



# TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT  
85 UNION STREET, SUITE 216  
BRUNSWICK, ME 04011

ANNA M. BREINICH, FAICP  
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660  
FAX: 207-725-6663

## VILLAGE REVIEW BOARD AGENDA COUNCIL CHAMBERS, 85 UNION STREET TUESDAY, NOVEMBER 17, 2015, 7:15 PM

1. **Case # VRB 15-037 – 37 Mill Street** – The Board will discuss and take action regarding a Certificate of Appropriateness to construct a second story emergency access on the front of the structure and complete associated window alterations. (Map U14, Lot 85).
2. **Case # VRB 15-041 – 82 Pleasant Street** – The Board will discuss and take action regarding a Certificate of Appropriateness to replace existing asphalt roofing with metal roofing. (Map U15, Lot 54).
3. **Case # VRB 15-027 – 4 Franklin Street** – The Board will discuss and take action regarding a joint Certificate of Appropriateness to construct a garage and studio addition to an existing residential structure and the demolition of an attached barn. (Map U08, Lot 15).
4. **Other Business**
5. **Approval of Minutes**

### Staff Approvals:

- 137 Maine Street – Signage
- 90 Maine Street – Rear Egress
- 149 Maine Street - Signage

This agenda is being mailed to all abutters within 200 feet of the above referenced locations for Certificate of Appropriateness requests and serves as public notice for said meeting. Village Review Board meetings are open to the public. Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. This meeting is televised.

**Draft Findings of Fact  
37 Mill Street  
Certificate of Appropriateness for Structural Alteration  
Village Review Board  
Review Date: November 17, 2015**

**Project Name:** 37 Mill Street  
**Case Number:** VRB – 15-037  
**Tax Map:** Map U14 Lot 85  
**Applicant:** Mike Anderson  
P.O. Box 96  
Topsham, ME 04086  
207-319-8808  
**Property Owner:** Parthermel Properties, LLC  
37 Mill Street  
Brunswick, ME 04011  
207-577-7496

**PROJECT SUMMARY**

The applicant is proposing construction of a second story egress on the Mill Street side of the corner commercial structure in order to be in compliance with the NFPA 101 Life Safety Code, The new doorway and stairway will provide individual egress as is required for each tenant and cannot be located elsewhere in the structure due to the interior room configuration. First floor windows located adjacent to the proposed exterior stairway will be removed in accordance with code requirements.

The property is located in the Town Center 1 (TC1) District and Village Review Overlay Zone and is considered a contributing resource. Although built as a cape in 1795, the structure was significantly altered in the late 1980's with the additions of full dormers to accommodate the expansion of commercial office space. It should also be noted that Mill Street was not within the Village Review Zone at that time.

**216.9 Review Standards**

**A. General Standard.**

- 1. All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance. In meeting the standards of this Ordinance the applicant may obtain additional guidance from the U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings and the Village Review Zone Design Guidelines.**  
*As described in the application, the proposed second floor egress located on the side of the structure facing Mill Street is necessary to be in compliance with the NFPA 101 Life Safety Code. In order to maintain visual compatibility with the structure, the door will match existing exterior doors in style and color. The stairway, platform and railing will be built with pressure treated wood and should be painted to match siding and trim colors of the structure.*

**B. New Construction, Additions and Alterations to Existing Structures.**

**1. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:**

- a. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource.** *The proposed second floor egress is designed to complement the contributing resource through the use of similar exterior materials. The required removal of windows will be less noticeable due to the location of the stairway.*
- b. Alterations shall remain visually compatible with the existing streetscape.** *This area of Mill Street is very eclectic and lacks a uniform "streetscape." The proposed stairway and window removal will not significantly alter compatibility with the existing streetscape.*
- c. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions. No distinctive features are being concealed.**
- d. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources.** *The platform, stairway and railings are compatible in scale and design to the structure and are of the least size required to meet code requirements.*
- e. When constructing additions, the applicant shall maintain the structural integrity of existing structures.** *The structural integrity of the existing structure will not be affected by the addition of the exterior stairway and second floor doorway, as well as the removal of the windows. Specific construction drawings will be reviewed and approved as part of the building permit process.*
- f. For new construction of or additions to commercial, multi-family and other non-residential uses the following additional standards shall apply:**
  - 1) Parking lots shall be prohibited in side and front yards, except if the application involves the renovation of existing structures where such a configuration currently exists. In cases where such parking configurations exist, the parking area shall be screened from the public right-of-way with landscaping or fencing. No changes to the existing parking lot are proposed.**
  - 2) Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way. Pedestrian access and connections to the existing parking lot are not indicated and details regarding such should be provided as a condition of approval.**
  - 3) All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way and shall be screened from public view. Not applicable.**
  - 4) Roof-top-mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited. Not applicable.**
  - 5) Building Materials:**
    - a) The use of cinder-block, concrete and concrete block is**

prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation. *None of these materials are proposed for use.*

b) The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited. *Not applicable.*

c) Buildings with advertising icon images built into their design ("trademark buildings") are prohibited. *Not applicable.*

- 6) No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry. *Not applicable.*
- 7) No building on Maine Street shall have more than 15 feet horizontally of windowless wall. *Not applicable.*
- 8) All new buildings and additions on Maine Street:
  - a. Must be built to the front property line. This may be waived if at least 60% of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.
  - b. If adding more than 50% new floor area to a structure, the addition shall be at least two stories high and not less than 20 feet tall at the front property line.
  - c. The first floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50% glass. Upper floors shall have a higher percentage of solid wall, between 15% and 40% glass. *Subsections a., b. and c. above are not applicable.*
- 9) Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources. *Not applicable.*

**C. Signs**

Signs shall comply with the requirements of Chapter 6 (Sign Regulations) with consideration given to the Village Review Zone Design Guidelines. *No additional signs are proposed.*

**37 MILL STREET  
REQUEST FOR CERTIFICATE OF APPROPRIATENESS FOR STRUCTURAL  
ALTERATIONS  
VILLAGE REVIEW BOARD  
REVIEW DATE: NOVEMBER 17, 2015**

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the Certificate of Appropriateness for structural alterations associated with the provision of a second story egress at 37 Mill Street with the following conditions:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
  2. That prior to the issuance of a Certificate of Appropriateness, detailed information be provided to staff for review and approval providing for a pedestrian connection between the proposed stairway and existing parking lot.

Received: 9/17/15  
By: AS

VRB Case #: 15-037

**VILLAGE REVIEW BOARD  
CERTIFICATE OF APPROPRIATENESS  
APPLICATION**

1. Project Applicant:

Name: Mike Anderson  
Address: P.O. Box 96  
Topsham, ME 04086  
Phone Number: 314-8808

2. Project Property Owner:

Name: Parthermal Properties LLC.  
Address: 37 Mill St.  
Brunswick ME 04011  
Phone Number: 577-7176

3. Authorized Representative: (If Different Than Applicant)

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

4. Physical Location of Property Being Affected:

Address: 37 Mill St.

5. Tax Assessor's Map # 414 Lot # 85 of subject property.

6. Underlying Zoning District TCL

7. Describe the Location and Nature of the Proposed Change, including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change. (use separate sheet if necessary):

Refer See Attached.

Applicant's  
Signature



**VILLAGE REVIEW BOARD  
APPLICATION FOR CERTIFICATE OF COMPLIANCE  
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. In order to ensure the timely processing of your application, please be sure that ALL materials are submitted. The process does not begin until your application is considered complete. For assistance please contact the Department of Planning and Development.

1. Completed application form.
2. A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review and submitted by the applicant.
3. A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Proposed materials and textures shall be described, including samples where appropriate. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
4. Photographs of the building(s) involved.
5. A site plan showing the relationship of proposed changes to walks, driveways, signs, lighting, landscaping and adjacent properties. *condition of approval*
6. A site plan which shows the relationship of the changes to its surroundings. *condition of approval*

This application was Certified as being complete on 11/5/15 (date) by AMB of the Department of Planning and Development.

**THIS APPLICATION WAS:**

- Granted**
- Granted With Conditions**
- Denied**
- Forwarded to Village Review Board**
- Building Permit Required**
- Building Permit NOT Required**

Applicable Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Anna M. Greenleaf  
Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

**Notice: This form is to be completed by the Codes Enforcement Officer and filed with the application.**

This is to certify that the application for Certificate of Appropriateness submitted by M. Anderson, relating to property designated on Assessors Tax Map #014 as Lot # 85 has been reviewed by the Codes Enforcement Officer and has been found to be in compliance with all applicable zoning standards:

Comments: Building Permit Required

Signed:   
Date: 11/13/15

HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 37 Mill  
 County City/Town Street Address and Number  
 historic: 1795 residence of Charles Bisbee, watchmaker,  
 Name of Building/site: silversmith  
 Common and/or Historic



1979 photo L. Eorysenko

Approximate Date: 1795 Style: post-Colonial Cape

Type of Structure:

Residential  Commercial  Industrial  Other:

Condition:  Good  Fair  Poor

Endangered:  No  Yes

Surveyor: J. Goff Organization: Pejenscot Regional Survey Date:

Rating: National Register significance?

Historic Significance to the Community: Grouping w/ 39, 41 and 43 Mill pre-dates Federal St. & Lincoln Street historic districts.  
 Bisbee's watch & clock-making shop stood on the north side of Mill St. had a picturesque mechanical trade sign--see reverse.

(For Additional Information - Use Reverse Side)

Maps: 1871 = Hon. C.J. Gilman/  
 1910 #37 = Gilman Est.

1910 Directory: J.A. Bernier, Groceries & Provisions,  
 Bath, Me. , 37 Mill  
 1917 Directory: #37 = Charles Jacques

Deeds: 28:341 John Dunlap to Charles Bisbee, silversmith 13r4L x 6r deep parcel, on 4r road west of house built by Joshua Coombs \$50. 10/28/1795  
 42:168 CB to E.M. Brown land adjacent to "said Bisbee's house" 6/21/1803  
 91:219 CB to Winslow Stapel 1/4 acre w/ bldgs. east=Thos. Pool; west=formerly owned & occupied by E. Brown 2/28/1821  
 103:210 WS quitclaims back to CB "of the state of India formerly of said Brunswick" w/ bldgs 10/18/1825  
 (Bisbee selling or Gilman purchasing can not be located, but eastern border references for #39 describe this property as "occupied by Rev. Edward Ballard owned by Alice M. Gilman" in 1866, "formerly Charles Bisbee" in 1831--see 337:473, 126:497.)

Newspaper: Brunswick Record 8/8/1929 p.11: "Charles Bisbee, a watchmaker, who built in 1795, the 10 room story and a half cottage in which he lived."

1853 account of 1802: "Mr. Bisbee, a watch and clock maker, lived next to Mr. Pool; his shop was opposite his house; his sign was a carved figure of a horse with a black boy upon it, with a whip in his hand; when the hour was to be given, he would strike the horse, which would kick at the bell with his heels--a curious piece of mechanism."

1899 account of 1819: "n. side Mill the jewelery store of a Mr. Quimby. Quimby had a sign which attracted much attention, it was a clock on the front of his shop with a miniature negro riding a horse. When it was time to strike the hour, the negro would strike the horse with his whip and the horse would kick the bell the number of times, if it was in the twelve hours of the day or night."

In same acct. 37 Mill St. is occupied by Elder Staples

## Julie Erdman

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**From:** Mike Anderson <mikeagh07@gmail.com>  
**Sent:** Thursday, November 05, 2015 12:51 PM  
**To:** Julie Erdman  
**Subject:** 37 mill overview

Hello Village review board,

This is an overview of the ideas and choices made for the proposed second story egress. We, (the owner and I ) have been working with the state fire marshal and local code regarding placement and reasoning.

The decision to go out through the front (street side) was due to the fire marshal code. This is a point of egress in a commercial building and it has to have access at all times (cannot be behind a locked door). Since the building is used as an office space for individuals, and taking into consideration how the structure itself is built, there are not a lot of other options.

This is the least intrusive option that will not compromise the structure of the building.

Here is a recap of some of the other decisions that have been made:

- The door that was chosen matches the others on the building and would be painted black.
- The platform, stairs, and railings will all be built with pressure treated lumber. They can be painted in the spring if necessary.
- One window, possibly two, would need to be removed due to fire marshal code (cannot have the stairs passing a window) If there were a fire in that room, it would prevent the egress from being used.
- Shrubs and plants will be removed to make room for the stairs.
- The platform is limited due to
  1. Power lines
  2. First floor Windows
- Door placement is limited due to the structure and where the main loads are in the roof line.

This area was chosen as the best option given the stipulations mentioned above.

If you have any questions, please feel free to contact me

Thank you.

Mike Anderson  
[319-8808](tel:319-8808)  
[Mike@andersongreenhomes.com](mailto:Mike@andersongreenhomes.com)

Google Maps Brunswick, Maine



Image capture: Aug 2009 © 2015 Google

Street View - Aug 2009

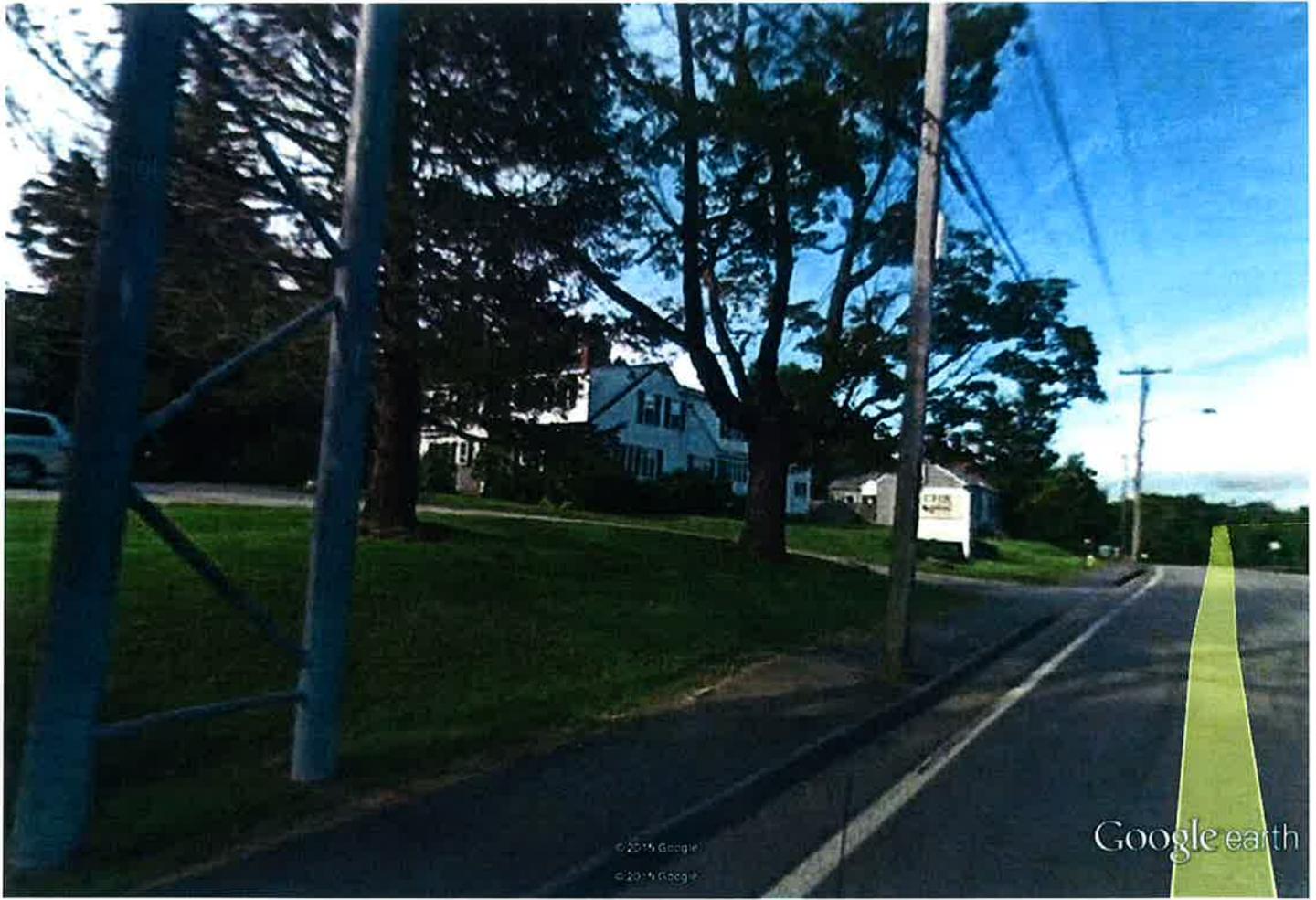




Google earth



from Mill St



Google earth



From Mill St



changing window to A Door

Removing This window  
Per fire marshal

possibly might have  
to make this one  
smaller do to  
stair placement





# etails



## Steel I

### About

This e  
featur  
variou  
featur  
Therm  
deter  
on en

## Door

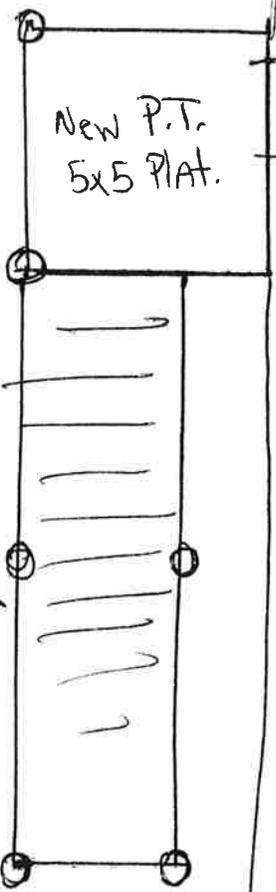
Half Li  
Style I

TS262-



ur home and family with Therma-Tru's  
ed Traditions steel door.

