



TOWN OF BRUNSWICK

PLANNING BOARD

85 UNION STREET, BRUNSWICK, ME 04011

**PLANNING BOARD
REVISED AGENDA
BRUNSWICK TOWN HALL
85 UNION STREET
COUNCIL CHAMBERS
TUESDAY, MAY 31, 2016; 7:00 P.M.**

1. **Case #16-016 New Meadows River Estates Amendment:** The Planning Board will review and take action on a **Final Plan Major Development Review** application submitted by Tami B. Hamilton, the personal representative for the Estate of Myrtle I. Collins to approve subsurface wastewater disposal on Lot 2, so-called, and remove an existing sewer easement on Lot 2 which provides access to an approved common subsurface wastewater disposal system located on Lot 4, so-called. The approved subdivision is comprised of four (4) recorded lots located at 282 Adams Road within the **(FF3) Farm Forest 3 / New Meadows River Area, and the Natural Resource Protection Zone, (Map 46, Lot 41A).**
2. **Case #16-017 The McLellan:** The Planning Board will review and take action on a **Final Plan Major Development Review** application submitted by authorized representatives, Sitelines P.A. for Amy McLellan of McLellan Nursing Enterprises for the creation of five (5) independent senior living dwelling units, and twelve (12) congregate care senior living units. The proposed development is located at 26 Cumberland Street within the **(TR1) Inner Pleasant Street Zoning District, and Village Review Zone (Map U14, Lot 63).**
3. ~~**WORKSHOP Case #16-010 Beacon Ridge Subdivision:** The Planning Board will review a **WORKSHOP** application submitted by Site Design Associates, the authorized representatives of Ecopath Developers, LLC, to consider alternatives to the street standards for an access road that serves a possible single family residential subdivision within the growth area. The proposed subdivision may result in the creation of up to 35 residential lots located in the **(R6) Cook's Corner Neighborhood; Cooks Corner Zoning District; and Natural Resource Protection Zone (NRPZ) (Map 42, Lot 16).**~~
4. **Zoning Ordinance Rewrite Update**
5. **Other Business**
6. **Approval of Minutes**

Revised 5/31/16 to remove item #3

This agenda is mailed to owners of property within 200 feet of proposed development sites. Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521.

This meeting will be televised.

**DRAFT Findings of Fact
Major Development Review
Final Subdivision Plan Amendment
Tuesday, May 31, 2016**

Project Name: Major Development Review Amendment, Case 16-016 (formerly Case #86-074)
New Meadows River Estates Amendment

Case Number: 16-016

Tax Map: Map 46, Lot 41A

Zoning District: (FF3) Farm Forest 3 / New Meadows River Area, and the Natural Resource
Protection Zone (NRPZ)

Applicant: Tami B. Hamilton for the Estate of Myrtle I. Collins
91 Wildwood Circle
Westbrook, ME

**Authorized
Representative:** Sitelines P.A.
8 Cumberland Street
Brunswick, ME

Staff reviewed the application and has made a determination of completeness.

CASE HISTORY

The Major Development Review for New Meadows River Estates (Case #87-074) was approved by the Planning Board on January 20, 1987, and recorded at the Cumberland County Registry of Deeds on February 19, 1987. The approved subdivision includes four (4) lots for residential use. Lot 1 contains passing soil test pits for a private subsurface wastewater disposal system; and Lots 2, 3, and 4 were approved by the Planning Board with a sewer access easement for an approved common subsurface wastewater disposal system located on Lot 4. Staff reviewed the Planning Board minutes, and the file for Case #87-074 and found that the only condition of approval for the subdivision was to pay a fee to the Brunswick-Topsham Land Trust (BTLT). The required fee was paid on April 29, 2016 as demonstrated by a receipt from BTLT Executive Director, Angela Twitchell. None of the four (4) lots have been developed to date.

PROJECT SUMMARY

Staff review is based on the attachments included in the Major Development Review application, and the review of the original subdivision file for Case #87-074, New Meadows River Estates. The application includes the approved Subdivision Plan, a subsurface wastewater disposal plan (septic system) for Lot 2, and a proposed amendment to the subdivision plan which removes the existing sewer easement from Lot 2. The purpose of the propose change was prompted at the request of a prospective buyer, and was confirmed allowable by Maine's subsurface wastewater discharge rules by licensed site evaluator, Mark Cenci. The location of the septic system for Lot 2 is depicted on the amended subdivision plan for Lots 2, 3, and 4. The proposal was reviewed by the Staff Review Committee (SRC) on May 25, 2016. No objections were raised by the SRC for the amendment request.

DRAFT MOTIONS
MAJOR DEVELOPMENT REVIEW AMENDMENT
New Meadows River Estates Amendment
CASE NUMBER 16-016

Motion 1: That the Major Development Review Amendment is deemed complete.

Motion 2: That the Major Development Review Amendment is approved with the following conditions:

1. That the Board's review and approval does hereby refer to the these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to recording the final plan, a copy of the final plan shall be signed and sealed by a licensed surveyor and provided to the Director of Planning and Development.

Estate of Myrtle I. Collins
c/o Tami Blake Hamilton, Personal Representative
91 Wildwood Circle
Westbrook, ME 04092

May 2, 2016

Jared Woolston, Planner
Town of Brunswick
85 Union Street
Brunswick, ME 04011

Re: Wastewater Disposal System Easement Modification for
Lot #2 of New Meadows River Estates, Brunswick, ME 04011

Dear Mr. Woolston:

My name is Tami B. Hamilton and I am the Personal Representative of the Estate of Myrtle I. Collins. Ms. Collins was my mother and she owned the parcel of land at 282 Adams Road, Brunswick, Maine (aka New Meadows River Estates) at the time of her death on November 15, 2013.

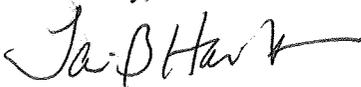
The land at 282 Adams Road has been for sale for over a year and we recently entered into a purchase and sale agreement with an interested buyer for two (2) of the four (4) lots. The potential buyer wants to purchase Lots #3 and #4, however, would like to have the wastewater easement of Lot #2 removed from Lot #4. As such, please find enclosed the completed Major Development Review Final Plan Application for modifying the wastewater disposal of Lot #2 of the New Meadows River Estates located at 282 Adams Road.

On behalf of the Estate of Myrtle I. Collins, I respectfully request to have Lot #2 have its own wastewater disposal system. I have retained the services of Mark Cenci Geologic, Inc., to determine the suitability of a wastewater disposal system on Lot #2. Mr. Cenci did find suitable sites for subsurface wastewater disposal on Lot #2 as indicated in the attached report.

