>TRAIL DETAILS</b>		
PROJECT: <b>SPRUCE MEADOWS SUBDIVISION</b> OLD PORTLAND ROAD, BRUNSWICK, MAINE		
PREPARED FOR: <b>MOORE PROPERTIES, INC.</b> 228 OLD PORTLAND ROAD, BRUNSWICK, MAINE		
 <b>SITELINES, PA</b> ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com		
FIELD WK:	SCALE: AS SHOWN	SHEET:
DRN BY: DAM	JOB #: 731.03	<b>7</b>
CHD BY: CYN	MAP/PLOT:	
DATE: 3-16-09	FILE: 731.03-COVER	