je doors without glass come with an  
20-minute fire rating. All doors are



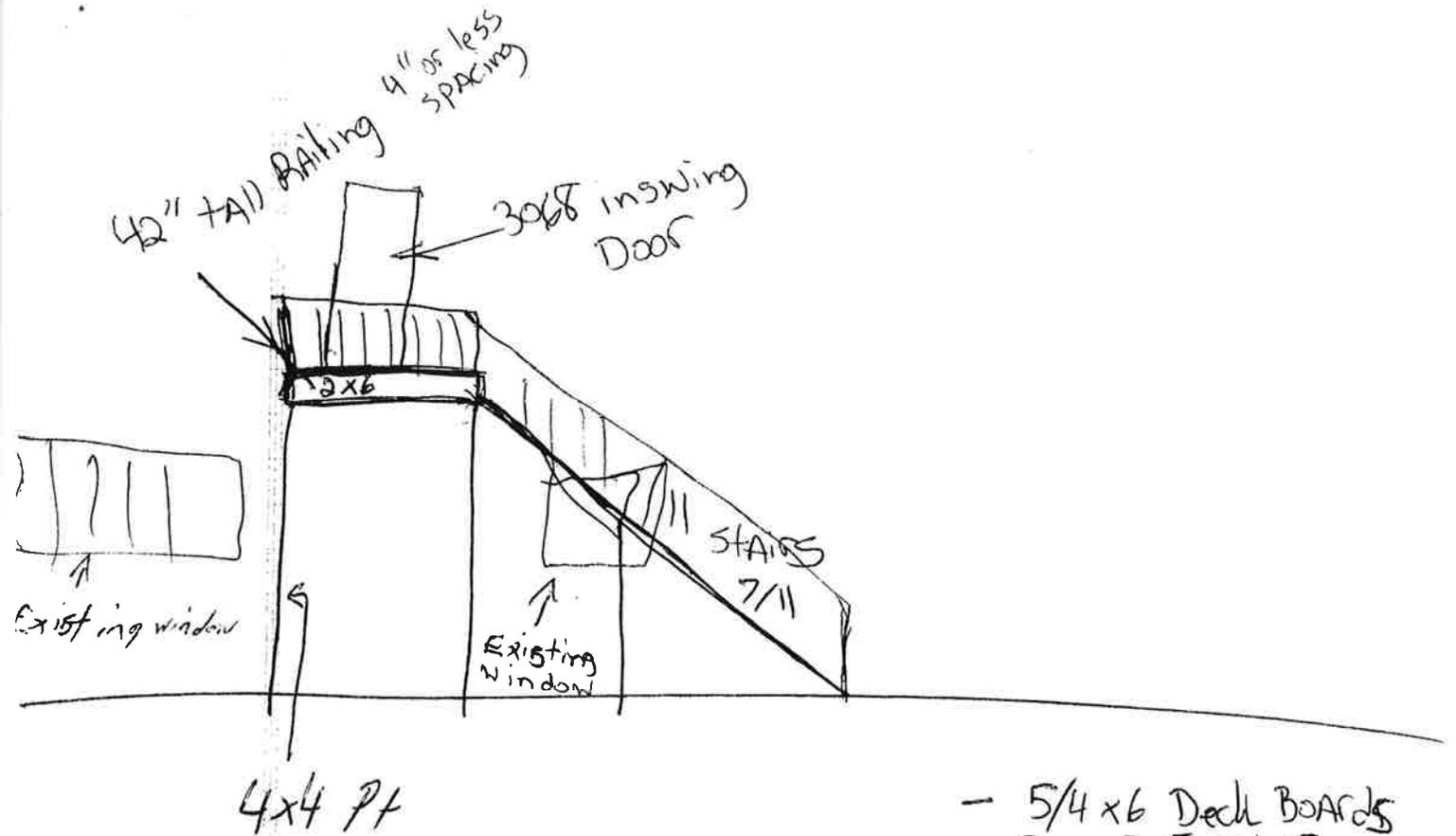
New P.T.  
5x5 Plat.

← Removing window  
Adding 3068 Inswing Door

Existing

Stairs to  
The Ground  
7" Rise  
11" Run

Concrete Post (6)  
4' in the Ground



- 5/4 x 6 Deck Boards  
for 5x5 Platform  
And Stair Treads

- 4x4 Post on to concrete  
Post that are 4' min. in  
Ground

- 2x6 Platform Framing

- 2x2 Stair stringers  
- 2x4 And 2x2 Railing system  
4" or less spacing And  
42" tall

Platform secured to Building  
with 3/8 GRK structural screws

Removing An Existing window  
Replacing with a 3068 inswing  
Door.

Placing 6 concrete Piers  
for Platform and stair support.

Building a 5' x 5' Pressure Treated  
Platform with 4x4 Post to the  
concrete Piers.

42" Tall Railing system Built  
with 2x4 And 2x2 Pressure Treated.  
All Decking And Treads will be  
5/4 x 6 Deck Boards

Deck Ledger will be secured  
to existing Building with  
3/8 x 4" or 6" GRK structural screws

**Draft Findings of Fact  
82 Pleasant Street  
Request for Certificate of Appropriateness for Structural Alteration  
Village Review Board  
Review Date: November 17, 2015**

**Project Name:** Roofing Material Replacement

**Case Number:** VRB -15-041

**Tax Map:** Map U15, Lot 54

**Applicant/Property**

**Owner:** David C. Gleason  
82 Pleasant Street  
Brunswick, ME 04011  
207-725-8522

**PROJECT SUMMARY**

The applicant/property owner of 82 Pleasant Street (Coldwell Banker office building) submitted an application for a Certificate of Appropriateness to completely replace the existing asphalt shingles from the building and replace with an 24-gauge steel metal roof, publically visible from all sides of the brick structure. The property owner has provided a color sample of the metal roofing material, which will be patina green; similar in color to what is present on the Curtis Memorial Library building. The Board is required to review the alteration as the roofing material differs from what presently exists and is visible from the street. No structural changes are proposed.

The property is located in the Town Residential 1 (TR1) Zoning District and Village Review Overlay Zone. A copy of the Pejepscot Historic Site Survey is included with the application noting historical characteristics of this Village Review Zone contributing resource.

The following draft Findings of Fact for a Certificate of Appropriateness is based upon review standards as stated in Section 216.9 of the Brunswick Zoning Ordinance.

**216.9 Review Standards**

**A. General Standard.**

- 1. All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance. In meeting the standards of this Ordinance the applicant may obtain additional guidance from the U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings and the Village Review Zone Design Guidelines. *As requested, the existing asphalt shingled roof is proposed to be replaced with a patina green 24-gauge steel metal roof. As stated in the Village Review Zone Design Guidelines, metal and asphalt shingles are the predominant roofing materials in Brunswick. No changes are proposed to the roof style. Color samples and product description have been provided for review purposes and are attached.***

**B. New Construction, Additions and Alterations to Existing Structures.**

1. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:
  - a. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource. *The existing shingle roofing materials will be removed and replaced with metal. No changes to the roof style are proposed.*
  - b. Alterations shall remain visually compatible with the existing streetscape. *As stated above, the patina green color metal roofing material is similar to that which is present on Curtis Memorial Library and other larger non-residential structures on Pleasant Street. Roof style will remain as is.*
  - c. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions. *Not applicable. No structural changes to the roof style are proposed.*
  - d. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources. *Not applicable.*
  - e. When constructing additions, the applicant shall maintain the structural integrity of existing structures. *Not applicable.*
  - f. For new construction of or additions to commercial, multi-family and other non-residential uses the following additional standards shall apply:
    - 1) Parking lots shall be prohibited in side and front yards, except if the application involves the renovation of existing structures where such a configuration currently exists. In cases where such parking configurations exist, the parking area shall be screened from the public right-of-way with landscaping or fencing. *Not applicable.*
    - 2) Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way. *Not applicable.*
    - 3) All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way and shall be screened from public view. *Not applicable.*
    - 4) Roof-top-mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited. *Not applicable.*
    - 5) Building Materials:
      - a) The use of cinder-block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation. *Not applicable.*
      - b) The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited. *Metal roofing is considered to be an acceptable and prevalent material in Brunswick.*
      - c) Buildings with advertising icon images built into their design ("trademark buildings") are prohibited. *Not applicable.*
    - 6) No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry. *Not applicable.*
    - 7) No building on Maine Street shall have more than 15 feet horizontally of windowless wall. *Not applicable.*

- 8) **All new buildings and additions on Maine Street:**
- a) **Must be built to the front property line. This may be waived if at least 60% of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.**
  - b) **If adding more than 50% new floor area to a structure, the addition shall be at least two stories high and not less than 20 feet tall at the front property line.**
  - c) **The first floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50% glass. Upper floors shall have a higher percentage of solid wall, between 15% and 40% glass. Subsections a., b. and c. above are not applicable.**
- 9) **Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources. *Not applicable.***

**C. Signs**

**Signs shall comply with the requirements of Chapter 6 (Sign Regulations) with consideration given to the Village Review Zone Design Guidelines. *No additional signs are proposed.***

**Draft Motions  
82 Pleasant Street  
Request for Certificate of Appropriateness for Structural Alteration  
Village Review Board  
Review Date: November 17, 2015**

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the Certificate of Appropriateness for the replacement of an asphalt shingled roof with a metal roof at 82 Pleasant Street with the following condition:
- 1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.

Received: 10/27/15  
By: JAE

VRB Case #: 15-041

**VILLAGE REVIEW BOARD  
CERTIFICATE OF APPROPRIATENESS  
APPLICATION**

1. Project Applicant:

Name: David C. Gleason  
Address: 82 Pleasant St.  
Brunswick, Me. 04011  
Phone Number: 725-8522

2. Project Property Owner:

Name: Same  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

3. Authorized Representative: (If Different Than Applicant)

Name: Same  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

4. Physical Location of Property Being Affected:

Address: 82 Pleasant St.

5. Tax Assessor's Map # U-15 Lot # 54 of subject property.

6. Underlying Zoning District TR1

7. Describe the Location and Nature of the Proposed Change, including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change. (use separate sheet if necessary):

Replace Asphalt shingles with new  
24 gauge steel metal roofing. Light  
green - same color as the Brunswick Library.

Applicant's  
Signature

David C. Gleason

**VILLAGE REVIEW BOARD  
APPLICATION FOR CERTIFICATE OF COMPLIANCE  
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. In order to ensure the timely processing of your application, please be sure that ALL materials are submitted. The process does not begin until your application is considered complete. For assistance please contact the Department of Planning and Development.

1. Completed application form.
2. A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review and submitted by the applicant.
3. A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Proposed materials and textures shall be described, including samples where appropriate. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
4. Photographs of the building(s) involved.
5. A site plan showing the relationship of proposed changes to walks, driveways, signs, lighting, landscaping and adjacent properties.
6. A site plan which shows the relationship of the changes to its surroundings.

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This application was Certified as being complete on 11/5/15 (date) by AMC  
of the Department of Planning and Development.

**THIS APPLICATION WAS:**

- Granted**
- Granted With Conditions**
- Denied**
- Forwarded to Village Review Board**
- Building Permit Required**
- Building Permit NOT Required**

Applicable Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Anna H. Greinich  
Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

**Notice: This form is to be completed by the Codes Enforcement Officer and filed with the application.**

This is to certify that the application for Certificate of Appropriateness submitted by D. Gleason, relating to property designated on Assessors Tax Map # U15 as Lot # 54 has been reviewed by the Codes Enforcement Officer and has been found to be in compliance with all applicable zoning standards:

Comments: NO PERMITS REQUIRED

Signed:   
Date: 11/12/15

**HISTORIC PRESERVATION SURVEY**

013-54 ✓

Cumberland Brunswick 82-86 Pleasant  
 .....  
 County City/Town Street Address and Number  
 Name of Building/site: historic: Pleasant St. School, House  
 common: American Red Cross  
 Common and/or Historic



1979 photo by L. Borysenko

Approximate Date: 1885 Style: Richardsonian Romanesque

Type of Structure:

Residential  Commercial  Industrial  Other: charitable

Condition:  Good  Fair  Poor

Endangered:  No  Yes

Surveyor: J. Goff Organization: Pejepscot Regional Survey Date:

Rating:

Historic Significance to the Community: Architects: Daniel Appleton, H.M. Stephenson,

J.H. Morse, Boston ("the latter a Brunswick boy.") Contractor: Thos. W. Given

Bldg. known as the "Pleasant St. Primary School" before 1958, Nellie Ricker School  
 1961-1977 (see directories) Additional Information - Use Reverse Side

82-86 PLEASANT

Title:

Map:

Newspaper: Telegraph 7/31/1885 p.2: "Young Junius Morse is at work on the plans for the new school house, to be erected on Pleasant street over Powder house hill. Some preliminary sketches have already been received and examined by the Building Committee."

Telegraph 8/28/1885 p.2: "The building is to be of one story, with a sort of French roof, 71 by 27 feet to contain two school-rooms and one recitation room...the admission of light...will enter windows, and fall upon the backs and left shoulders of the pupils... brick... Boston Architects Dan'l Appleton, H. M. Stephenson and J.H. Morse, the latter a Brunswick boy."

Telegraph 11/20/1885 p. 2: "Schoolhouse...cellar wall...Messrs. Egerly & Cobb will lay the wall, and Mr. Z.H. Noyes of Topsham will furnish the stone."

#86

Directories: 1917-1958 = Pleasant St. Primary School  
 1961-1977 = Nellie Ricker School

#82

1977-1979 = American Red Cross

#84

1977-1979 = Brunswick Welfare Dept.

Lewiston Evening Journal Magazine 6/16/1973 "Pleasant Street School...Thomas W. Given was the contractor"

*Added Note 10/3/83 - Plans owned by Town of Brunswick - signed Daniel Appleton, H.M. Stephenson (+ J.H. Morse) architect 10 Cumberland St*

MHPC USE ONLY

INVENTORY NO.

## MAINE HISTORIC PRESERVATION COMMISSION Historic Building/Structure Survey Form

1. PROPERTY NAME (HISTORIC): Pleasant Street School House

2. PROPERTY NAME (OTHER): American Red Cross

3. STREET ADDRESS: 82-86 Pleasant Street

4. TOWN: Brunswick

5. COUNTY: Cumberland

6. DATE RECORDED: May 2001

7. SURVEYOR: Turk Tracey & Larry, Architects, LLC.

8. OWNER NAME: David & Deborah K. Gleason

ADDRESS: 82-86 Pleasant Street, Brunswick, Me 04011

9. PRIMARY USE (PRESENT):

- |   |                                       |  |                                      |
|---|---------------------------------------|--|--------------------------------------|
| <input type="checkbox"/> SINGLE FAMILY      | <input type="checkbox"/> AGRICULTURE  | <input checked="" type="checkbox"/> COMMERCIAL/TRADE | <input type="checkbox"/> FUNERARY    |
| <input type="checkbox"/> MULTI-FAMILY       | <input type="checkbox"/> GOVERNMENTAL | <input type="checkbox"/> EDUCATION                   | <input type="checkbox"/> HEALTH CARE |
| <input type="checkbox"/> INDUSTRY           | <input type="checkbox"/> RELIGIOUS    | <input type="checkbox"/> HOTEL                       | <input type="checkbox"/> LANDSCAPE   |
| <input type="checkbox"/> TRANSPORTATION     | <input type="checkbox"/> DEFENSE      | <input type="checkbox"/> SUMMER COTTAGE/CAMP         | <input type="checkbox"/> SOCIAL      |
| <input type="checkbox"/> RECREATION/CULTURE | <input type="checkbox"/> UNKNOWN      |  |                                      |
| <input type="checkbox"/> OTHER _____        |                                       |  |                                      |

10. CONDITION:  GOOD  FAIR  POOR  DESTROYED, DATE    /    /   

### ARCHITECTURAL DATA

11. PRIMARY STYLISTIC CATEGORY:

- |   |   |   |  |
|---|---|---|--|
| <input type="checkbox"/> COLONIAL       | <input type="checkbox"/> STICK STYLE              | <input type="checkbox"/> NEO-CLASSICAL REV.   | <input type="checkbox"/> FOUR SQUARE   |
| <input type="checkbox"/> FEDERAL        | <input type="checkbox"/> QUEEN ANNE               | <input type="checkbox"/> RENAISSANCE REV.     | <input type="checkbox"/> ART DECO      |
| <input type="checkbox"/> GREEK REVIVAL  | <input type="checkbox"/> SHINGLE STYLE            | <input type="checkbox"/> 19TH/20TH C. REVIVAL | <input type="checkbox"/> INTERNATIONAL |
| <input type="checkbox"/> GOTHIC REVIVAL | <input checked="" type="checkbox"/> R. ROMANESQUE | <input type="checkbox"/> ARTS & CRAFTS        | <input type="checkbox"/> RANCH         |
| <input type="checkbox"/> ITALIANATE     | <input type="checkbox"/> ROMANESQUE               | <input type="checkbox"/> BUNGALOW             | <input type="checkbox"/> VERNACULAR    |
| <input type="checkbox"/> SECOND EMPIRE  | <input type="checkbox"/> HIGH VIC. GOTHIC         | OTHER _____                                   |  |