I am enclosing a check for \$170 to cover the application fee of \$150, as well as, the abutter notification fee of \$20. I am also enclosing a copy of the approved site plan, an original copy of my mother's death certificate, and a copy of my personal representative appointment.

Thank you for reviewing this application. If you have any questions, or need any additional information, please feel free to contact me at (207) 749-2169.

Sincerely,



Tami B. Hamilton
Personal Representative

Enclosures: Final Plan Application w/check #1031
Mark Cenci Geologic, Inc. Report
Site Plan
Death Certificate
Personal Representative Appointment

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: New Meadows River Estates

2. Project Applicant
Name: Estate of Myrtle I. Collins
Address: 91 Wildwood Circle
Westbrook, ME 04092
Phone Number: 207-749-2169

3. Authorized Representative
Name: Tami B. Hamilton, Personal Representative
Address: 91 Wildwood Circle
Westbrook, ME 04092
Phone Number: 207-749-2169

4. List of Design Consultants. Indicate the registration number, address and phone number of any engineer, surveyor, architect, landscape architect or planner used:

1. Mark Cenci Geologic, Inc., 93 Mill Road, North Yarmouth, ME 04097 #207-329-3524
2. _____
3. _____

5. Physical location of property being affected: Lot #2 of the New Meadows River Estates
located at 282 Adams Road

6. Lot Size: 4.28 acres

7. Zoning District: CR1 NRP

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application?

The applicant, Estate of Myrtle I. Collins, owns the entire parcel of land located at 282 Adams Road, aka New Meadows River Estates.

9. Assessor's Tax Map 46 Lot Number 41A of subject property.

10. Brief Description of proposed: Minor modification to Lot #2 to have its own on-site wastewater disposal system.

11. Describe Specific Physical Improvements to be Done: _____

Owner Signature: Tami B. Hamilton, Personal Representative

Applicant Signature (if different): _____

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development			✓			
Scale, date, north point, area, number of lots (if subdivision)			✓			
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.			✓			
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.			✓			
Existing zoning district and overlay designation.			✓			
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.			✓			
Names of current owner(s) of subject parcel and abutting parcels.			✓			
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.			✓			
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.			✓			
Existing and proposed easements associated with the development.		✓				To remove easement of Lot 2 to have wastewater disposal on Lot 4.
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.			✓			
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.			✓			

D S M I A W P Comments

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.			✓			
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.		✓				To have Lot 2 have its own wastewater disposal system on-site.
Topography with counter intervals of not more than 2 feet.			✓			
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.			✓			
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.			✓			
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.			✓			
Existing locations and proposed locations, widths and profiles of sidewalks.			✓			
Location map.		✓				As prepared by geologist to show sites, etc.
Approximate locations and dimensions of proposed parking areas.			✓			
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.			✓			
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.			✓			
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.			✓			
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.			✓			
Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.			✓			

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.					
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.					
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.					
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.					
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.					
Where a septic system is to be used, evidence of soil suitability.					
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.					
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.					
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.					
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.					
The size and proposed location of water supply and sewage disposal systems.					
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.					



**Preliminary Site Investigation
Lot 2, New Meadows River Estates
Harding and Bull Rock Roads, Brunswick**

Date: April 28, 2016

To: Tami Blake Hamilton, Personal Representative
Estate of Myrtle I. Collins
91 Wildwood Circle
Westbrook, ME 04092

Date of Investigation: April 20, 2016

Location of Investigation:

The property investigated is located on the easterly side of Harding Road, Brunswick. It is Lot 2 of the New Meadows River Estates, a 4.28 acre lot.

Purpose of Investigation:

The purpose of the investigation was to assess the suitability of the lot under the *Maine Subsurface Wastewater Disposal Rules* (the *Rules*) for an on-site wastewater disposal system to serve a single family residence and to be located on lot 2.

The lot was investigated for soils in 1987 by William H. Maier, and a common septic system disposal site was proposed for lots 2, 3 and 4, to be located on lot 4. Since 1987 the Rules have undergone several changes regarding suitable soils for wastewater disposal.

Method of Investigation: Soil auger, hand shovel and probe. A detail of the lot from a 1987 soil and septic system report by William H. Maier was used in the field during the investigation.

Results of the Investigation:

The land is located on the easterly side of a northeast trending ridge, west of New Meadows River (see Figure 1. Drainage is easterly to New Meadows River.

The *National Cooperative Soil Survey* depicts the property as an association of Hollis fine sandy loam, Buxton silt loam and Scantic silt loam (see attached photocopies). These soils formed in fine textured glacio-marine sediments, where bedrock is shallow. On-site soil testing generally agrees with this mapping. A potential wastewater disposal site was investigated and is suitable for wastewater disposal.

A soil log and location sketch is enclosed. Five soil borings and probes were done. Bedrock is very shallow near Harding Road. The bedrock descends easterly and the soil becomes thicker. A transition between fine sandy loam soils and silt loam soils occurs approximately 100 feet from Harding Road.

The suitable wastewater sites are characterized by two types of soil conditions, where the soil texture is fine sandy loam underlain by bedrock and fine sandy loam underlain by silt loam and bedrock. The tested sites are categorized as 2AIII, 2AII and 8D/AIII. The sites are rated Medium-Large and Large for wastewater disposal by the *Rules*.

A typical system for a three-bedroom home is a 20' x 45' or 55' stone bed. Other disposal options include plastic chamber and Eljen Indrains. Any system will be mounded 24 to 30 inches above the ground surface.

Conclusions:

Suitable sites for subsurface wastewater disposal to serve a three-bedroom home were located on lot 2. These sites are depicted on an enclosed sketch map. There may be other sites available. The septic system sites are rated Medium-Large and Large for size. The use of a common wastewater disposal area on lot 4 is not required for wastewater generated by a home on lot 2. Further investigations will be required to design a specific wastewater disposal system on any site.