12. OTHER STYLISTIC CATEGORY:

- |   |   |   |  |
|---|---|---|--|
| <input type="checkbox"/> COLONIAL       | <input type="checkbox"/> STICK STYLE      | <input type="checkbox"/> NEO-CLASSICAL REV.   | <input type="checkbox"/> FOUR SQUARE   |
| <input type="checkbox"/> FEDERAL        | <input type="checkbox"/> QUEEN ANNE       | <input type="checkbox"/> RENAISSANCE REV.     | <input type="checkbox"/> ART DECO      |
| <input type="checkbox"/> GREEK REVIVAL  | <input type="checkbox"/> SHINGLE STYLE    | <input type="checkbox"/> 19TH/20TH C. REVIVAL | <input type="checkbox"/> INTERNATIONAL |
| <input type="checkbox"/> GOTHIC REVIVAL | <input type="checkbox"/> R. ROMANESQUE    | <input type="checkbox"/> ARTS & CRAFTS        | <input type="checkbox"/> RANCH         |
| <input type="checkbox"/> ITALIANATE     | <input type="checkbox"/> ROMANESQUE       | <input type="checkbox"/> BUNGALOW             | <input type="checkbox"/> VERNACULAR    |
| <input type="checkbox"/> SECOND EMPIRE  | <input type="checkbox"/> HIGH VIC. GOTHIC | OTHER _____                                   |  |

13. HEIGHT:

- 1 STORY     1 1/2 STORY     2 STORY     2 1/2 STORY     3 STORY     4 STORY  
 5 STORY     OVER 5 ( )

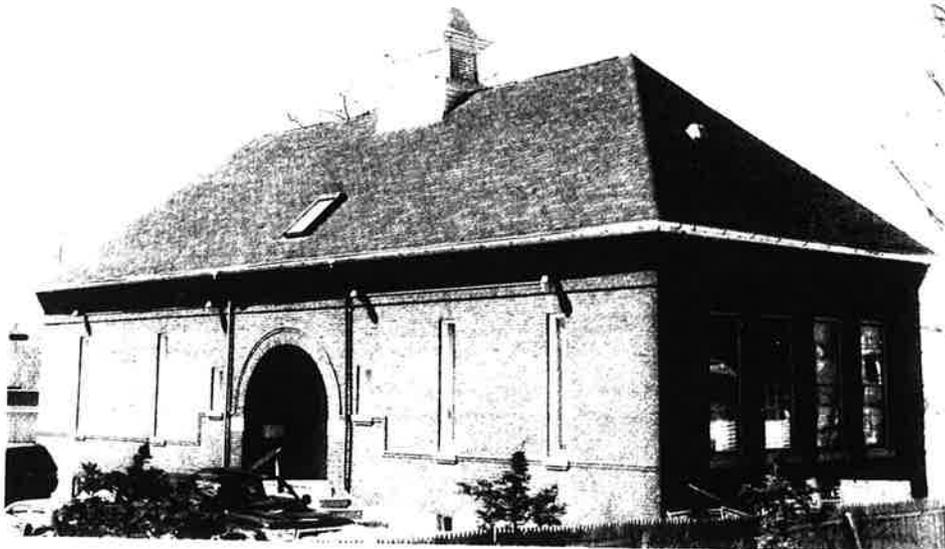
14. PRIMARY FACADE WIDTH (MAIN BLOCK; USE GROUND FLOOR):

- 1 BAY     2 BAY     3 BAY     4 BAY     5 BAY     MORE THAN 5 ( )

15. APPENDAGES:

- SIDE ELL     REAR ELL     FRONT     ADDED STORIES  
 DORMERS     PORCH     TOWER     CUPOLA     SHED  
 BAY WINDOW

### PHOTOGRAPH:



16. PORCH:  ATTACHED  FULL WIDTH  ENGAGED  WRAPAROUND  ONE STORY  SLEEPING PORCH  MORE THAN ONE STORY  SECONDARY PORCH
17. PLAN:  HALL AND PARLOR  BACK HALL  1/2 CAPE  IRREGULAR  CENTRAL HALL  OTHER \_\_\_\_\_  SIDE HALL
18. PRIMARY STRUCTURAL SYSTEM:  TIMBER FRAME  CONCRETE  FRAME CONSTRUCTION - TYPE UNKNOWN  BRACED FRAME  STEEL  BRICK  LOG  OTHER \_\_\_\_\_  STONE  PLANK WALL  BALLOON FRAME  PLATFORM FRAME
19. CHIMNEY PLACEMENT:  INTERIOR  INTERIOR FRONT/REAR  CENTER  INTERIOR END  EXTERIOR  
OTHER \_\_\_\_\_
20. ROOF CONFIGURATION:  GABLE SIDE  GAMBREL  COMPOUND  GABLE FRONT  PARAPET GABLE  OTHER \_\_\_\_\_  HIP  SHED  MANSARD  CROSS  FLAT  GABLE
21. ROOF MATERIAL: WOOD \_\_\_\_\_ METAL \_\_\_\_\_ TILE \_\_\_\_\_ SLATE \_\_\_\_\_ ASPHALT  ASBESTOS \_\_\_\_\_
22. EXTERIOR WALL MATERIALS:  CLAPBOARD  LOG  GRANITE  OTHER \_\_\_\_\_  BRICK  PRESSED METAL  ASBESTOS  FLUSH SHEATHING  CONCRETE  TERRA COTTA  WOOD SHINGLE  STUCCO  BOARD AND BATTEN  STONE  ASPHALT  ALUMINUM/VINYL
23. FOUNDATION MATERIAL:  FIELDSTONE  BRICK  WOOD  CONCRETE  GRANITE  ORNAMENTAL CONC. BLOCK  
OTHER \_\_\_\_\_
24. OUTBUILDINGS/FEATURES:  CARRIAGE HOUSE  BARN (DETACHED)  GARAGE  FENCE OR WALL  FORMAL GARDEN  OTHER \_\_\_\_\_  CEMETERY  LANDSCAPE/PLANT MAT.  BARN (CONNECTED)  ARCHAEOLOGICAL SITE

## HISTORICAL DATA

25. DOCUMENTED DATE OF CONSTRUCTION: 1885 26. ESTIMATED DATE OF CONSTRUCTION:
27. DATE MAJOR ADDITIONS/ALTERATIONS:
28. ARCHITECT: Daniel Appleton, H.M. Stephenson, J.H. Morse 29. CONTRACTOR: Thos. W. Given
30. ORIGINAL OWNER: Town of Brunswick
31. SUBSEQUENT SIGNIFICANT OWNER: \_\_\_\_\_ DATES:
32. CULTURAL/ETHNIC AFFILIATION:  ENGLISH  EAST EUROPEAN  FRENCH ACADIAN  IRISH  NATIVE AMERICAN  OTHER \_\_\_\_\_  SCOTTISH  FRENCH CANADIAN
33. HISTORIC CONTEXT(S):  COMMERCE  RELIGION  ART, LIT, SCIENCE  INDUSTRY  CIVIC AFFAIRS  SOCIAL  TRANSPORTATION  RECREATION  AGRICULTURE  HABITATION  MILITARY  EDUCATION

### 34. COMMENTS/SOURCES:

A well preserved Richardsonian Romanesque school building that was used continually as a school for over ninety years. In addition, the building has undergone minimal changes since it was last used as a school house in 1977.

"Young Junius Morse is at work on the plans for the new school house to be erected on Pleasant Street over Powder House Hill." *Telegraph*, July 7, 1885.

"The building is to be of one-story... 71 by 27 feet to contain two school-rooms and one recitation rooms." *Telegraph*, August 28, 1885.

1980 - Pejepscot Historical Survey. 82-86 Pleasant Street was surveyed in 1979 by J. Goff and L. Borysenko.

Unpublished manuscripts, reproduced clippings, and newspaper clippings in the Subject files of the Pejepscot Historical Society.

Brunswick *Directories*. N.p., 1871- 1979.

2000 Assessors Database, Town of Brunswick.

35. HISTORICAL DRAWINGS EXIST:  YES  NO LOCATION:

## ENVIRONMENTAL DATA

36. SITE INTEGRITY:  ORIGINAL  MOVED DATE MOVED \_\_\_\_\_
37. SETTING:  RURAL/UNDISTURBED  RURAL/BUILT UP  SMALL TOWN  URBAN  SUBURBAN
38. QUADRANGLE MAP USED: \_\_\_\_\_ QUADRANGLE #:
39. UTM NORTHING: \_\_\_\_\_ 40. UTM EASTING: \_\_\_\_\_
41. FACADE DIRECTION (CIRCLE ONE):  N  S  E  W  NE  NW  SE  SW

=====

MHPC USE ONLY

DATE ENTERED IN INVENTORY: \_\_\_\_\_ PHOTO FILE #: \_\_\_\_\_

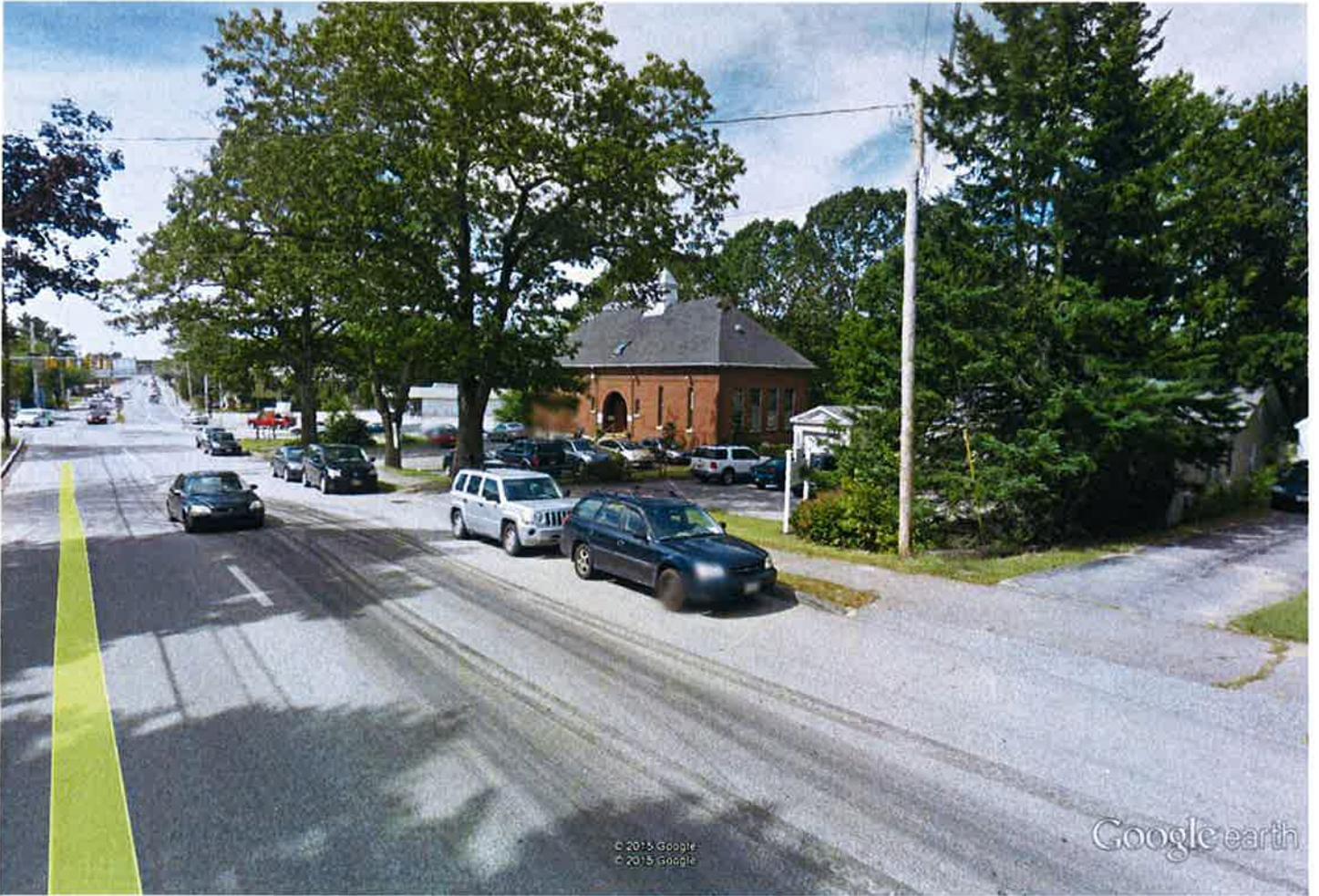
NR STATUS: L \_\_\_\_\_ HD \_\_\_\_\_ E \_\_\_\_\_ NE \_\_\_\_\_ ND \_\_\_\_\_ REVIEWER \_\_\_\_\_

DATA SOURCE:  HPF  CLG  R&C  STAFF  STATE SURVEY  OTHER \_\_\_\_\_ LEVEL OF SURVEY:  R  I

FORM K:\KIRK\ARCH-SVY.FRM\HBSSFSVY.MAS



82-86 Pleasant Street  
Map U15-54



Google earth





Google earth

feet 10  
meters 3





Google earth





Google earth

feet 10  
meters 3



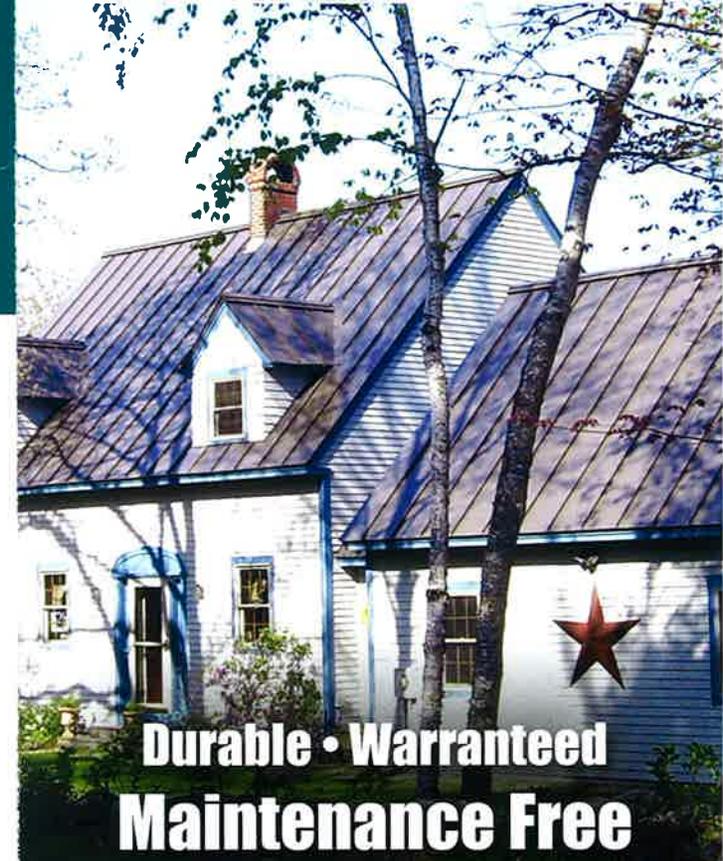
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**HOLGERSON INC.**

**Standing Seam Metal Roofing**

*Serving Maine for over thirty years*



**Durable • Warranted  
Maintenance Free**



**Our metal roofs grace new construction and vintage homes. For every structure from contemporary designs to rustic log homes, Standing Seam Metal Roofs are as practical and durable as they are handsome.**

**Holgerson installed standing seam metal roofing lasts much longer than any conventional material. Our roofs are virtually maintenance free and are backed by a manufacturer warranty against peeling, blistering, chalking and color change.**

We will be happy to provide you with the names of some of our customers in your area who will gladly provide references. Just give us a call.



**HOLGERSON INC.**  
**Standing Seam Metal Roofing**

205 Camden Road  
Appleton, Maine 04862

**1-800-439-8469**

207-236-6224 • 207-594-2346

207-338-2111 • 207-772-ROOF

Fax: 207-236-7195

[www.metalroofingholgerson.com](http://www.metalroofingholgerson.com)





# WHY

**Why choose a metal roof? Because it...**

- lasts much longer than shingle roofs, is competitively priced, and an affordable investment.
- will not burn or support combustion, resulting in lower insurance rates.
- reflects the sun, keeping the interior cooler in summer.
- does not absorb moisture and won't chip.
- is light weight; about one-third the load of shingles.
- is as quiet as shingles—about 30 decibels.
- is more wind resistant than conventional materials.
- is less susceptible to lightning strikes than other roofing.



# WHAT

**What metal roofs materials are available?**

- We install 26-gauge residential and 24-gauge commercial roofs of copper, painted steel and painted aluminum. Bare Galvalume, Astonwood, and Stonecrest metal shingles are also available.
- Metal roofs are typically made from as much as fifty percent recycled material.
- We offer standing seam roofs in dozens of colors.

**Call us for a free estimate**

**1-800-439-8469**



# HOW

**How are metal roofs installed?**

- Roofing material is attached to the roof deck with cleats. Cleats are nailed to the existing surface and are then rolled into the standing seam, hiding the cleats under the surface. Very few surface fasteners are required to install a normal standing seam roof.
- Metal roofs can usually be applied over existing roofing, eliminating the need for costly stripping labor and disposal fees.
- Metal roofs can be installed on roof pitches as low as 2-12.
- We can supply and install ridge vents with your new metal roof.





## Trinar® Paint System Color Guide



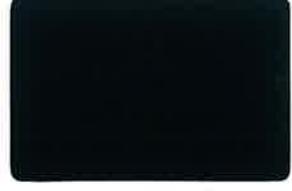
Dark Gray



Burgundy



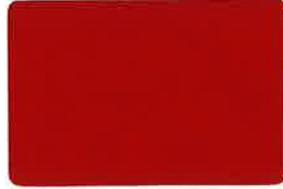
Slate Blue



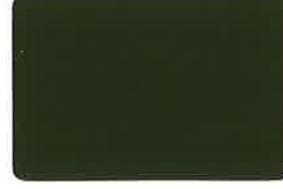
Matte Black



Gallery Blue



Regal Red



Burnished Slate



Dark Bronze



Slate Gray



Sierra Tan



Colonial Red



Hartford Green



Mansard Brown



Charcoal



Forest Green



Stone White



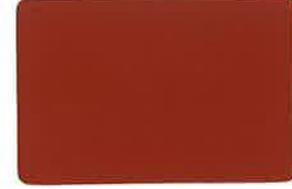
Patina Green



Bone White



Sandstone



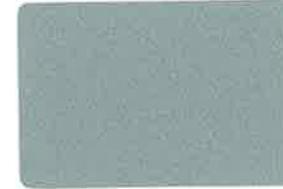
Terra Cotta



Cityscape



Metallic Copper



Metallic Silver



Metallic Champagne

PLEASE NOTE: The colors listed on this color chart are as close to the actual painted metal as possible. Actual color swatches are available upon request.



205 Camden Rd.  
 Appleton, ME 04862  
 207-236-6224

STEEL				
Finish	24 Gauge	26 Gauge	Energy Star®	LEED® Compliant
Bone White	•		•	•
Burgundy	•	•	•	
Burnished Slate	•	•	•	•
Charcoal	•	•	•	
Colonial Red	•	•	•	•
Dark Bronze	•	•	•	•
Dark Gray	•		•	•
Forest Green	•	•	•	•
Gallery Blue	•	•	•	•
Hartford Green	•	•	•	•
Mansard Brown	•	•	•	•
Matte Black	•	•	•	
Patina Green	•	•	•	•
Regal Red	•	•	•	•
Sandstone	•	•	•	•
Sierra Tan	•		•	•
Slate Blue	•	•	•	•
Slate Gray	•	•	•	•
Stone White	•		•	•
Terra Cotta	•		•	•
Cityscape	•	•	•	•
Metallic Silver	•		•	•
Metallic Champagne	•		•	•
Metallic Copper	•		•	•
Galvalume® AZ55 Acrylic Coated	•	•		

**Holgerson installed standing seam metal roofing lasts much longer than any conventional material. Our roofs are virtually maintenance free and are backed by a manufacturer warranty against peeling, blistering, chalking and color change.**

**Our metal roofs grace new construction and vintage homes. For every structure from contemporary designs to rustic log homes, Standing Seam Metal Roofs are as practical and durable as they are handsome.**

**Draft Findings of Fact  
4 Franklin Street  
Request for Certificates of Appropriateness for Demolition and Structural Alterations/Additions  
Village Review Board  
Review Date: November 13, 2015**

**Project Name:** 4 Franklin Street  
**Case Number:** VRB -15-027  
**Tax Map:** Map U8, Lot 15  
**Applicant/  
Property Owner:** Ruth Nies  
4 Franklin Street  
Brunswick, ME 04011  
207-721-8985

**Authorized  
Representative:** David Matero Architecture  
100 Front Street, Suite 40  
Bath, ME 04530  
207-671-6820

**PROJECT SUMMARY**

The applicant is requesting Certificates of Appropriateness to 1) Demolish a shed attached to the rear wall of the main structure; and 2) Construct a 2-story attached garage on the west side of the main structure and replacement of all windows. The property owner is proposing the renovations in order to "age in place" and live in her house as long as she is physically able to do so. An oversized one-car garage is proposed to allow a minimum 5 feet on unrestricted, wheelchair maneuverability on at least one side of the vehicle. Photos of existing conditions, replacement designs, and details regarding proposed materials are provided in the application packet.

A setback variance for a single-family dwelling is being requested by the applicant in order to construct the garage partially within the required 15' side yard setback for the Town Residential 2 Zoning District. The side lot lines are the only angled lot lines within the block with the dwelling located parallel to the street. The request will be heard by the Zoning Board of Appeals on December 3rd. Approval of the Certification of Appropriateness for structural additions/alterations will be conditioned upon the approval of the variance by the Zoning Board of Appeals.

The early 1800's Greek Revival cape is located at 4 Franklin Street, in the Town Residential 2 (TR2) Zoning District and is a contributing resource within the Village Review Overlay Zone.

The following draft Findings of Fact for a Certificate of Appropriateness is based upon review standards as stated in Section 216.9 of the Brunswick Zoning Ordinance.

**216.9 Review Standards**

**A. General Standard.**

- 1. All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance. In meeting the standards of this Ordinance the applicant may obtain additional guidance from the U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings and the Village Review Zone Design Guidelines. *Per the submitted application, the proposed renovations are consistent with the Village Review Zone Design Guidelines and are in keeping with***

*the original architectural elements of the structure. The oversized garage is proposed to allow for the applicant/owner to remain in her home as long as physically possible and is designed to complement the existing structure. Materials are noted on sheets A2.1 and A2.2 contained in the application, and include asphalt roof shingling to match existing, clapboard siding of matching color, 2 over 2 clad wood windows with simulated lites to match existing trim, board trim and detail to match existing, and a garage door similar in style to Haas "American Tradition," with all details illustrated on the application attached proposed elevations. The rear shed proposed for demolition was moved from another location and attached to the house. As noted by a contractor, it is questionable whether the shed structure can be salvaged at a reasonable cost to the owner.*

## **B. New Construction, Additions and Alterations to Existing Structures.**

- 1. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:**
  - a. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource.** *The 2-story garage complements the original architecture of the dwelling and its design complements the historic integrity of the contributing resource. It appears to be in proportion to the main structure and its placement allows for the retention of a side entry to the house and set of three windows. It's offset location also aides in the safe maneuvering of a vehicle in and out of the garage. The garage door is similar in design to hinged doors generally found on a carriage house. Existing windows are a mix of 2 and 6 divided lites. New replacement windows to be used throughout will be matching 2 over 2 in style.*
  - b. Alterations shall remain visually compatible with the existing streetscape.** *As stated above, the addition and window replacements will complement the historic integrity of the structure and remain visually compatible with the existing streetscape. Through the offset location of the garage, the dwelling will remain the principal structure visually from streetview.*
  - c. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions.** *As proposed, no distinctive historic and architectural character-defining features will be affected by the proposed alterations.*
  - d. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources.** *The proposed 2-story attached garage is visually compatible in mass and scale, with matching construction materials.*
  - e. When constructing additions, the applicant shall maintain the structural integrity of existing structures.** *The two-story garage will be structurally integrated physically and visually into the north and west elevations of the dwelling.*
  - f. For new construction of or additions to commercial, multi-family and other non-residential uses the following additional standards shall apply:**
    - 1) Parking lots shall be prohibited in side and front yards, except if the application involves the renovation of existing structures where such a configuration currently exists. In cases where such parking configurations exist, the parking area shall be screened from the public right-of-way with landscaping or fencing.** *Not applicable.*
    - 2) Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way.** *Not applicable.*
    - 3) All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way and shall be screened from public view.** *Not applicable.*
    - 4) Roof-top-mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited.** *Not applicable.*

**5) Building Materials:**

- a) The use of cinder-block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation. *Not applicable.*
  - b) The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited. *Not applicable.*
  - c) Buildings with advertising icon images built into their design ("trademark buildings") are prohibited. *Not applicable.*
- 6) No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry. *Not applicable.***
- 7) No building on Maine Street shall have more than 15 feet horizontally of windowless wall. *Not applicable.***
- 8) All new buildings and additions on Maine Street:**
- a) Must be built to the front property line. This may be waived if at least 60% of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.
  - b) If adding more than 50% new floor area to a structure, the addition shall be at least two stories high and not less than 20 feet tall at the front property line.
  - c) The first floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50% glass. Upper floors shall have a higher percentage of solid wall, between 15% and 40% glass. *Subsections a., b. and c. above are not applicable.*
- 9) Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources. *Not applicable.***

**C. Signs**

Signs shall comply with the requirements of Chapter 6 (Sign Regulations) with consideration given to the Village Review Zone Design Guidelines. *Not applicable.*

**D. Demolition and Relocation**

1. Demolition or partial demolition or relocation of a contributing or, if visible from a public right-of-way, a noncontributing resource, excluding incidental or noncontributing accessory buildings and structures located on the same property, shall be prohibited unless the application satisfies at least one of the following criteria.

Ordinance criteria are satisfied as follows:

- a. The structure poses an imminent threat to public health or safety. *As evidenced by photos provided, the structure does not appear to pose an imminent threat to public health or safety.*
- b. The condition of the structure is such that it cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, resulting in a reasonable economic return, regardless of whether that return represents the most profitable return possible, provided that the applicant can document he/she has not contributed significantly to the deterioration of the structure. An opinion shall be provided from an architect, licensed engineer, developer, real estate consultant or appraiser or from a professional experienced in historic rehabilitation, as to the economic feasibility for restoration, renovation, or rehabilitation of the contributing resource versus demolition or relocation of same. *As stated in the Letter of Condition provided by a contractor and contained in the application, the attached shed structure itself is in very poor condition and sits on a loose laid rubble foundation. The letter further states that it is questionable whether the structure can be salvaged without unreasonable work and cost. Photo documentation is provided of existing conditions. Age*

*of the shed structure is unknown.*

- c. The proposed replacement structure or reuse of the property is deemed to be as appropriate and compatible with the existing streetscape and surrounding contributing resources.** *Presently, the shed structure is primarily empty. With its removal, the owner will be able to meet impervious coverage restrictions in order to build the two-story garage addition. Its removal will also improve access to sunlight in that part of the house. As the shed is located to the rear of the property, its demolition will not affect the existing streetscape.*
- 2. Demolition, partial demolition or relocation of a noncontributing resource visible from a public right-of-way, shall be approved by the Village Review Board if it is determined that the proposed replacement structure or reuse of the property is deemed more appropriate and compatible with the surrounding contributing resources than the resource proposed for demolition.** *Not applicable.*

**Draft Motions  
4 Franklin Street  
Request for Certificates of Appropriateness for  
Demolition and Structural Alternations/Additions  
Village Review Board  
Review Date: November 17, 2015**

**Motion 1:** That the Certificates of Appropriateness application is deemed complete.

- Motion 2:** That the Board approves two Certificates of Appropriateness for the: 1) Demolition of the rear attached shed structure at 4 Franklin Street; and 2) Construction of a 2-story attached garage on the west side of the structure and replacement of all windows with the following conditions:
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
  2. That the construction of the 2-story attached garage, as located on the site plan contained in the application, is conditioned on the granting of a setback variance for a single-family dwelling by the Brunswick Zoning Board of Appeals.

# David Matero | Architecture

November 3, 2015

Anna Breinich  
Director of Planning and Development  
28 Federal Street  
Brunswick, ME 04011

**RE: 4 Franklin Street, Brunswick  
Village Review Board**

Dear Ms Breinich,

Please accept this package for review by the Brunswick Village Review Board and a Certificate of Appropriateness application.

The project involves an extensive interior renovation that will create a first floor master bedroom suite and modified living spaces, the construction of an attached garage and second floor studio, and the removal of an old storage shed currently connected to the rear of the house.

It is the owner's desire to age-in-place requiring a first floor master bedroom suite, and modified living spaces. Additional factors leading to this renovation is the fact that the owner is suffering from disabilities that will require the need of an attached garage and assist the owner in being able to live in this house for as long as possible.

Due to the nature of the existing site and site constraints, the only acceptable location for this garage addition is to the west of the house and towards the rear of the lot. The difference in grade from Franklin Street to the first floor level of the house is about 15 inches. The drive will be able to slope up to the garage, and the garage can be attached to the house with a code compliant staircase (the only one in the house) to assist caretakers.

Although no ADA standards exist for residential garages according to Jill Johanning, Architect with Access Design / Alpha One in Maine, there are standards established by the Department of Veteran Affairs for garages in wheelchair accessible homes. A single-car garage must have a minimum width of 14 feet 6 inches and minimum length of 24 feet. This will allow a minimum of 5 feet unrestricted, wheelchair maneuverability on at least one side of the vehicle.

The design of the garage is to relate to the existing house. A similar proportion of roof pitches, windows, and trim is being used. As part of this construction, new windows are being proposed throughout the entire house so that all the windows will be the same. Currently there are 2 over 2 and 6 over 6 windows scattered around the house with exterior storms. All windows being proposed shall be clad wood windows, 2 over 2, with simulated divided lites and interior/exterior muntins. Additionally, this will allow the removal of exterior storm windows. Windows will be similar to Marvin Integrity Wood Ultrex or Pella 350 series windows.

The roof material of the garage (asphalt shingles) will match the existing roof. The siding, painted cedar clapboards, will match the existing profile of the house. The trim, painted Boral, an environmental friendly and long lasting wood-like product, will be used as the painted trim, with profiles to match the house.

There are two important facades of this house that are visible from Franklin Street, the north and west facades. The north façade is enhanced by turning the roof of the garage opposite the house, and adding a lower connected roof to break up the mass. The west elevation adds dormers on the garage roof to help blend the designs of new and old together.

At some point during the history of this house an old shed was moved and attached the southern end of the house. The rubble foundation and condition of the barn is in serious deterioration and is unrepairable without considerable expense.



View of east side of house from the street, barn is behind the main house



View of rubble foundation in poor shape



Undersized roof framing



Dirt floor very close to subfloor



Various framing and sheathing materials

The owner's contractor has followed up with a letter outlining his opinion of the condition of the shed, see attached.

One major benefit to the owner is that by removing the shed, south facing windows can be added to the house to bring south-facing light into the living spaces, as well as bringing back this façade to its original design.

Attached, please find a VRB application, a check in the amount of \$50, a historic preservation survey card from the Pejepscot Historical Society, and a package of drawings outlining our proposal.

Thank you,

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Matero', with a horizontal line extending to the right from the end of the signature.

David Matero, AIA, LEED AP  
Principal  
david@davidmatero.com  
207.671.6820

Received: \_\_\_\_\_  
By: \_\_\_\_\_

VRB Case #: \_\_\_\_\_

**VILLAGE REVIEW BOARD  
CERTIFICATE OF APPROPRIATENESS  
APPLICATION**

1. Project Applicant:

Name: Ruth Nies  
Address: 4 Franklin Street  
Brunswick, ME  
Phone Number: 207-721-8985

2. Project Property Owner:

Name: Same  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

3. Authorized Representative: (If Different Than Applicant)

Name: David Matero Architecture  
Address: 100 Front Street, Suite 40  
Bath, ME 04530  
Phone Number: 207-671-6820

4. Physical Location of Property Being Affected:

Address: 4 Franklin Street

5. Tax Assessor's Map # U08 Lot # 15 of subject property.

6. Underlying Zoning District TR2

7. Describe the Location and Nature of the Proposed Change, including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change. (use separate sheet if necessary): Refer to cover letter

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Applicant's  
Signature \_\_\_\_\_



**VILLAGE REVIEW BOARD  
APPLICATION FOR CERTIFICATE OF COMPLIANCE  
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. In order to ensure the timely processing of your application, please be sure that ALL materials are submitted. The process does not begin until your application is considered complete. For assistance please contact the Department of Planning and Development.

1. Completed application form.
2. A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review and submitted by the applicant.
3. A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Proposed materials and textures shall be described, including samples where appropriate. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
4. Photographs of the building(s) involved.
5. A site plan showing the relationship of proposed changes to walks, driveways, signs, lighting, landscaping and adjacent properties.
6. A site plan which shows the relationship of the changes to its surroundings.

---

This application was Certified as being complete on 11/6/15 (date) by AMS of the Department of Planning and Development.

**THIS APPLICATION WAS:**

- Granted**
- Granted With Conditions**
- Denied**
- Forwarded to Village Review Board**
- Building Permit Required**
- Building Permit NOT Required**

Applicable Comments: Needs approved of setback variance for a single family dwelling by Board of zoning Appeals

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Anna M. Sevinich  
Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

**Notice: This form is to be completed by the Codes Enforcement Officer and filed with the application.**

This is to certify that the application for Certificate of Appropriateness submitted by Ruth Nies, relating to property designated on Assessors Tax Map # 408 as Lot # 15 has been reviewed by the Codes Enforcement Officer and has been found to be in compliance with all applicable zoning standards:

Comments: Dimensional Variance of Building Permit required

Signed: 

Date: 12/13/15

# HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 4 Franklin  
 County City/Town Street Address and Number  
 Name of Building/site: Historic: btwn. 1836-1844 Methodist Parsonage  
 Common and/or Historic



Approximate Date: 1836-1844 Style: Greek Revival Cape

Type of Structure:

Residential  Commercial  Industrial  Other: .....

Condition:  Good  Fair  Poor

Endangered:  No  Yes .....

Surveyor: J. GOFF/J. SKILLINGS Organization: PEJEPSCOT REGIONAL SURVEY Date: .....

Rating: .....

Historic Significance to the Community: .....

4 FRANKLIN

Maps: 1871 = Mrs. Fuller  
 1910 #4 = W. S. Soule

Deeds: 158:128 W. H. Morse to Methodist Episcopal Society, w/meeting house interests, 8/30/1836  
 185:240 E. L. Bryant ( Methodist Society Trustees ) to E. Sturdevant, 1844, w/parsonage bldgs.  
 194:287 E. S. to D. Fuller, w/bldgs, 12/20/1845  
 723:249 D. F. to F. L. Melcher, 9/16/1902  
 767:64 F. L. M. to Warren S. Soule, w/bldgs 4/24/1905

Directories: 1917: Warren S. Soule, livery



**Fraser Ruwet**  
3 PENNY LANE • BRUNSWICK

**LETTER OF CONDITION**  
4 Franklin St. Barn

Fraser Ruwet  
Fraser Ruwet Contracting  
3 Penny La.  
Brunswick, Maine 04011

I have assessed the condition of the attached barn on the east ell of 4 Franklin St. The area in question is in very poor structural condition with the sills, sheathing, siding and wall framing in very poor condition. The structure also sits on a loose laid rubble foundation which needs to be re-worked. It is questionable that this area can be salvaged without unreasonable work and cost.

Fraser Ruwet

# Boral TruExterior® Siding and Trim



Current Location: 04011

[Change location](#) ?

## TRIM

Boral has created an entirely new category of reliable exterior trim with its Boral TruExterior® Trim, offering phenomenal performance, remarkable workability and a lasting look without the limitations that commonly plague other exterior trim products.