Mark Cenci
Site Evaluator #262

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation
BRUNSWICK

Street, Road, Subdivision
LOT 2

Owner or Applicant Name

HARDING ROAD

SITE PLAN Scale 1" = 100 ft. ±

SITE LOCATION PLAN
(map from Maine Atlas recommended)

TB1
TB2
TB3
TB4

BULL ROCK ROAD

LOT 1

LOT 2

LOT 3

LOT 4

SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TB 1, 2 + 3 Test Pit Boring

Observation Hole # TB 4 Test Pit Boring

_____ " Depth of organic horizon above mineral soil

_____ " Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	FINE			
6	SANDY LOAM	FRIABLE	YELLOW BROWN	
12				
18		BEDROCK		
24				
30				
36				
42				
48				

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0			DR. BRN	
6	FINE SANDY LOAM	FRIABLE	OLIVE	
12			YELLOW	Common
18				
24	SILT LOAM	FIRM	GRAY	
30		BEDROCK		
36				
42				
48				

Soil Classification: 2 AII + 2AIII
Slope: _____
Limiting Factor: 12-20
 Groundwater
 Restrictive Layer
 Bedrock
 Pit Depth

Soil Classification: 8 AIII/D
Slope: _____
Limiting Factor: _____
 Groundwater
 Restrictive Layer
 Bedrock
 Pit Depth

Mark Dani
Site Evaluator Signature

262
SE #

4.28.16
Date

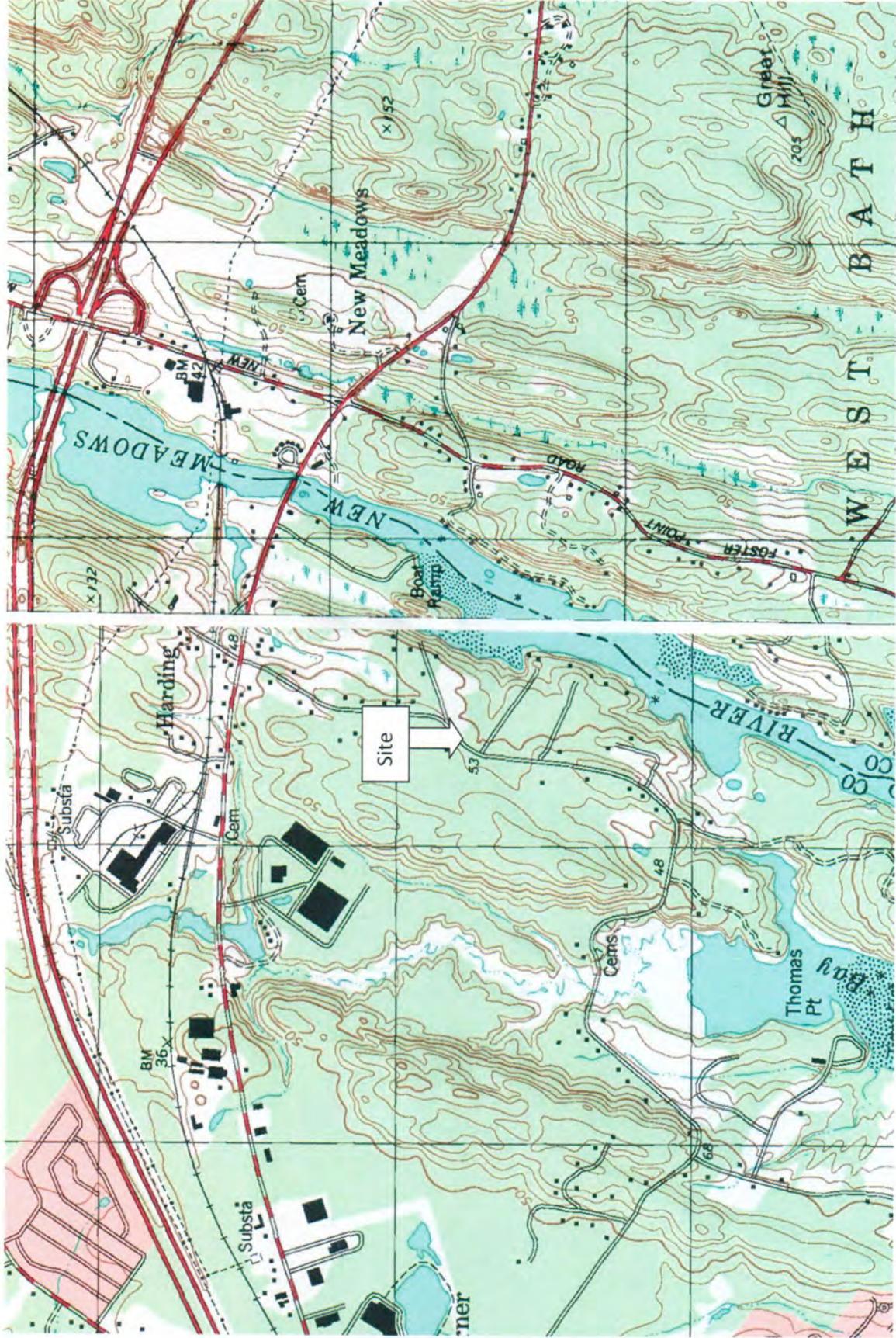
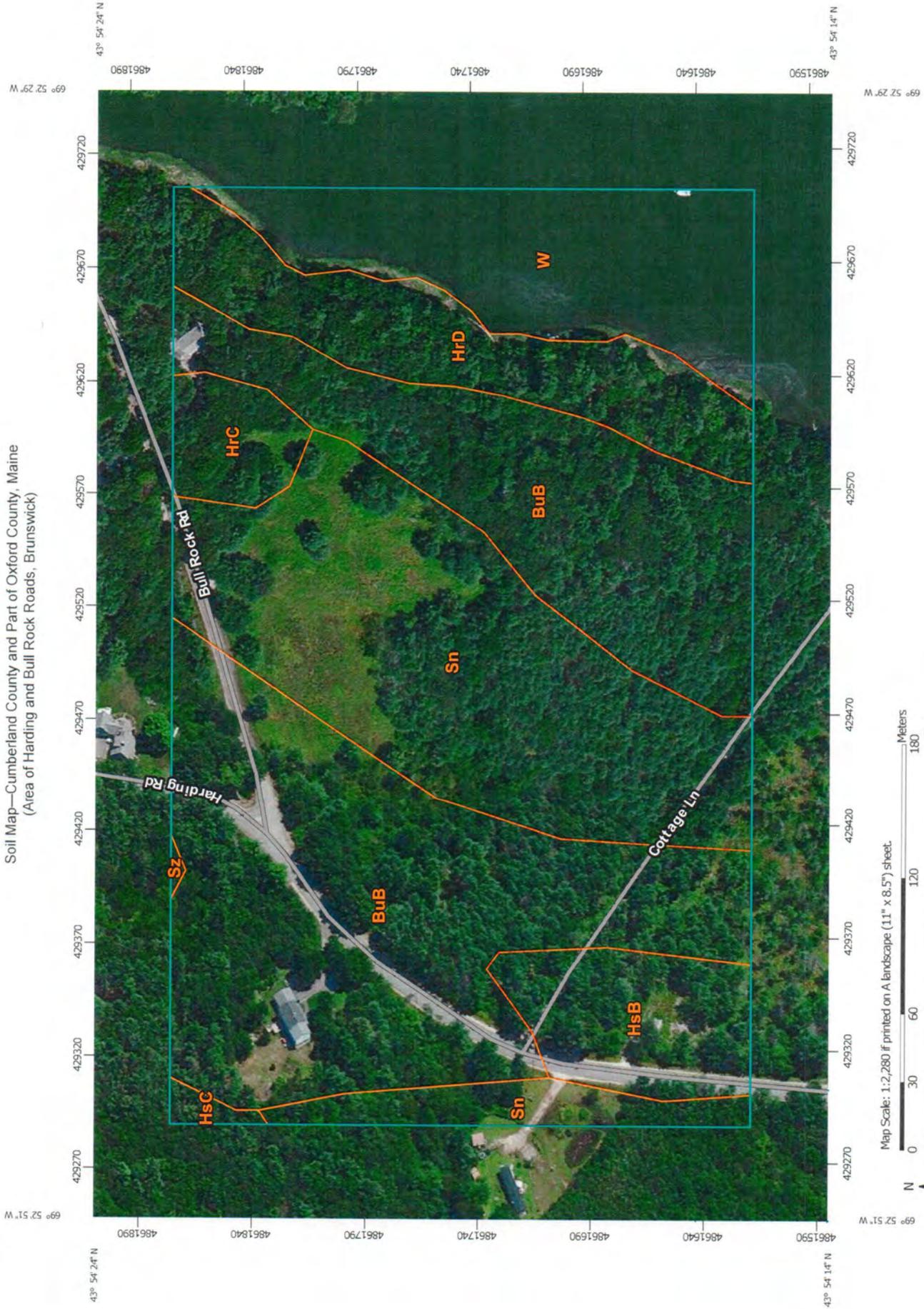