Share

[ORDER SAMPLE](#) [WHERE TO BUY](#)



### FEATURES

- Easy to handle
- Reversible with both an authentic wood grain side and a smooth side
- Easy to cut, route, drill and mill
- Resistant to rotting, cracking, splitting and virtually free from termites
- Maintains a high level of dimensional stability during periods of moisture and temperature changes
- Approved for ground contact
- Does not require end-sealing, special adhesives or other cumbersome and costly installation techniques
- Can be painted any color with exterior grade latex paint

### AVAILABILITY

### PRODUCT LITERATURE

### TECHNICAL INFORMATION



# American TRADITION SERIES

## Timeless beauty.

There are some things that never go out of style. They are timeless; they are classic. That is what Haas Door had in mind when we designed our American Tradition Series™ garage doors.

Imagine the beauty of the 1800's carriage house, the tall rooflines, warm gaslights, and the elegant handcrafted wooden doors detailed with wrought iron hardware.

At Haas Door we have taken all the elegance of the original wooden carriage house door and translated it into a beautifully wood grained embossed door. The heart of the American Tradition Series™ has 21st century materials. Combined with modern technology, you have a beautiful garage door that provides a stronger barrier to the elements than wood.

There is beauty, versatility and quality in the products we produce at Haas Door.

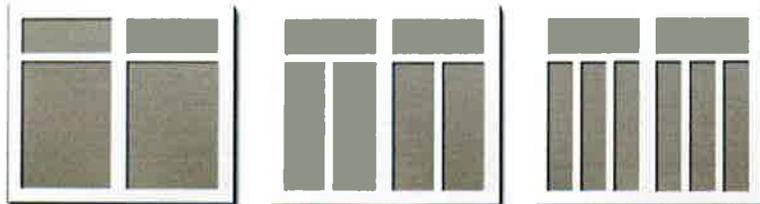


## Built to Last.

Enjoy the handcrafted quality and rich traditional carriage house style without the maintenance of wood. The American Tradition Series™ doors contain CFC free polyurethane insulation with a calculated R value of 13.45. They are available in five solid and two wood grain base colors. Overlay boards are glued and pinned to the door and are available in the five base colors, with an option to mix and match. (example: almond boards on a sandstone door) Two wood grain overlays are also available but only with matching base color. (ash on ash or mahogany on mahogany)

## Single Door Models

Models below are shown in Sandstone with White Overlays and Solid Top Sections



920 (plain top section - shown)  
930 (arched top section)

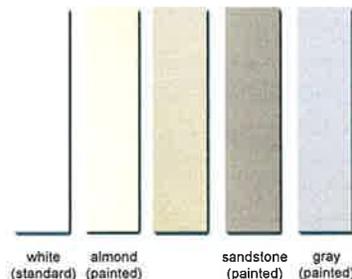
921 (plain top section - shown)  
931 (arched top section)

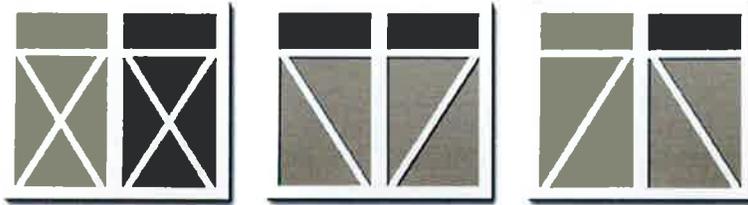
922 (plain top section - shown)  
932 (arched top section)

## Base Color Options



## Overlay Color Options





940 (plain top section - *shown*)  
950 (arched top section)  
941 (plain top section - *shown*)  
951 (arched top section)  
942 (plain top section - *shown*)  
952 (arched top section)

sahara  
tan  
(painted)

Colors are not exact due to the differences in monitors. For accurate color samples, contact a Haas Door dealer for a color selector.

### Woodgrain Options

Color Note: Woodgrain overlays are handcrafted and can vary slightly in color like real wood. Woodgrain colors are only available with matching base color. (ash on ash or mahogany on mahogany)



Mahogany



Ash

### Double Door Models

Models below are shown in a variety of color options and top section combinations.



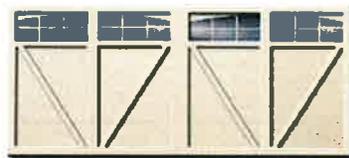
920 (plain)  
930 (arch)  
Shown:  
930 in Gray with White Overlays  
Glazed Arch 3 pane top section



940 (plain)  
950 (arch)  
Shown:  
940 in White with White Overlays  
Glazed 6 Pane top section, hinges and handles



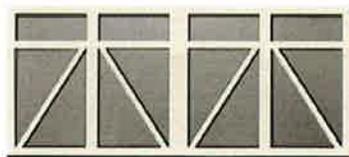
921 (plain)  
931 (arch)  
Shown:  
921 in Sandstone with Sandstone Overlays  
Glazed 3 pane top section



941 (plain)  
951 (arch)  
Shown:  
951 in Almond with Almond Overlays  
Glazed Arch 6 pane top section

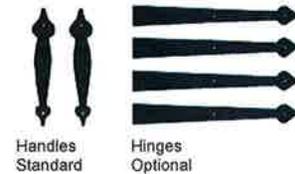


922 (plain)  
932 (arch)  
Shown:  
932 in Almond with Gray Overlays  
Solid Arch top section



942 (plain)  
952 (arch)  
Shown:  
942 in Sandstone with Almond Overlays  
Solid top section

### Decorative Hardware



Handles  
Standard

Hinges  
Optional

### Downloads

[American Traditions Brochure](#)

### Create Your Garage Door



Create the perfect garage door for your home in just a few steps, with the HaasCreate Visualizer. Simply upload a photo of your home, and

outline the location of your existing garage door. HaasCreate will help you create your new garage door, with every option in Haas Door's collection at your fingertips!

[learn more](#)

### Color Matching



Need to match your trim to your garage door?

Haas Door colors are available at Sherwin Williams

[locate a store](#)

[Click here for printable color codes to take to the store.](#)

### Top Section Design Styles

Frosted glass is available in all styles. 1/8" tempered is standard. 1/2" insulated tempered is optional



Glazed Arch 3 Pane

Glazed Arch 6 Pane

Solid Arch



Glazed 3 Pane

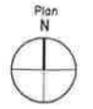
Glazed 6 Pane

Solid



David Matero  
Architecture

100 Front Street  
Suite 40  
Bath, Maine 04530  
207.671.6820  
david@davidmatero.com



Consultants

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Revisions

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Nies Residence

4 Franklin St  
Brunswick, Maine

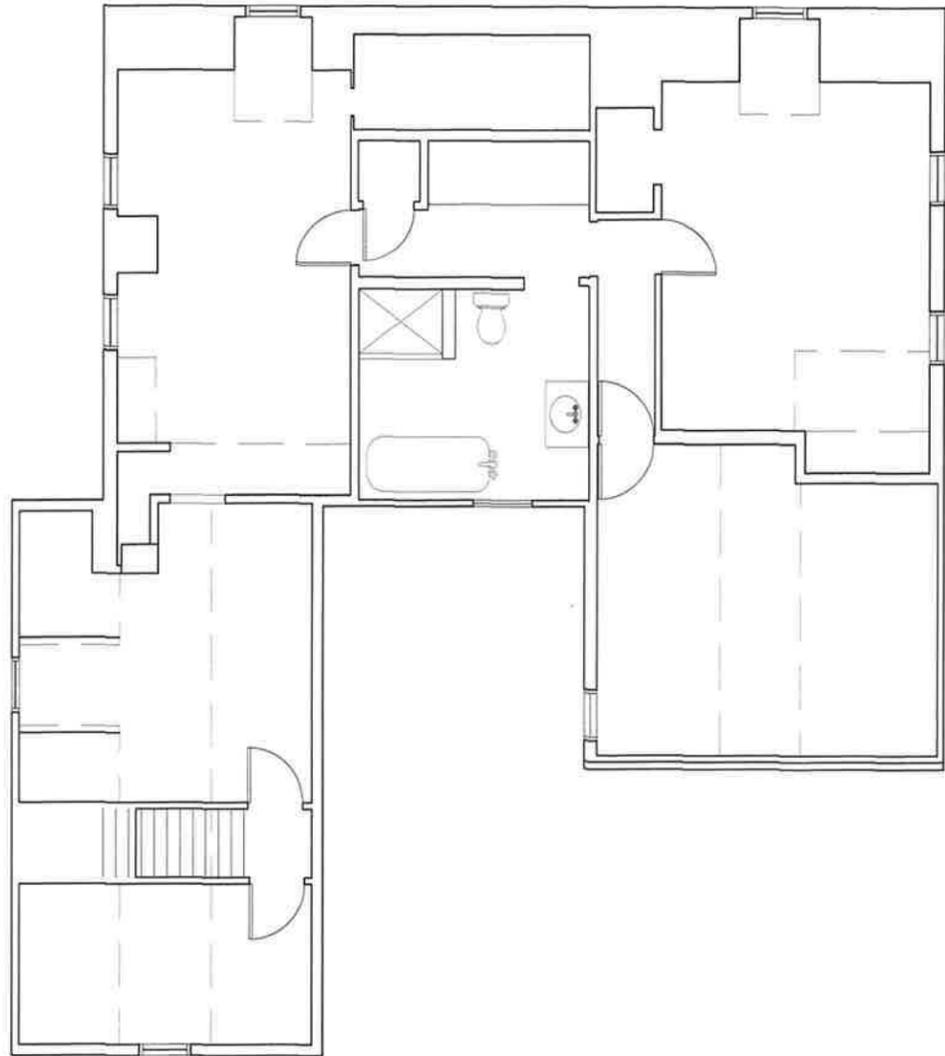


Job Number:  
Date: 11.03.15  
Scale: 1/4" = 1'-0"

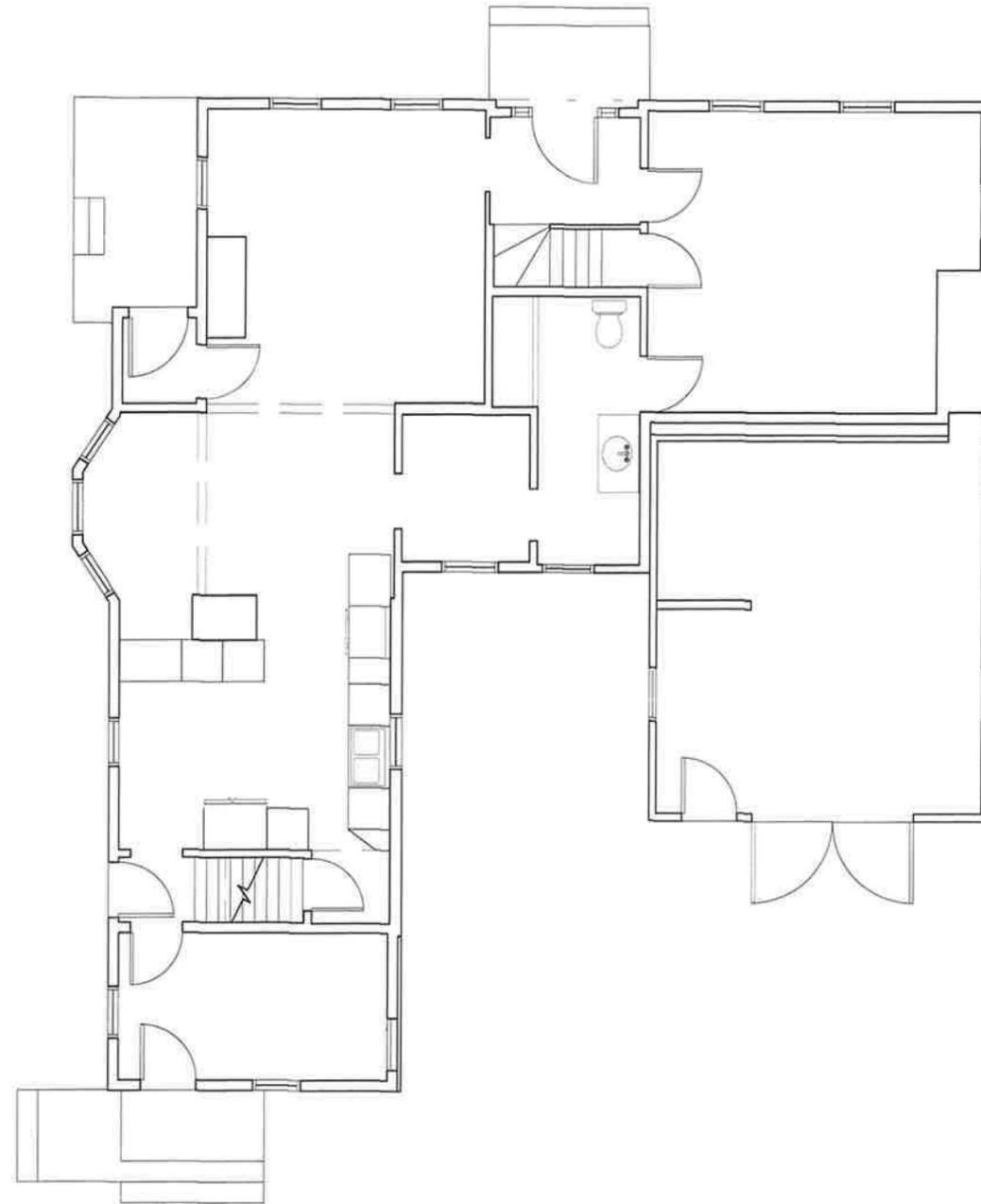
Drawing Title:

Existing Floor  
Plans

V 1



2 Existing 2nd Floor Plan  
Scale: 1/4" = 1'-0"



1 Existing First Floor Plan  
Scale: 1/4" = 1'-0"



East Facade

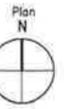


① North Facade - Franklin St



David Matero  
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100 Front Street  
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207.671.6820  
david@davidmatero.com



Consultants

•

Revisions

•

Nies Residence

4 Franklin St  
Brunswick, Maine



Job Number:  
Date: 11.03.15  
Scale: NTS

Drawing Title:

Photographs of Existing  
Residence  
and  
Neighbors

X 2



6 Neighbor - Across Franklin Street to North



7 Neighbor - Next Door on West



5 North-West Corner - Driveway



David Matero  
Architecture

100 Front Street  
Suite 40  
Bath, Maine 04530  
207.671.6820  
david@davidmatero.com

Consultants

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Revisions

.

Nies Residence

4 Franklin St  
Brunswick, Maine



Job Number:  
Date: 11.03.15  
Scale: NTS

Drawing Title:

Photographs of Existing  
Residence and  
Neighbors



**WEST PART OF METHODIST CHURCH LOT**

JAY & FRANCOISE INCHARDI BK.3101 PG.845 09-15-1969

FORMERLY EDGAR R. & CONSTANCE A. COMEE BK.1650 PG.334 09-08-1941

JOHN O. & FLORENCE MCDOWELL BK.1226 PG.413 04-05-1926

ADELBERT J. HUTCHINSON BK.863 PG.281 07-21-1910

NELLIE BOOKER BK.596 PG.195 11-21-1892

SAMUEL KNIGHT JUNIOR BK.593 PG.373 02-18-1889

TRUSTEES OF THE METHODIST SOCIETY TO DAVID W. BACON BK.341 PG.56 02-20-1866

PART OF JOHN A. DUNNING TO BENJAMIN TITCOMB, ET AL BK.116 PG.403 03-23-1829 BK.155 PG.243 08-18-1831

**EAST PART OF METHODIST CHURCH LOT**

RUTH E. NIES BK.13369 PG.127 10-07-1997

FORMERLY THOMAS M. & ANNE H. CHAISSON BK.6173 PG.281 05-09-1983

GEORGE H. & MARY ELIZABETH GLOVER BK.6137 PG.255 03-17-1983

FANNY L. SOULE BK.5045 PG.23 08-05-1932

EVA B. SOULE BK.1687 PG.437 01-03-1948 BK.1706 PG.215 08-31-1945 (THIRD PARCEL)

WARREN S. SOULE BK.787 PG.84 04-24-1905

FRANK L. MELCHER BK.723 PG.249 09-16-1902

DANIEL E. FULLER BK.489 PG.278 03-12-1878

DANIEL FULLER BK.134 PG.287 12-18-1845

TRUSTEES OF THE METHODIST SOCIETY TO EPHRAIM STURDIVANT BK.185 PG.240 02-26-1844

PART OF JOHN A. DUNNING TO BENJAMIN TITCOMB, ET AL BK.116 PG.403 03-23-1829 BK.155 PG.243 08-18-1831

**LOT 18**

JANE F. MILLET BK.12498 PG.343 05-08-1996

FORMERLY HUGH L. LEAVITT & ELIZABETH SCOTT NEWMAN BK.4617 PG.122 06-17-1980

KATHERINE M. LEAVITT, ET AL BK.3471 PG.301 10-12-1973

CHARLES W. & KATHERINE M. LEAVITT BK.2072 PG.4 12-17-1951

JOSEPH DRAPEAU BK.1078 PG.339 06-16-1921

CHARLES A. KNIGHT BK.1022 PG.304 10-30-1919

CHARLES A. & JOSEPHINE S. KNIGHT BK.934 PG.404 09-04-1896 (PART OF SIXTH PARCEL)

WILLIAM B. KNIGHT BK.315 PG.403 12-10-1862

HANNAH R. OWEN BK.291 PG.343 11-09-1859

ABNER B. THOMPSON TO JOHN CRAWFORD BK.209 PG.85 04-24-1848

PART OF JOHN A. DUNNING TO ABNER B. THOMPSON BK.136 PG.208 12-16-1933

**WEST PART OF LOT 1**

RACHEL T. BEAUPRE (FLY CALLAHAN) BK.3378 PG.122 04-02-1973

FORMERLY GERARD J. & ALINE M. MORNEAU BK.2616 PG.103 07-11-1961

JOHN T. KELLY, JR. BK.2221 PG.101 02-28-1955

CHARLOTTE C. RANDALL BK.1306 PG.477 05-08-1930

CHARLES A. RANDALL BK.1170 PG.281 08-11-1924

NELLIE D. BOOKER BK.967 PG.152 06-01-1916

WENDELL BLETHEN TO IRA P. BOOKER BK.414 PG.73 11-30-1874

PART OF ELLEN M. THOMPSON, ET AL TO WENDELL BLETHEN BK.388 PG.486 12-30-1871

**EAST PART OF LOT 1**

JEAN M. YARBROUGH & RICHARD E. MORGAN BK.30921 PG.28 06-02-2013

FORMERLY JEAN M. YARBROUGH BK.64789 PG.186 03-08-1991

JOANE TAIT BK.7757 PG.125 04-28-1987

JOHN D. & HSINI LANGLOIS BK.3861 PG.287 06-15-1976

LEWIS R. & CLARE C. GWYN BK.3414 PG.189 05-30-1873

DOUGLAS T. & PATRICIA A. SUDBURY BK.3195 PG.689 10-08-1971

DELINA J. M. JALBERT BK.2925 PG.216 02-03-1965

ZEPHERIN A. JALBERT BK.1800 PG.305 11-28-1845

CHARLOTTE D. WILSON BK.1021 PG.117 04-11-1919

JESSE D. WILSON BK.961 PG.301 12-22-1915

ELIZABETH W. & HARRIET A. PURINGTON BK.764 PG.279 30-27-1905

WESTON & HARRY F. THOMPSON BK.742 PG.208 03-24-1905

WENDELL BLETHEN TO CAROLINE LEMONT BK.433 PG.286 10-03-1876

PART OF ELLEN M. THOMPSON, ET AL TO WENDELL BLETHEN BK.388 PG.486 12-30-1871

**LOT 3**

ANN E. RUTHSDOTTIR BK.24518 PG.156 10-30-2006

FORMERLY DEBORAH J. BURNS BK.18670 PG.115 12-13-200

DEBORAH J. & ROBERT P. BURNS BK.12242 PG.85 11-30-1995

PAUL M. & KATHERINE A. OUELLETTE BK.3424 PG.10 07-03-1973

HAROLD D. & ETTA H. PAGE BK.3076 PG.525 02-24-1969

THERESA B. MULHOLLAND BK.3072 PG.53 01-08-1969

MARY BOUCHARD BK.2493 PG.366 03-04-1969

THERESA MULHOLLAND BK.2250 PG.52 03-22-1955

THERESA MUNSEY (DEWSEY)

ALGER MUNSEY BK.1282 PG.233 11-25-1927

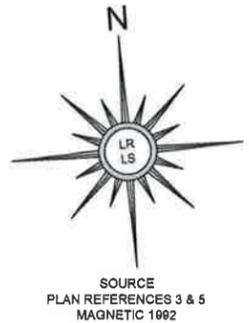
LIDA B. CHANDLER BK.1033 PG.450 10-30-1919 (FIRST PARCEL)

CHARLES A. & JOSEPHINE S. KNIGHT BK.934 PG.404 09-04-1896 (PART OF SIXTH PARCEL)

WILLIAM B. KNIGHT BK.315 PG.404 12-10-1862

**LEGEND**

- REBAR SET AND CAPPED PLS #2378
- PIPE OR ROD FOUND
- GRANITE POST OR MONUMENT FOUND
- BURIED CONCRETE POST BASE
- ROAD LINE
- PROPERTY LINE
- PROPERTY LINE - NOT SURVEYED
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ GRAVEL AREA
- ⊕ CATCH BASIN
- ⊕ UTILITY ACCESS STRUCTURE
- ⊕ UTILITY POLE AND ANCHOR
- ⊕ SHUTOFF VALVE
- ⑩ LOT LABEL FROM PLAN REFERENCE 1
- BOX WIRE FENCE
- CHAIN LINK FENCE



**CUMBERLAND, SS REGISTRY OF DEEDS**

Received \_\_\_\_\_

At \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M., and

Filed in Plan Book \_\_\_\_\_ Page \_\_\_\_\_

ATTEST: \_\_\_\_\_ Register

**PLAN REFERENCES**

- 1) "PLAN OF TWENTY THREE LOTS OWNED BY A. B. THOMPSON, ESQ." DATED JUNE 30, 1944 BY ELIJAH P. PIKE, SURVEYOR. RECORDED IN PLAN BOOK 1, PAGE 8. (ALSO REFERRED TO AS PLAN NUMBER 12)
- 2) "PROPERTY SURVEY FOR JOSEPH W. BRACKETT" DATED OCTOBER 17, 1963 BY WRIGHT & PIERCE, CIVIL ENGINEERS. RECORDED IN PLAN BOOK 70, PAGE 7.
- 3) "STANDARD BOUNDARY SURVEY OF GARLAND J. & HARRIET P. DAVIS, HAROLD A. & KAREN R. DAVIS, WALLACE G. PINFOLD, JAMES A. & THERESA A. CONNERS" DATED APRIL 14, 1998 BY BRIAN SMITH SURVEYING, INC. RECORDED IN PLAN BOOK 196, PAGE 538.
- 4) "STANDARD BOUNDARY SURVEY MADE FOR GREGOR A. GAMBLE" DATED JANUARY 9, 2001 BY TITCOMB ASSOCIATES. APPARENTLY UNRECORDED.
- 5) "STANDARD BOUNDARY SURVEY OF JANE MILLET LOT" DATED FEBRUARY 23, 2004 BY BRIAN SMITH SURVEYING, INC. APPARENTLY UNRECORDED.

**NOTES**

- 1) ALL DOCUMENT REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
- 2) ROAD LAYOUTS  
A. FEDERAL STREET - TOWN RECORDS VOLUME 1, PAGE 183 - 1803 - 4 ROOS (66 FEET)  
B. FRANKLIN STREET - TOWN RECORDS VOLUME 4, PAGE 228 - 1845 - 2 ROOS (33 FEET)  
C. SCHOOL STREET - TOWN RECORDS VOLUME 4, PAGE 309 - 1850 - 2 ROOS (33 FEET)
- 3) THIS LINE IS SHOWN AS DEPICTED ON PLAN REFERENCES 1 AND 5. ALTHOUGH SUBSEQUENT DEEDS CALL FOR A FENCE, OR FOR DIMENSIONS THAT VARY FROM THE LINE SHOWN, NO FENCE WAS FOUND BY THIS SURVEYOR AND NO RECORDED OUT-CONVEYANCES FROM THE PARCELS OWNED BY RUTH NIES OR JANE MILLET WERE FOUND WHICH WOULD PROVIDE ANY BASIS FOR THESE LATER DESCRIPTIONS.
- 4) THIS LINE IS DEPICTED AS DESCRIBED IN A DEED FROM THE TRUSTEES OF THE METHODIST SOCIETY TO DAVID W. BACON DATED FEBRUARY 20, 1889 AND RECORDED IN BOOK 341, PAGE 56. THE DEED FROM THE TRUSTEES OF THE METHODIST SOCIETY TO EPHRAIM STURDIVANT DATED FEBRUARY 28, 1844 AND RECORDED IN BOOK 186, PAGE 240 IS THE SOURCE DEED FOR THE SUBJECT PARCEL. THE STURDIVANT DEED IS OLDER, AND LIKELY CONVEYS TITLE SENIOR TO THE BACON DEED. HOWEVER, IT CONTAINS THE FOLLOWING LANGUAGE: "BOUNDED - ON THE WEST BY A LINE TWO FEET FROM, AND PARALLEL TO THE EAST END OF SAID CHAPEL - " THE CHAPEL REFERRED TO HAS BEEN DESTROYED, THEREFORE THE BACON DEED WAS USED AS THE BASIS FOR THE COMMON BOUNDARY.
- 5) THIS PIN WAS SET IN A 6" X 12" GRANITE MONUMENT FOUND SEVERAL INCHES BELOW GRADE. THE DEED FROM JOHN A. DUNNING TO BENJAMIN TITCOMB, DATED AUGUST 18, 1831 AND RECORDED IN BOOK 155, PAGE 243 CALLS FOR A "STONE ON THE SOUTHEAST CORNER OF SAID BAPTIST MEETING HOUSE LOT."

**CERTIFICATION**

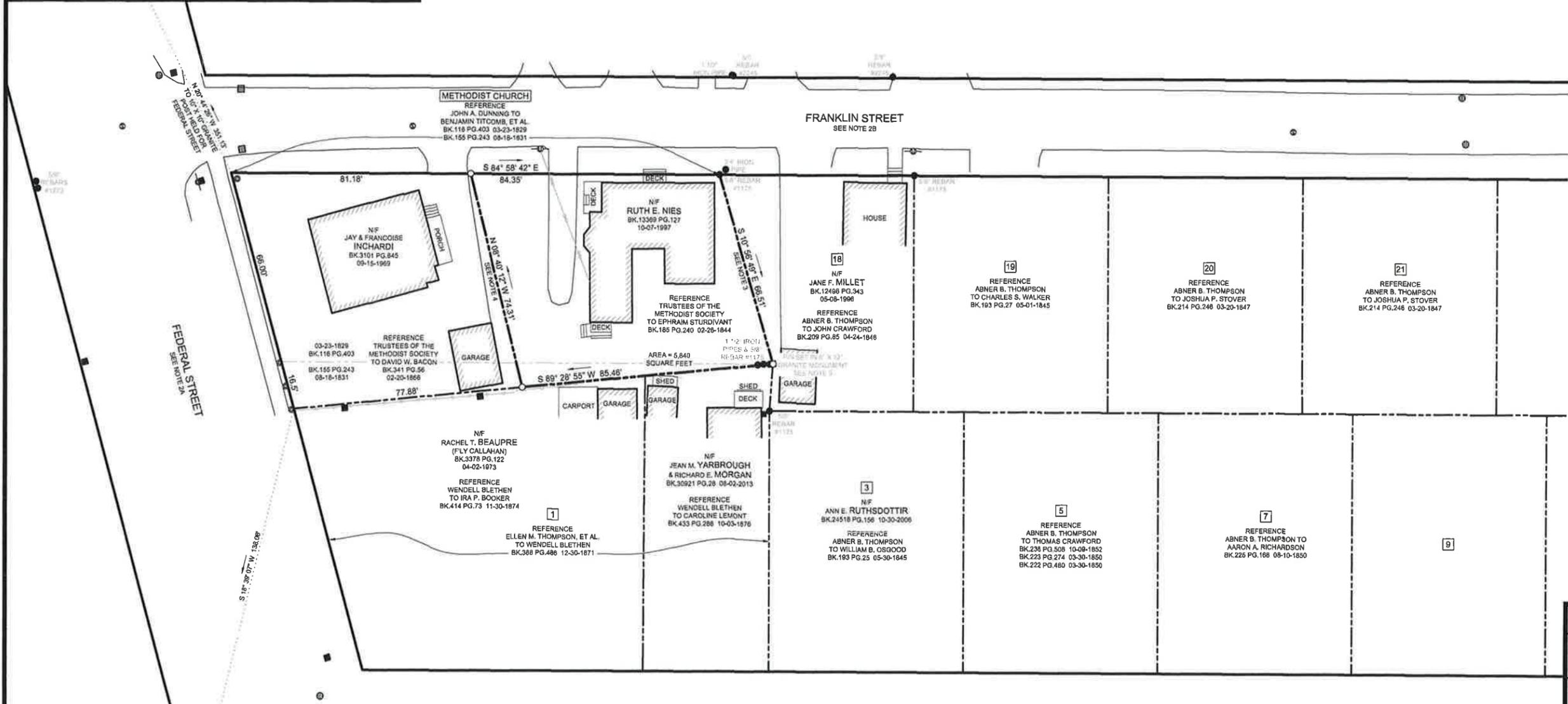
TO: RUTH E. NIES

TO THE BEST OF MY KNOWLEDGE THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING EXCEPTIONS:

- 1) NO SEPARATE REPORT
- 2) NO NEW LEGAL DESCRIPTION PREPARED

JERAMIAH J. RAITT PLS #2378

SCALE IN FEET



SCHOOL STREET  
SEE NOTE 2C

**STANDARD BOUNDARY SURVEY**

RECORD OWNER: RUTH E. NIES  
4 FRANKLIN STREET, BRUNSWICK, MAINE 04011

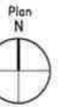
SITE: 4 FRANKLIN STREET  
BRUNSWICK, MAINE

LITTLE RIVER  
LAND SURVEYING  
JERAMIAH J. RAITT

DATE: MAY 28, 2015  
REVISED: JUNE 11, 2015

SCALE: 1" = 20'

PROJECT #15-008



Consultants

Revisions

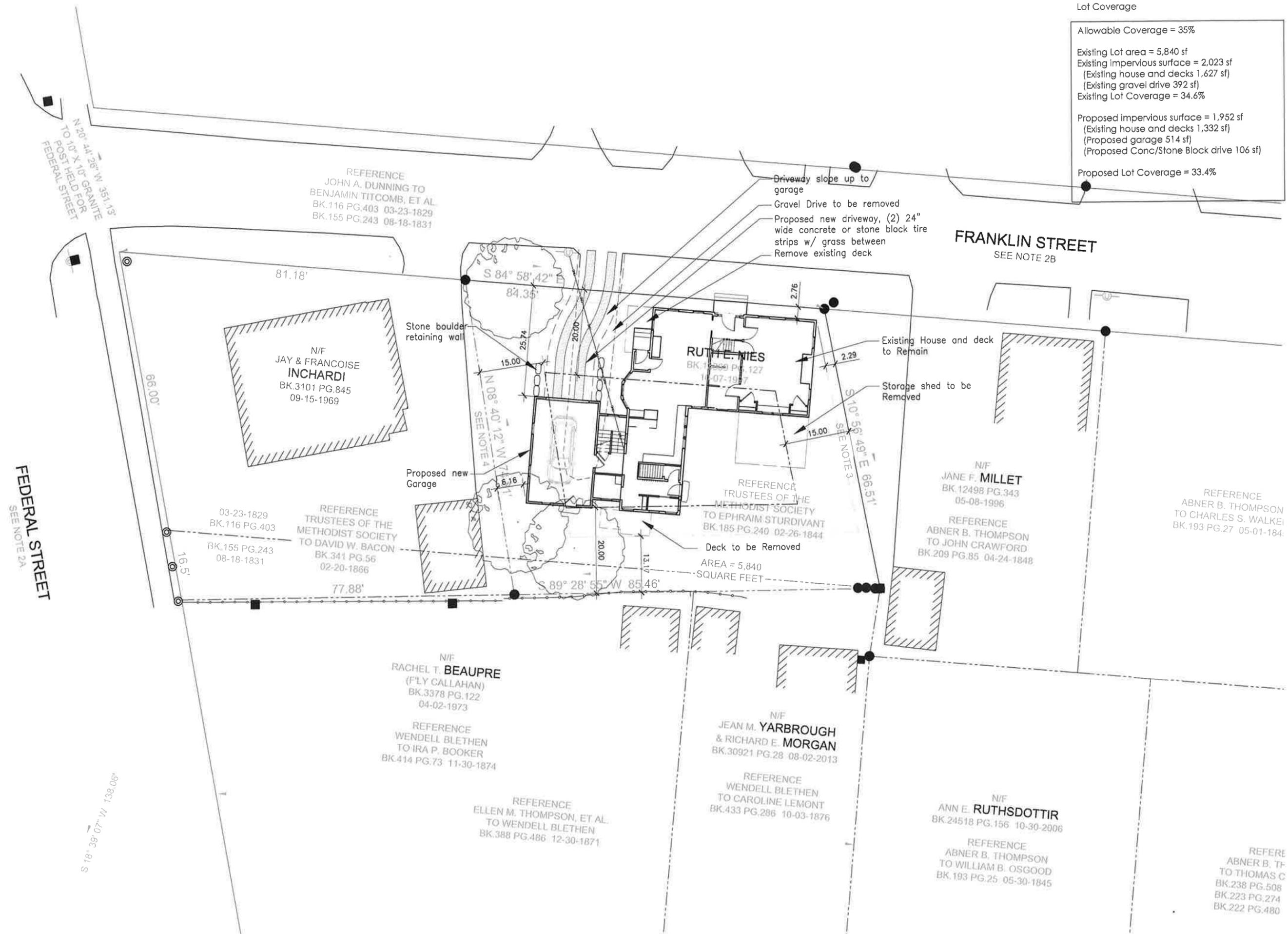
Lot Coverage

Allowable Coverage = 35%

Existing Lot area = 5,840 sf  
Existing impervious surface = 2,023 sf  
(Existing house and decks 1,627 sf)  
(Existing gravel drive 392 sf)  
Existing Lot Coverage = 34.6%

Proposed impervious surface = 1,952 sf  
(Existing house and decks 1,332 sf)  
(Proposed garage 514 sf)  
(Proposed Conc/Stone Block drive 106 sf)

Proposed Lot Coverage = 33.4%



Nies Residence

4 Franklin St  
Brunswick, Maine

Job Number:

Date: 11.03.15

Scale: 1" = 10'-0"

Drawing Title:

Proposed  
Site Plan

L1.1



Consultants

Revisions

Nies Residence

4 Franklin St  
Brunswick, Maine



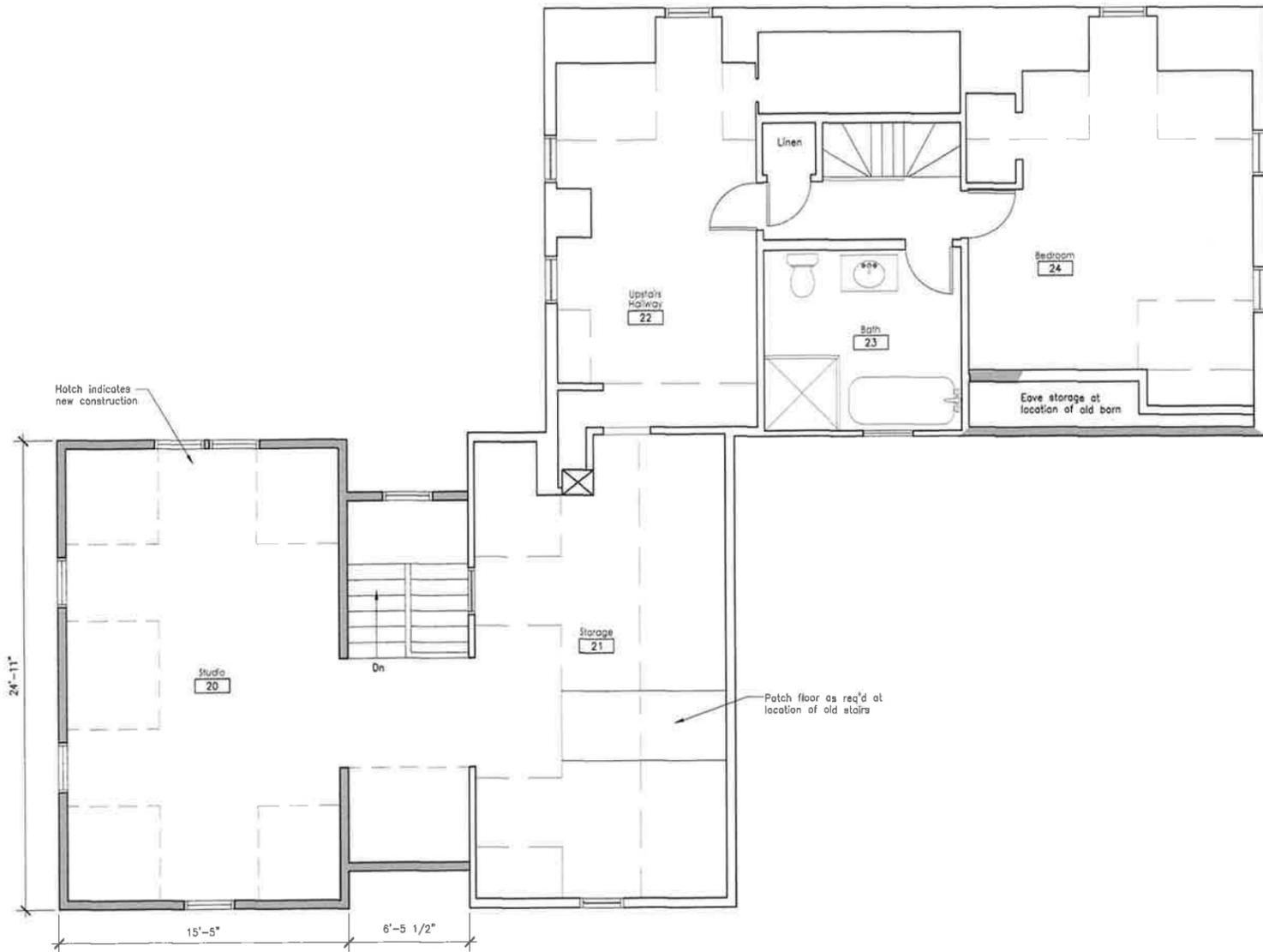
Job Number:  
Date: 11.03.15  
Scale: 1/4" = 1'-0"

Drawing Title:

Proposed  
Floor Plans

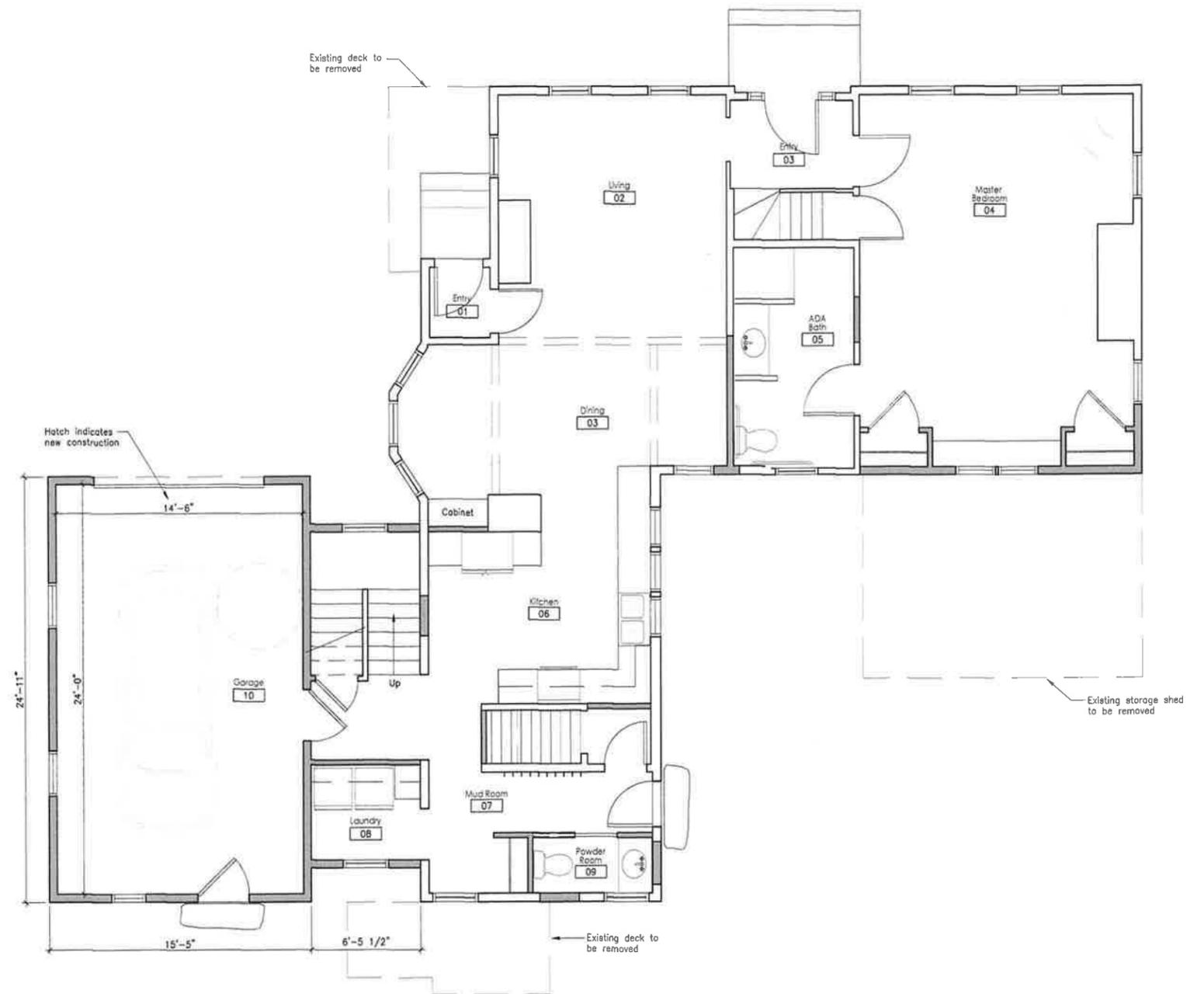
A1.1

Village  
Review Board



2 Proposed Second Floor Plan

Scale: 1/4" = 1'-0"



1 Proposed First Floor Plan

Scale: 1/4" = 1'-0"

Consultants

Revisions



2a Existing North Elevation

Scale: 1/4" = 1'-0"

Elevation Legend

- 01. New shingle roof to match existing
- 02. New Boral painted eave and rake trim to match existing
- 03. New Boral corner board detail to match existing
- 04. Similar to Marvin Integrity Wood-Ultrex or Pella 350 windows; clad wood window with simulated divided lites, trim to match existing
- 05. New wooden clapboard siding, exposure and paint to match existing
- 06. 1x4 Boral TruExterior trim, pntd
- 07. Garage door similar to Haas 'American Tradition' 920 Plain single door, with glazed 3 pane top section; insulated and painted
- 08. Similar to Fiberglass Pella 1/2 Light Entry Door with Glass, painted



1a Existing West Elevation

Scale: 1/4" = 1'-0"



2 Proposed North Elevation

Scale: 1/4" = 1'-0"



1 Proposed West Elevation

Scale: 1/4" = 1'-0"

Nies Residence

4 Franklin St  
Brunswick, Maine



Job Number:  
Date: 11.03.15  
Scale: 1/4" = 1'-0"  
Drawing Title:

Existing and  
Proposed  
Elevations

A2.1  
Village  
Review Board

Consultants

Revisions

Nies Residence

4 Franklin St  
Brunswick, Maine



Job Number:  
Date: 11.03.15  
Scale: 1/4" = 1'-0"  
Drawing Title:

Existing and  
Proposed  
Elevations

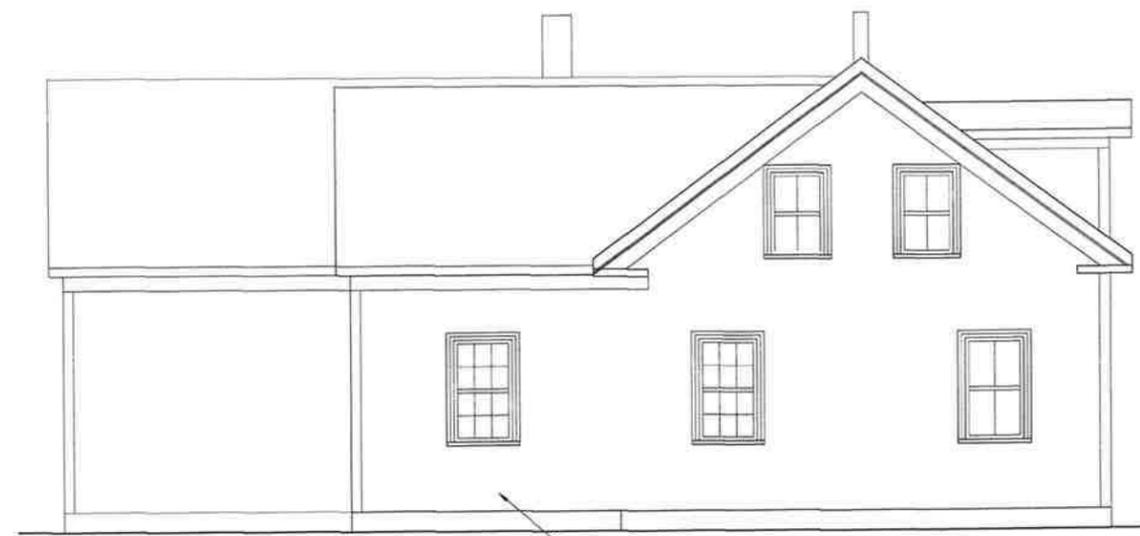
Elevation Legend

- 01. New shingle roof to match existing
- 02. New Borai painted eave and rake trim to match existing
- 03. New Borai corner board detail to match existing
- 04. Similar to Marvin Integrity Wood-Ultrex or Pello 350 windows; clad wood window with simulated divided lites, trim to match existing
- 05. New wooden clapboard siding, exposure and paint to match existing
- 06. 1x4 Borai TruExterior trim, pntd
- 07. Garage door similar to Hoas 'American Tradition' 920 Plain single door, with glazed 3 pane top section; insulated and painted
- 08. Similar to Fiberglass Pello 1/2 Light Entry Door with Glass, painted



4a Existing South Elevation

Scale: 1/4" = 1'-0"



3a Existing East Elevation

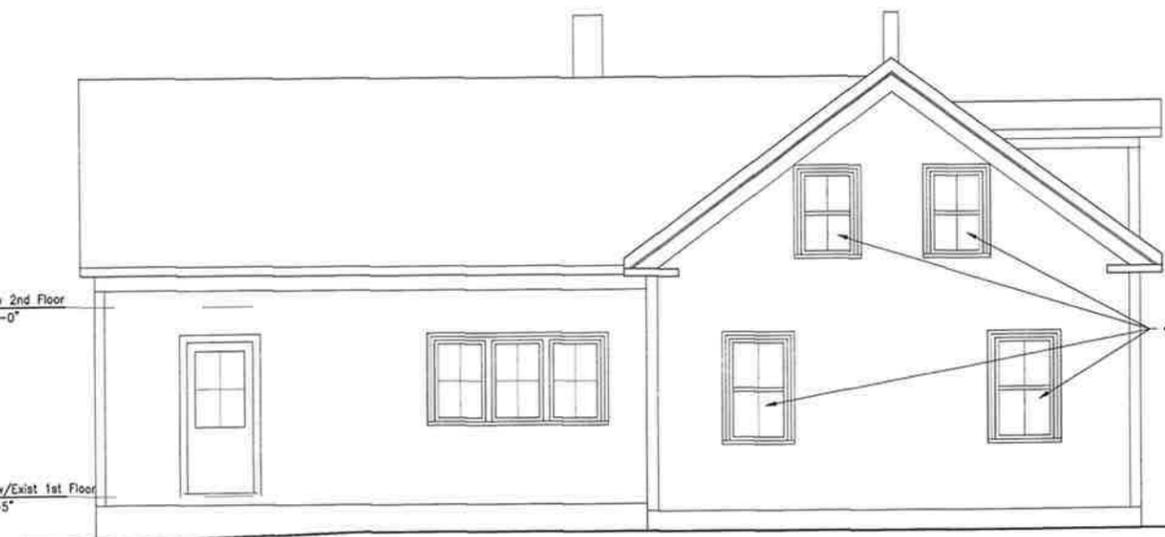
Existing barn and rubble foundation in poor condition

Scale: 1/4" = 1'-0"



4 Proposed South Elevation

Scale: 1/4" = 1'-0"



3 Proposed East Elevation

Scale: 1/4" = 1'-0"

**VILLAGE REVIEW BOARD  
SEPTEMBER 15, 2015**

**MEMBERS PRESENT:** Chair Emily Swan, Laura Lienert, Connie Lundquist, Gary Massanek, Brooks Stoddard, Karen Topp and Sande Updegraph

**STAFF PRESENT:** Director of Planning and Development, Anna Breinich

A meeting of the Village Review Board was held on Tuesday, September 15, 2015 at the Municipal Meeting Facility at 85 Union Street, Council Chambers. Chair Emily Swan called the meeting to order at 7:15 P.M.

1. Case # VRB 15-024 – 136 Maine Street (rear)– The Board will discuss and take action regarding a Certificate of Appropriateness for the demolition of a 2,500 square foot warehouse to the rear of the property and facing Town Hall Place and replace with parking lot for tenants at 136 Maine Street (Map U13, Lot 62).

Anna Breinich introduced the application for a Certificate of Appropriateness (COA) for demolition of a warehouse structure to allow for a 15-spot parking expansion. Anna noted that this structure was not part of the contributing versus non-contributing survey that was conducted a few years ago because it is an accessory structure. Anna said that they could not determine how old this building was because they have no records for it.

The applicant, Dustin Slocum, added that he purchased the property roughly a year ago knowing that there were issues with the structure and is simply moving forward.

Sande Updegraph asked if the planters proposed in the parking lot will be moved during the winter months for snow removal. Dustin Slocum replied that they would be.

Chair Emily Swan opened the meeting to public comment.

Claudia Knox stated that she supports this application and this use will allow for more accessible, useful, parking in the downtown area.

Chair Emily Swan closed the public comment period.

Laura Lienert asked, if, when funds are available, curbing and sidewalk be placed by the Town. Anna Breinich replied that they would be at some point in time.

**MOTION BY CONNIE LUNDQUIST THAT THE CERTIFICATE OF APPROPRIATENESS APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY BROOKS STODDARD, APPROVED UNANIMOUSLY.**

**MOTION BY CONNIE LUNDQUIST THAT THE BOARD APPROVES THE CERTIFICATE OF APPROPRIATENESS FOR THE DEMOLITION OF THE**

**REAR WAREHOUSE STRUCTURE AND TO REPLACE WITH AN EXPANDED PARKING LOT ONSITE AT 136 MAINE STREET, AS OUTLINED IN THE APPLICATION, AND WITH THE FOLLOWING CONDITION:**

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.

**MOTION SECONDED BY GARY MASSENEK, APPROVED UNANIMOUSLY.**

Dustin Slocum added that the warehouse will be taken down slowly by a company that will then recycle the materials into furniture.

2. Case # VRB 15-033 – 45 Maine Street / 11 Mason Street– The Board will discuss and take action regarding a Certificate of Appropriateness for the demolition of the existing structure at 11 Mason Street and another Certificate of Appropriateness for the construction of a new Bangor Savings Bank facility on 11 Mason and 45 Maine Street combined (Map U14, Lots 163 and 165).

Anna Breinich introduced the application for the Certificate of Appropriateness (COA) for the demolition of the existing structure at 11 Mason Street. Anna said that included in the packet is documentation regarding the structural integrity of the building. This application also includes a COA for the construction of a 1-story office building; this application is scheduled to be on the September 22<sup>nd</sup> Planning Board agenda. Anna said that the applicant is proposing a drive-thru in the rear of the building along with a 15-space parking lot and a pocket park.

David Latulippe with CJ Developers and applicant representative for Bangor Savings Bank presented a PowerPoint presentation reviewing the need for demolition of 11 Mason Street, new construction mass, Maine Street view, materials, parking and landscaping, pedestrian and bike access and signage. Sande Updegraph asked what the screening material will be for the dumpsters. David replied that it will be fencing. David noted that they had to add condenser pads and have also located them near the dumpster which is located in the corner near Route 1. Karen Topp asked for clarification on pedestrian and bike access; David replied that there is a front and a side entrance. Laura Lienert asked who would own the building and David replied that the building will be owned and maintained by the bank, Bangor Savings. Emily Swan asked if their landscaping plan included benches for people to enjoy the park. David replied that they do not have benches, but said that they have a green area where they could incorporate one. Karen asked where the monument sign would be located and David replied that it would be on the side; it would be short, but he does not know the exact size. Karen asked

if the front of the building is parallel to the lot or to Maine Street. David replied that the lot line was originally parallel to the lot, but this looked skewed; they sent the surveyor out and the building is now parallel to the street.