Figure 1.
Topographic Locus Map of the Area of Harding and Bull Rock Roads, Brunswick

Soil Map—Cumberland County and Part of Oxford County, Maine
(Area of Harding and Bull Rock Roads, Brunswick)



Map Scale: 1:2,280 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Soil Map Unit Polygons	 Very Stony Spot
 Soil Map Unit Lines	 Wet Spot
 Soil Map Unit Points	 Other
Special Point Features	Special Line Features
 Blowout	 Streams and Canals
 Borrow Pit	Transportation
 Clay Spot	 Rails
 Closed Depression	 Interstate Highways
 Gravel Pit	 US Routes
 Gravelly Spot	 Major Roads
 Landfill	 Local Roads
 Lava Flow	Background
 Marsh or swamp	 Aerial Photography
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine

Survey Area Data: Version 11, Sep 17, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 17, 2010—Jul 27, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Cumberland County and Part of Oxford County, Maine (ME005)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BuB	Buxton silt loam, 3 to 8 percent slopes	11.4	43.2%
HrC	Hollis fine sandy loam, 8 to 15 percent slopes	0.7	2.7%
HrD	Hollis fine sandy loam, 15 to 25 percent slopes	2.5	9.4%
HsB	Hollis very rocky fine sandy loam, 3 to 8 percent slopes	1.6	5.9%
HsC	Hollis very rocky fine sandy loam, 8 to 20 percent slopes	0.1	0.4%
Sn	Scantic silt loam, 0 to 3 percent slopes	6.9	26.2%
Sz	Swanton fine sandy loam	0.0	0.1%
W	Water	3.2	12.0%
Totals for Area of Interest		26.5	100.0%



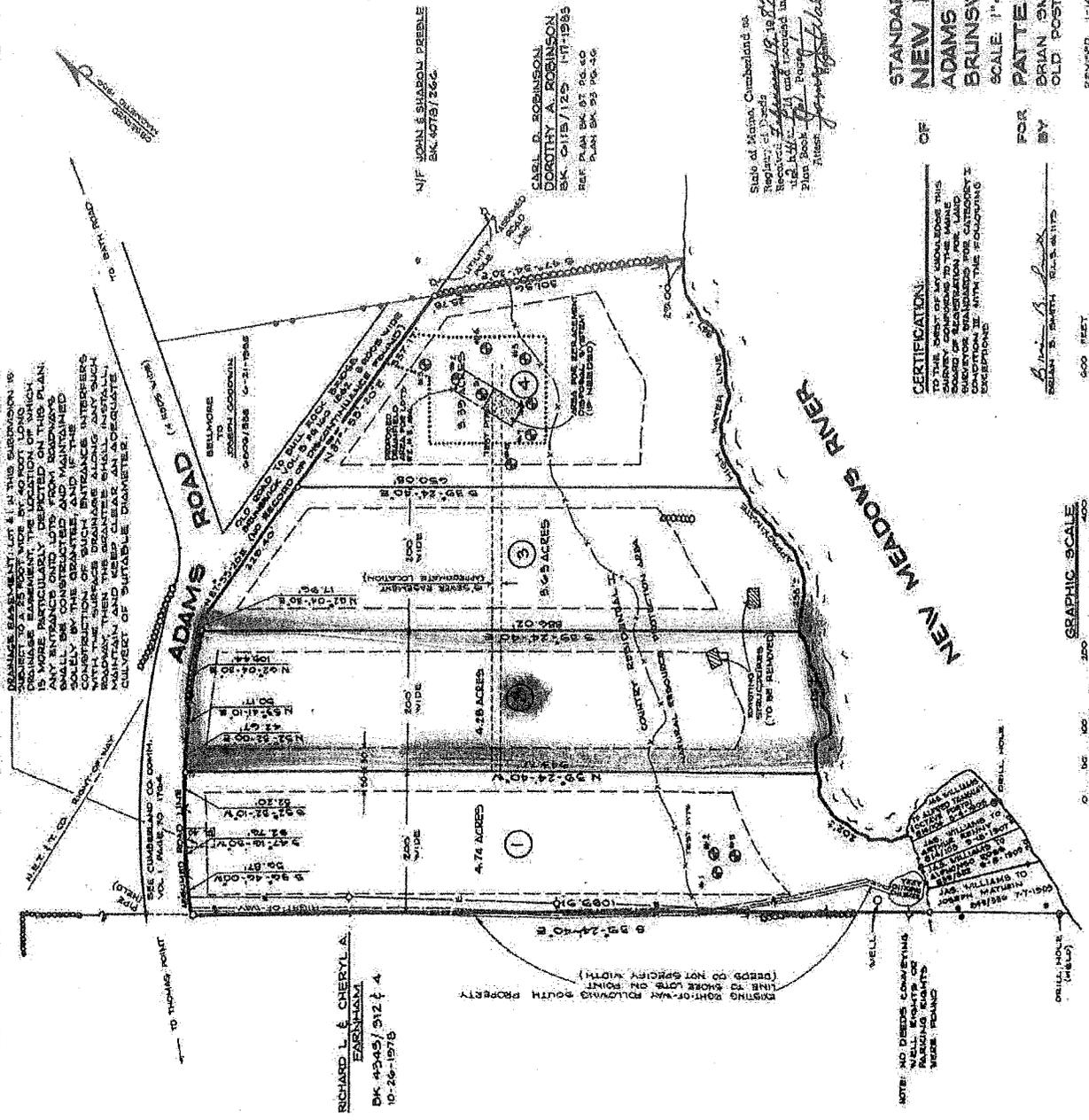
DRAINAGE BASIN SERVING LOT 4 IN THIS SUBDIVISION IS DRAINAGE BASIN 1. THE LOCATION OF WHICH IS MORE PARTICULARLY DEPICTED ON THIS PLAN. ANY ENHANCED DRAINAGE SYSTEMS SHALL BE MAINTAINED SOLELY BY THE GRANTEE, AND IF THE CONTRIBUTION OF SUCH ENHANCED INTERIORS EXCEEDS THE CAPACITY OF THE EXISTING SYSTEM, THE GRANTEE SHALL INSTALL, MAINTAIN, AND KEEP CLEAR AN ADEQUATE COLLECTOR OF SUITABLE DIAMETER.