Gary Massanek stated that the issue tonight is not really the new building, but whether or not the demolition meets the requirements. Gary asked David Latulippe if he was familiar with the 4 criteria needing to be met and if he felt the application meets the criteria. David replied that when they met with staff, it was believed that they met the criteria. Brooks Stoddard commended the owners of 11 Mason for the care that they have taken in trying to maintain the building, but expressed his sadness that new design does not incorporate more 21<sup>st</sup> century style. Brooks also believes that the drive thru looks very clunky. Sande Updegraph asked what the color of the proposed brick will be. David replied it would be red. Sande added that she likes the design of the proposed building; it looks like it has been in this location for a while.

Chair Emily Swan opened the meeting to public comment.

**Claudia Knox** stated that she supports the demolition of 11 Mason Street and commended the current owners for making the area such a pretty spot. Claudia said that this is a case where everything was changed by the loss of the Ranger building and that the fire not only destroyed a building, but that 11 Mason Street also lost its neighbors. Claudia said that this proposed development is in a location that cannot be redeveloped without both lots and hopes that the VRB will give the applicant their blessings.

**Dominic Vella, owner of Blessings and resident of 11 Mason Street,** said that he is excited about this development as it will help close the retail loop. Dominic stated that he and his wife cannot go any further with their business while maintaining the building; he and his wife look at this as a great opportunity.

Chair Emily Swan closed the public comment period.

Gary Massanek noted that he is disappointed that both applications before the Board tonight have involved tearing down historic buildings to gain parking. Gary stated that in reviewing the staff comments with regards to the criteria needing to be met, he disagrees with 3 of the 4; after reading the engineer and architectural reports, there is no mention of never, but only “not ideal”. Gary said that the only criterion met is the 4<sup>th</sup> criterion. Emily Swan replied that when she first saw the application, she thought “why can’t we work around this building and include it”, but agrees with Claudia Knox who said that the loss of the Ranger building really changed the dynamics. Emily said that something needs to be put in this location that can function in this space and agrees with Brooks Stoddard that the drive thru is clunky. Laura Lienert stated that this is very difficult because the guidelines that the Board is given for review repeat that every attempt should be given to restore and preserve windows, doors, etc. and asked why they are not trying to preserve this building. Laura does not believe that all the criteria are met for demolition. Laura pointed out that in terms of parking, the Board is being asked to demolish 11 Mason Street so that it can become parking for the bank on Maine Street.

Connie Lundquist clarified that the applicant only needs to meet 1 of the 3 criteria for demolition and reviewed the criteria as listed in the ordinance. Connie asked if the corner could be redeveloped without demolition. Anna Breinich replied that is it not the building itself, but the associated parking and stated that this should be looked at as a package. Anna stated that this lot has lost its grandfathered status and any new building has to meet the current parking requirements per the zoning ordinance. Connie asked if a smaller building could go on this lot. Anna replied that a smaller building could, but pointed out that the proposed building is roughly the same size as the building across the street and asked whether you would want a smaller building on this corner. David Latulippe pointed out that in terms of access to a smaller building, it would be almost impossible on the left side and would be on the corner from the right side. Gary Massanek said that he understands the economic hardship of keeping up 11 Mason Street, but pointed out that the materials provided to the Board do not say that it is not possible to retain the structure. Brooks Stoddard replied that expense is important, but stated that the Board should think more about how historically important this structure is. In terms of the future and future needs, Laura Lienert asked if they want a building so distinctly bank looking on this corner. Coming back to the criteria needing to be met for demolition, Connie said that she does not feel that the current condition of 11 Mason Street meets the criteria. Karen Topp replied that in terms of feasible economic return, the building would require a great deal of funding to make it useable and asked how you would judge a reasonable return. Karen said that she is in favor of demolishing 11 Mason Street and said that they need to be practical in terms of the Board's decision. Emily replied that she agrees with Claudia Knox in that the position of this property and the block has been changed by the fire; this is a key factor even if it is hard to pin the decision to the ordinance. Gary replied that the Board does not know if the cost of renovations to 11 Mason Street would be economically feasible with the materials provided in the packet. Connie agreed that the Board does not have the materials to decide whether or not maintaining 11 Mason Street is formidable. David replied that the parking for the bank would be going where 11 Mason Street is, but pointed out that they are trying to maintain the streetscape per the zoning ordinance and VRB criteria. Brooks said that it would be ideal if the bank was able to incorporate 11 Mason Street into the proposed building.

Dan Miller, architect, stated that when you change the occupancy of a building, it is no longer grandfathered and would need to abide by the new codes. To do this with 11 Mason Street, would cost more than it would to build a new building. Dan added that in addition, the current codes would not allow the residence on the second floor without a separation. Dan said that it would be very difficult in today's market to find a buyer who would use 11 Mason Street in the same way. Gary Massanek replied that this testimony meets at least 1 criterion for demolition. Connie Lundquist asked if another retail went in this location, would it change the use. Dan replied that if another retail went into this location, without any changes, it would be grandfathered. Once the new owners go to change any part of the structure, it would require the owner to go to apply for new fire permits which would trigger modern egress codes. Brooks Stoddard pointed out that any building can be moved. Emily Swan replied that in the materials provided, the owner stated that the building would be difficult to move. Dominic Vella, applicant, replied that

the issue is that the building is in several different sections and stated that all the sections would have to be moved individually. Trying to maintain the timbers without the building collapsing would be extremely difficult and costly. Karen asked Brooks to speak to the historical value of 11 Mason Street and asked if this building is worthwhile to move it. Brooks replied that as stated, the building has been added on to and one can barely see the original frame, but it is old and it would be nice to keep somehow. Karen asked if it was possible to lessen the parking. Anna Breinich replied that there are situations where this can be done such as through shared parking. Emily asked if this was an issue for Karen and Karen replied that she doesn't want to see so much impervious surface. Sande Updegraph pointed out that the bank proposal has 15 parking spaces and the current parking allows for 18 spaces, 3 fewer spaces. David Latulippe replied that the parking will be open to the public, especially after hours.

In terms of the proposed building style, Brooks Stoddard stated that it does not speak to the 20<sup>th</sup> or 21<sup>st</sup> century building styles. Brooks stated that the materials are nice and that it has a lot of glass, but that it looks as though it could go anywhere in New England especially with the drive-thru. David Latulippe replied that they tried to incorporate the landscaping into the drive-thru to hide it better. Brooks stated that they could cut the roof massing. David replied that the roof was designed in trying to maintain the massing that the ordinance speaks to. Karen Topp asked if they would consider a two-story building. David replied that the applicant does not need that much space, but this is why they raised the roof so that the building appears larger. Connie Lundquist agrees with Brooks in terms of the looks of the proposed building and with Laura Lienert in the design and future of the building and the need for parking. David replied that this location will have the bank component but will also have several different loan offices. In terms of future use, Emily Swan replied that she is not too concerned as the proposed structure could be used for other office uses unlike a Tim Horton's or Burger King whose building styles have elements that are pure fast food in style. Laura Lienert stated that this building seems "ho-hum" and if the Board is going to demolish a historic structure, she would like to take this opportunity to replace it with something better. David replied that they tried to incorporate the brick and massing per their interpretation of the ordinance, but that he is hearing from the VRB that they want something unique; David suggested that the Board agree on the demolition tonight and provide suggestions to what they would like to see. Anna Breinich noted that this building will still need to abide by the Maine Street components in the Findings of Fact. Brooks said that he would like to see a forward looking, modern building.

**MOTION BY GARY MASSANEK THAT THE CERTIFICATE OF APPROPRIATENESS APPLICATION BE DEEMED COMPLETE. MOTION SECONDED BY BROOKS STODDARD, APPROVED UNANIMOUSLY.**

**MOTION BY GARY MASSANEK THAT THE DEMOLITION OF 11 MASON STREET BE APPROVED PENDING THE DESIGN OF THE REPLACEMENT STRUCTURE APPROVAL BY THE VILLAGE REVIEW BOARD. MOTION SECONDED BY LAURA LIENERT, APPROVED BY EMILY SWAN, GARY MASSANEK, CONNIE LUNDQUIST, BROOKS STODDARD, KAREN TOPP**

**AND SANDE UPDEGRAPH. MOTION OPPOSED BY LAURA LIENERT.  
MOTION APPROVED 6-1.**

Emily Swan, Brooks Stoddard and Connie Lundquist suggested a modern approach to the design of the proposed building. Emily stated that she did not like the off-center entrance in the front but that she does like the glass. Connie suggested that the archway over the door could be more interesting. In returning to the corner, Gary asked why the applicant choose to keep the proposed building rectangular. David Latulippe replied that they lost footage from differences between the lot lines and the GPS and without putting a flat roof on it, the building looked awkward. Another reason they decided to go rectangular is that they would lose the landscaping / pocket park on the corner. Dan Miller replied that they went through many different versions and tried to comply with what the guidelines listed. Laura asked for more clarification as to why they couldn't anchor the building to the corner. Dan replied that when you look at the angles of the lot looking down the street, you see mostly roof lines; they needed a roof line that was appealing but didn't dominate the site. Connie asked if parking was an issue and David replied that parking was not an issue. Connie said that a bigger park and less parking would be an improvement. Anna Breinich noted that the pocket park also provides landscaping for the drive-thru. Gary asked if they could keep the drive-thru where it is and slide the building closer to the corner. Brooks suggested that the applicant work on the mass of the building; possibly a tower on the corner.

David Latulippe provided an example of another Bangor Savings Bank going into Portland. Brooks said that if they took the design of the Portland building and started from there, they would have something similar to what he is looking for and what was previously at this corner. Karen Topp said that she likes the first floor of the original plan, but she does not like the bulkiness of the roof. Gary asked how tall the ceilings were inside. Dan replied that the offices have 9 foot ceiling and the lobby is up to 14 feet. Anna suggested adding windows to the top of the sections where the roof is 14 feet. Dan said that the top of the windows are 10 feet. Anna suggested rescheduling the Planning Board meeting and scheduling an extra VRB meeting to discuss the new design of the building. David asked for clarification on the roof. Laura replied that if they could make the building look two-story, a flat roof would look fine.

**MOTION BY BROOKS STODDARD TO TABLE THE APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS OF NEW STRUCTURE PENDING  
RECEIPT OF NEW DESIGN. MOTION SECONDED BY LAURA LIENERT,  
APPROVED UNANIMOUSLY.**

3. Other Business

- Emily Swan updated the Board on the status of the Downtown Historic Designation.
- Maine Historic Preservation workshop next week in Topsham at the United Baptist Church.

4. Approval of Minutes

**MOTION BY CONNIE LUNDQUIST TO APPROVE THE MINUTES OF JUNE 16, 2015. MOTION SECONDED BY BROOKS STODDARD, APPROVED UNANIMOUSLY.**

Staff Approvals:

- 13 School Street – French door/sliding door
- 85 Maine Street – Signage
- 142 Maine Street – Signage
- 29 School Street – Bike Shed

**Adjourn**

This meeting was adjourned at 9:42 P.M.

Respectfully Submitted

Tonya Jenusaitis,  
Recording Secretary

**VILLAGE REVIEW BOARD  
OCTOBER 1, 2015**

**MEMBERS PRESENT:** Chair Emily Swan, Vice Chair Brooks Stoddard, Laura Lienert, Karen Topp, and Sande Updegraph

**STAFF PRESENT:** Director of Planning and Development, Anna Breinich

A meeting of the Village Review Board was held on Thursday, October 1, 2015 at the Municipal Meeting Facility at 85 Union Street, Council Chambers. Chair Emily Swan called the meeting to order at 6:00 P.M.

1. Case # VRB 15-033 – 45 Maine Street / 11 Mason Street– The Board will discuss and take up this tabled agenda item from the Board’s 9/15/15 meeting and take action regarding a Certificate of Appropriateness for the construction of a new Bangor Savings Bank facility on 11 Mason and 45 Maine Streets combined (Map U14, Lots 163 and 165).

Anna Breinich reviewed the tabled case to act on a Certificate of Appropriateness for 45 Maine Street and 11 Mason Street. This application was first reviewed at the Village Review Board meeting of September 15 at which time it was tabled by the Board.

**MOTION BY KAREN TOPP TO REMOVE CASE 15-033 FROM BEING TABLED. MOTION SECONDED BY SANDE UPDEGRAPH, MOVED UNANIMOUSLY.**

Emily Swan reminded members that the Board approved the demolition of 11 Mason Street upon approval of a new design for the proposed Bangor Savings Bank. Anna Breinich stated that she has not made any changes to the Findings of Fact and reminded Board members that what is in the Findings of Fact is based on the Zoning Ordinance, but pointed out that the Board still has flexibility with guidelines.

David Latulippe with CJ Developers and applicant representative for Bangor Savings Bank, presented a PowerPoint presentation reviewing the proposed building roofline, landscaping, street alignment and building designs and associated design problems with other layouts. David added that the applicant believes that they meet the standards and guidelines in terms of building mass, scale, parking, landscaping, materials and those set forth in the Maine Street requirements.

Karen Topp asked about the rectangles / relief above the windows and asked if they will relief out or in. David Latulippe replied that they will relief in and added that without the relief it looked like too much brick. David added that they played around with granite, but it did not fit in the design. Sande Updegraph said that she likes this design and the changes the applicant has made as it fits into the corner and is a good transition to Fort Andros. Brooks Stoddard still believes that the drive-thru overhang is over scaled;

suggested cutting the size in half. David replied that they can cut it in half and soften the treatment. Jason Donovan clarified that they are suggesting to scale down the trim similar to what you would do on a dormer. Karen asked about the pillar in the drive-thru and David replied that this is a double drive-thru.

Chair Emily Swan opened the meeting to public comment.

**Maurice Bernier, owner of 17 Mason Street (empty lot)**, asked if there was a way to see the proposed building from the 17 Mason Street side. David Latulippe reviewed the aerial view. Maurice asked how this development will impact future development of his property. Anna Breinich replied that both lots are within the same zoning district; 100% lot coverage and no set back requirements.

Chair Emily Swan closed the meeting to public comment.

Laura Lienert stated that she was disappointed with the proposed design. Laura said that she believes the guidelines that the applicant has been using are the neighborhood designs guidelines and not the store-front design guidelines. Laura reviewed the store-front guidelines. Laura said that she is disappointed that the applicant did not go with a flat roof and referenced Board member, Gary Massenek's letter to the Board dated 9/24/15, in which he states that he feels that a flat roof is appropriate for this site and the inclusion of the pocket park reduces the buildings ability to make a corner. Laura reiterated that she is less than happy with this design. David Latulippe replied that they extended the building the building in the corner and felt if you went to close to the corner, it was too close to the intersection. Emily Swan said that when she first reviewed this design, she felt the same way as Laura, but that she disagrees with the comments regarding the corner. Emily said that by adding a more elaborate side, it is visible from Maine Street and Mason Street and that it does add more definition to the corner. Emily is not opposed to landscaping. With regards to 2 or 3 story building, Emily said that this applicant does not need 2 or 3 stories. Brooks Stoddard replied that they are in a difficult position because the Board wants something similar to what was there and not quite like the mill across the street. David replied that when they attempted to put in a tower as discussed at the last meeting, it did not fit and because of the configuration of the lot, the tower look awkward. Laura added that this design is not unique and can be found in any Town. Laura pointed out that this building is not 2 – 3 stories, it has solar panel awnings and not fabric awnings, and it is not anchoring the corner per the design guidelines. With respects to the awnings, Emily pointed out that the guidelines are geared towards existing buildings and not new construction. Laura replied that she is simply pointing out that they have descriptions and guidelines for a reason. Anna Breinich stated that they are dealing with different materials, some of which were not developed when the guidelines were crated, and this is a way to blend in some contemporary features and aspects to a more classic style building. Laura noted that she does not have an issue with the awnings and reiterated that she is simply trying to make a point. Sande Updegraph said that she feels that the applicant did bring in some of the ideas brought forth at the last meeting, but she agrees with Brooks that they need to soften the trim on the drive-thru. Emily said that she likes the windows, the solar awnings, the stepped in corner and brick detail.

**MOTION BY BROOKS STODDARD THAT THE APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY, KAREN TOPP, MOTION MOVED UNANIMOUSLY.**

**MOTION BY KAREN TOPP THAT THE BOARD APPROVES THE CERTIFICATE OF APPROPRIATENESS FOR CONSTRUCTION OF A NEW PROFESSIONAL OFFICE BUILDING AT THE COMBINED PROPERTIES OF 45 MAINE AND 11 MASON STREET AS OUTLINED IN THE APPLICATION WITH THE FOLLOWING CONDITIONS:**

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
2. That the drive-through roofline be redesigned to be lighter in overall appearance and similar in style to the proposed structure's Mason Street side entryway, to the satisfaction of the Director of Planning and Development.

**MOTION SECONDED BY SANDE UPDEGRAPH, MOTION APPROVED BY EMILY SWAN, BROOKS STODDARD, KAREN TOPP, AND SANDE UPDEGRAPH, OPPOSED BY LAURA LIENERT. MOTION APPROVED 4-1.**

2. Other Business

- Emily Swan briefly reviewed a workshop by the Maine Historic Preservation Commission.

3. Approval of Minutes

No minutes were reviewed at this meeting.

**Adjourn**

This meeting was adjourned at 6:53 P.M.

Respectfully Submitted

Tonya Jenusaitis,  
Recording Secretary