- NOTES:**
1. ZONING - COUNTRY RESIDENTIAL II
 2. BUILDING SETBACKS - FRONT 5' 0", SIDE 5' 0", SHORELINE 12.5'
 3. LOTS 1-4 SHOWN IN TITLE JOHN Z. ROSE et al. TO FLORENCE E. COLLINS BK 4752/165 9-22-1990 FLORENCE E. COLLINS TO WILLIAM E. COLLINS BK 4752/148 3-19-1991 REF LYMAN E. SMITH TO JAMES WILLIAMS BK 596/175 10-30-1991
 4. 1/2" BEARS TO BE SET ON ALL LOT LINES
 5. TOTAL AREA 16.04 ACRES
 6. INFORMATION/COMMENTS CONCERNING THIS PLAN ARE ON FILE WITH THE PLANNING OFFICE (CASE NO. 06-074)
 7. LOT 4 IS DESIGNATED AS THE ONLY LOT A STRUCTURE CAN BE BUILT WITHIN THE NATURAL RESOURCE PROTECTION AREA. STRUCTURES ON THE REMAINING 3 LOTS SHALL NOT BE BUILT WITHIN THE NATURAL RESOURCE PROTECTION AREA.

LEGEND

- STONEWALL
- NATURAL RESOURCE PROTECTION AREA
- BUILDING SETBACK LINE
- EXISTING BEARER ROAD
- LOT LINE
- PROPERTY LINE
- 1/2" BEARS TO BE SET
- IRON PIPE/PIN FOUND
- POSSIBLE BUILDING SITE
- UTILITY POLE
- PROPERTY LINE NOT SURVEYED
- SEPTIC SYSTEM EASEMENT

APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD
WILLIAM E. COLLINS
DATE 10-29-97
JAMES WILLIAMS
DATE 11-03-97



W/F JOHN E. SHARON PEEBLE
BK 6781/262

CARL D. ROBINSON
DOROTHY A. ROBINSON
BK 4118/125 11-17-1985
REF PLAN BK 87 PG. 40
PLAN BK 85 PG. 36

State of Maine, Cumberland co.
Registry of Deeds
Received February 18, 1997
10:51 AM
U.S. 100-101 and 100-102
Plan Book 101 Page 101
Witness
James J. Hallowell

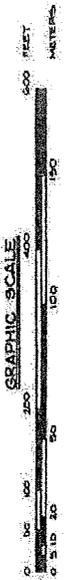
STANDARD BOUNDARY SURVEY
NEW MEADOWS RIVER ESTATES
ADAMS ROAD & ROAD TO BULL ROCK BRIDGE
BRUNSWICK, MAINE
SCALE 1" = 100'

DATE: OCTOBER 29, 1996
FOR PATTEN CORPORATION OF MAINE
BY BRIAN SMITH SURVEYING INC.
OLD POST ROAD, BOWDOINHAM, MAINE

REVISED 1-14-97 TO SHOW COMMERCIAL SEPTIC SYSTEM

CERTIFICATION:
TO THE BEST OF MY KNOWLEDGE THIS SURVEY ACCORDS TO THE MAINE SURVEYING STATUTES AND THE SUBDIVISION STANDARDS FOR CATEGORY II SURVEYS WITH THE FOLLOWING EXCEPTIONS:

Brian Smith
BRIAN SMITH SURVEYING INC.





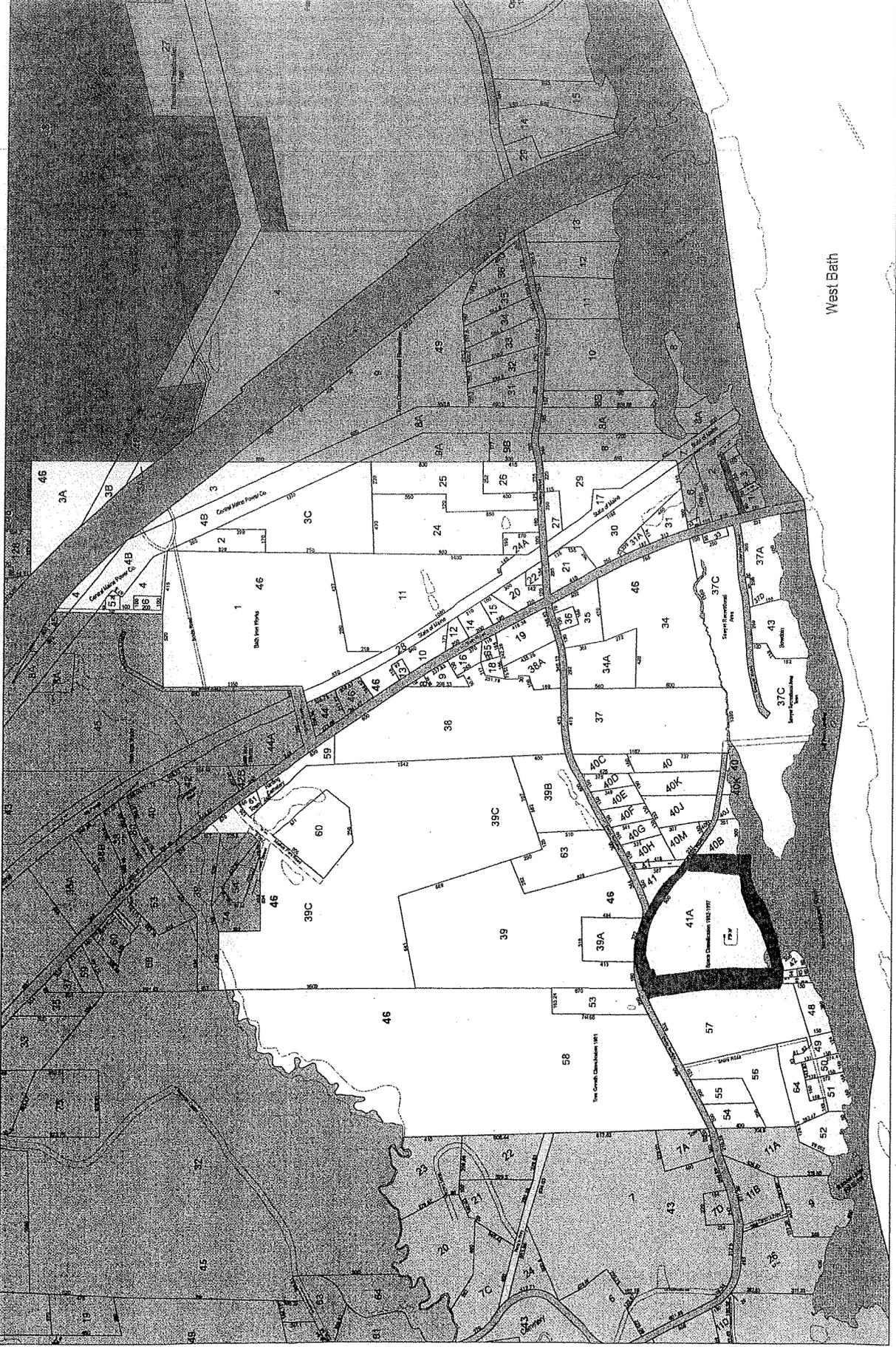
- Legend**
- Public Road
 - Private Road
 - ROW
 - Water
 - Hydrography Line
 - ROW Property Access
 - Other Road
 - Town Boundary
 - Other Lot Boundary
 - Parcel Lines

The information is provided as a
best effort representation of the
information available to the
Town of Brunswick.
The information is not intended to
be used for any other purpose.
Copyright 2014 by Brunswick, ME.



1 inch = 300 feet

Revised To: April 1, 2014
Maps Prepared by:
Town of Brunswick



West Bath

STATE OF MAINE

NAME KNOWN TO PHYSICIAN

DEPARTMENT OF HEALTH AND HUMAN SERVICES
CERTIFICATE OF DEATH

2013-511343
State File Number

DECEDENT

1a. FIRST NAME Myrtle		1b. MIDDLE NAME I.			1c. LAST NAME Collins		1d. JR., etc.	
2. DATE OF DEATH Actual date of death November 15, 2013		3. SEX Female	4. SOCIAL SECURITY NUMBER 005-42-4977		5a. AGE (Yrs) 70 Last Birthday	5b. UNDER 1 YEAR Months Days		5c. UNDER 1 DAY Hours Minutes
7. BIRTHPLACE Bucksport, Maine			8. WAS DECEDENT EVER IN U.S. ARMED FORCES? No		9. PLACE OF DEATH Hospice Facility			
10. FACILITY NAME Gosnell Memorial Hospice House					11. COUNTY OF DEATH Cumberland		12. CITY OR TOWN OF DEATH Scarborough	
13. MARITAL STATUS Married		14. SURVIVING SPOUSE/PARTNER William Collins			15. DECEDENT'S USUAL OCCUPATION Principal		16. KIND OF BUSINESS / INDUSTRY Education	
17. EDUCATION Master's Degree			18. ANCESTRY American			19. RACE White		
20. RESIDENCE STATE Maine	21. RESIDENCE COUNTY Cumberland		22. RESIDENCE CITY OR TOWN Westbrook			23. RESIDENCE STREET AND NUMBER 91 Forest Street		
24a. FATHER'S FIRST NAME Herman		24b. MIDDLE NAME G.			24c. LAST NAME Bennett		24d. JR., etc. Unknown	
25a. MOTHER'S FIRST NAME Clara		25b. MIDDLE NAME E.			25c. MAIDEN SURNAME Savage			

DISPOSITION

26. INFORMANT NAME Tami Hamilton		27. MAILING ADDRESS 91 Wildwood Circle Westbrook, Maine 04092	
28. METHOD OF DISPOSITION: Cremation			
29a. PLACE OF DISPOSITION Brooklawn Memorial Park Crematory		29b. LOCATION (City or Town, State) Portland, Maine	29c. DATE OF DISPOSITION November 19, 2013
30. SIGNATURE OF FUNERAL PRACTITIONER OR AUTHORIZED PERSON → Robert E. Blais III <i>Signature Electronically Authenticated</i>		31. NAME AND ADDRESS OF FACILITY OR AUTHORIZED PERSON Blais and Hay Funeral Home 35 Church St. Westbrook, Maine 04092	

CERTIFIER

32. CERTIFIER - To the best of my knowledge, death occurred at the time, date, and place, due to the cause(s) and manner as stated. <i>Signature and Title</i> → Isabella Stumpf Doctor of Osteopathy <i>Signature Electronically Authenticated</i>		33. DATE SIGNED November 16, 2013	
34. NAME AND ADDRESS OF CERTIFIER Isabella Stumpf 11 Hunnewell Road, Scarborough, Maine 04074			35. TIME OF DEATH Actual time of death 11:30 PM
36. REGISTRAR'S SIGNATURE → Martha L. Henson <i>Signature Electronically Authenticated</i>			37. DATE FILED November 18, 2013

MANNER OF DEATH

38. MANNER OF DEATH
Natural

CAUSE OF DEATH

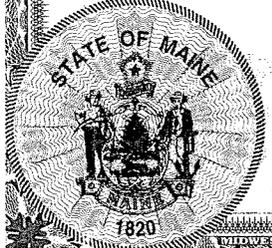
39. PART I.		Approximate Interval Between Onset and Death
IMMEDIATE CAUSE OF DEATH (Final disease or condition resulting in death)	→ a. <u>peritoneal carcinoma</u> DUE TO (OR AS A CONSEQUENCE OF):	<u>16 months</u>
	→ b. _____ DUE TO (OR AS A CONSEQUENCE OF):	_____
Sequential list of other conditions, if any, leading to immediate cause. The UNDERLYING CAUSE (Disease or injury which initiated events resulting in death) is entered LAST	→ c. _____ DUE TO (OR AS A CONSEQUENCE OF):	_____
	→ d. _____ DUE TO (OR AS A CONSEQUENCE OF):	_____
PART II. <u>Other significant conditions</u> contributing to death but not resulting in the underlying cause given in Part I.		

VS-3-ME R07/2009

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE ABSTRACT OR COPY OF A CERTIFICATE OR RECORD WHICH IS IN MY OFFICIAL CUSTODY.

TOWN OF: Scarborough
Yolande P. Justice
ATTEST: Yolande P. Justice, Town Clerk

DATE ISSUED: November 27, 2013



VS-31 This copy not valid unless prepared on engraved border displaying seal and signature of Registrar.

ANY ALTERATION OR ERASURE VOIDS THIS CERTIFICATE

STATE OF MAINE

PROBATE COURT

PORTLAND

Location of Court

CUMBERLAND

COUNTY

DOCKET NO.

2013-1533

Estate of MYRTLE I. COLLINS

LETTERS OF AUTHORITY OF
PERSONAL REPRESENTATIVE

TO: TAMI B. HAMILTON

91 WILDWOOD CIRCLE,

WESTBROOK ME 04092

You have been appointed PERSONAL REPRESENTATIVE of the estate of MYRTLE I. COLLINS
deceased who died on the 15th day of November, 2013
domiciled at WESTBROOK, ME

The decedent (check (a) or (b))

(a) Left a will.

(b) Left no will

If "Supervised," stamp or write in here:

You are to administer the estate according to the law. If decedent left a will, your powers may be restricted by the provisions of the will. If these letters are marked "SUPERVISED," your powers are restricted according to law and as the court may have ordered.

During the course of your administration, you must give heed to any proceedings in this court which may affect your rights and duties as personal representative. In particular, if a petition is filed requesting that this estate be placed under supervised administration, you shall not exercise your power to distribute any estate until further notice from this court.¹

You must regardless, of other proceedings:

1. Notify all heirs, devisees, and other persons entitled to notice of your appointment within 30 days of your appointment. See 18-A MRSA § 3-705 and Form N-115.
2. Prepare an inventory of the assets of this estate within three months after your appointment and furnish it to interested persons who request it. See 18-A MRSA § 3-706 and Form DE-405.

Your letter of acceptance of this position and trust was received on November 27th, 2013 And is conclusive evidence of your acceptance of your fiduciary obligations. You may be held personally liable for any violation of your duties under law with respect to the position you have accepted.

Date:

12/5/13

Register of Probate

John B. O'Brien

¹ See 18-A MRSA § 3-503

Fee In Lieu Of Land Acknowledgement

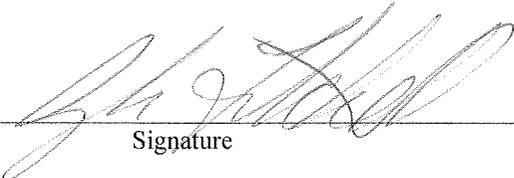
To: Estate of Myrtle I. Collins
c/o Tami Blake Hamilton, Personal Representative
91 Wildwood Circle
Westbrook, ME 04092

From: Brunswick Topsham Land Trust
108 Maine Street
Brunswick, ME 04011

This document serves as receipt of \$1,280.00 from the Estate of Myrtle I. Collins which satisfies the fee in lieu of land requirement for the New Meadows River Estates located at 282 Adams Road, Brunswick, ME 04011.

Date Received: 4/29/16

Received By: Angela Twitchell Executive Director
Print Name and Title

Signed By: 
Signature

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	BRUNSWICK	Town/City _____	Permit # _____
Street or Road	ADAMS ROAD	Date Permit Issued ___/___/___	Fee: \$ _____ Double Fee Charged []
Subdivision, Lot #	NEW MEADOWS RIVER Lot 2	Local Plumbing Inspector Signature _____ L.P.I. # _____	
OWNER/APPLICANT INFORMATION		CAUTION: INSPECTION REQUIRED	
Name (last, first, MI)	ESTATE OF MYRTLE COLLINS	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Mailing Address of Owner/Applicant	C/O TAMI HAMILTON 91 WILDWOOD CIRCLE WESTBROOK, ME 04092		
Daytime Tel. #			
OWNER OR APPLICANT STATEMENT		Municipal Tax Map # _____ Lot # _____	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (1st) date approved _____	
		Local Plumbing Inspector Signature _____ (2nd) date approved _____	

PERMIT INFORMATION			
TYPE OF APPLICATION <input checked="" type="checkbox"/> First Time System <input type="checkbox"/> Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> Expanded System a. <25% Expansion b. >25% Expansion <input type="checkbox"/> Experimental System <input type="checkbox"/> Seasonal Conversion	THIS APPLICATION REQUIRES <input checked="" type="checkbox"/> No Rule Variance <input type="checkbox"/> First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> Minimum Lot Size Variance <input type="checkbox"/> Seasonal Conversion Permit	DISPOSAL SYSTEM COMPONENTS <input checked="" type="checkbox"/> Complete Non-engineered System <input type="checkbox"/> Primitive System (graywater & alt. toilet) <input type="checkbox"/> Alternative Toilet, specify: _____ <input type="checkbox"/> Non-engineered Treatment Tank (only) <input type="checkbox"/> Holding Tank, _____ gallons <input type="checkbox"/> Non-engineered Disposal Field (only) <input type="checkbox"/> Separated Laundry System <input type="checkbox"/> Complete Engineered System (2000 gpd or more) <input type="checkbox"/> Engineered Treatment Tank (only) <input type="checkbox"/> Engineered Disposal Field (only) <input type="checkbox"/> Pre-treatment, specify: _____ <input type="checkbox"/> Miscellaneous Components	
SIZE OF PROPERTY 4.28 ISQ. FT. ACRES	DISPOSAL SYSTEM TO SERVE <input checked="" type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: <u>3</u> <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> Other: _____ (specify)	TO BE: TYPE OF WATER SUPPLY <input checked="" type="checkbox"/> Drilled Well <input type="checkbox"/> Dug Well <input type="checkbox"/> Private <input type="checkbox"/> Public <input type="checkbox"/> Other	
SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK <input checked="" type="checkbox"/> Concrete a. Regular ? b. Low Profile <input type="checkbox"/> Plastic <input type="checkbox"/> Other: _____ CAPACITY: <u>1000</u> GAL.	DISPOSAL FIELD TYPE & SIZE <input type="checkbox"/> Stone Bed <input type="checkbox"/> Stone Trench <input checked="" type="checkbox"/> Proprietary Device a. cluster array <input type="checkbox"/> Linear b. regular load <input type="checkbox"/> H-20 load <input type="checkbox"/> Other: _____ SIZE: <u>1152</u> sq. ft. in. ft.	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> multi-compartment tank <input type="checkbox"/> tanks in series <input type="checkbox"/> increase in tank capacity <input type="checkbox"/> Filter on Tank Outlet	DESIGN FLOW <u>270</u> gallons per day BASED ON: <input checked="" type="checkbox"/> Table 4A (dwelling unit(s)) <input type="checkbox"/> Table 4C (other facilities) SHOW CALCULATIONS for other facilities
SOIL DATA & DESIGN CLASS PROFILE CONDITION <u>81D</u> at Observation Hole # <u>1B-1</u> Depth <u>12"</u> of Most Limiting Soil Factor	DISPOSAL FIELD SIZING <input type="checkbox"/> Medium--2.6 sq. ft. / gpd <input type="checkbox"/> Medium--Large 3.3 sq. ft. / gpd <input checked="" type="checkbox"/> Large--4.1 sq. ft. / gpd <input type="checkbox"/> Extra Large--5.0 sq. ft. / gpd	EFFLUENT/EJECTOR PUMP <input type="checkbox"/> Not Required <input checked="" type="checkbox"/> May Be Required <input type="checkbox"/> Required Specify only for engineered systems: DOSE: _____ gallons	<input type="checkbox"/> Section 4G (meter readings) ATTACH WATER METER DATA
LATITUDE AND LONGITUDE at center of disposal area Lat. <u>43</u> d <u>54</u> m <u>20</u> s <u>13</u> Lon. <u>69</u> d <u>52</u> m <u>46</u> s <u>58</u> if g.p.s, state margin of error: _____			

SITE EVALUATOR STATEMENT			
I certify that on <u>5-20-16</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature	<u>262</u>	<u>5-23-16</u>	
<u>MARK CENCI</u>	SE #	Date	
Site Evaluator Name Printed	<u>329-3524</u>	Telephone Number	E-mail Address

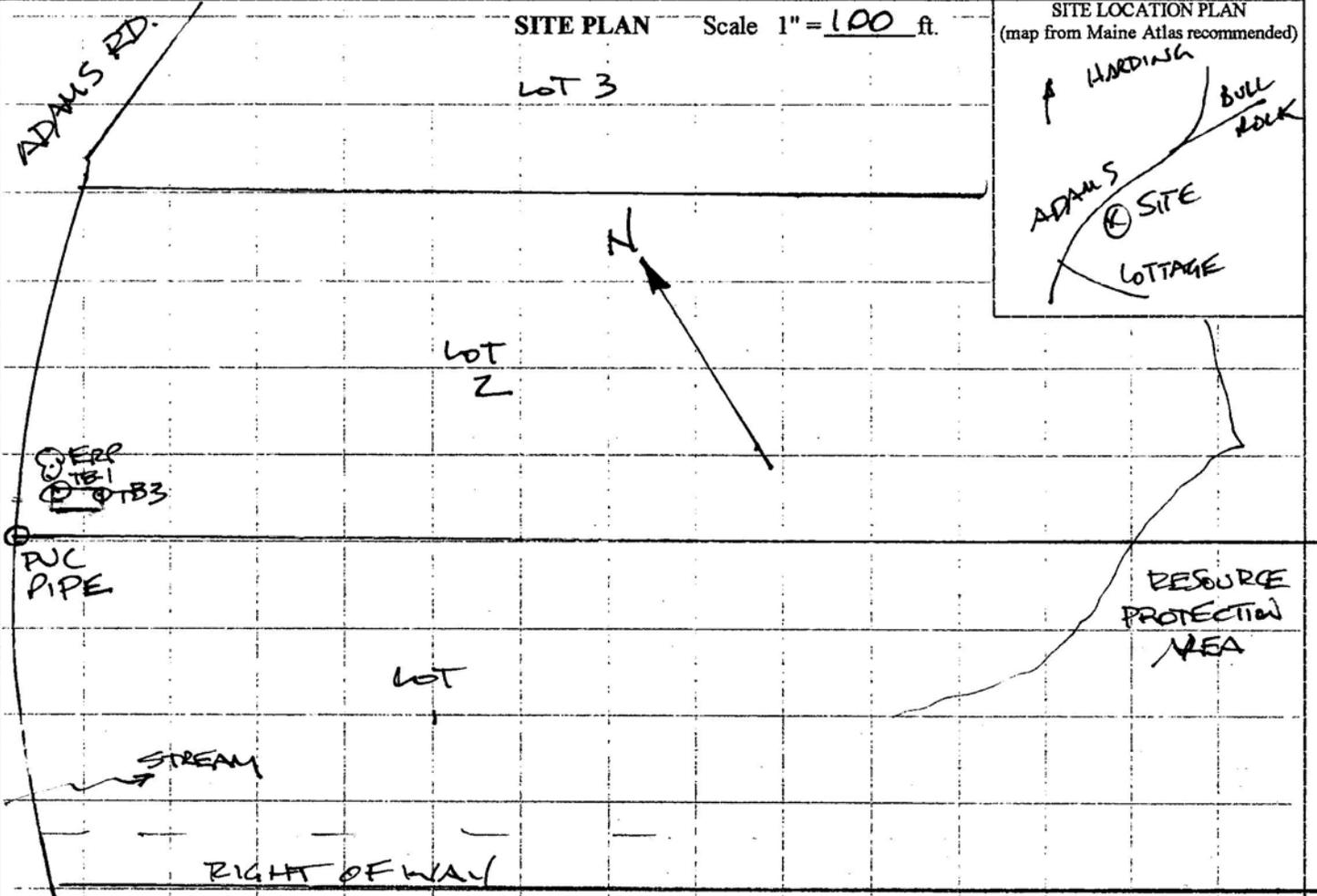
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3185

Town, City, Plantation
BRUNSWICK

Street, Road, Subdivision
ADAMS ROAD

Owner or Applicant Name
ESTATE OF MYRTLE COLLINS



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TB-1 Test Pit Boring
" Depth of organic horizon above mineral soil

Observation Hole # TB-2+3 Test Pit Boring
" Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0 FINE		DARK BROWN	
6 SANDY LOAM	FRAGILE	OLIVE YELLOW	
12 SILT LOAM	FIRM	OLIVE GRAY	FEW
18			
24			
30			
36			
42			
48			

Texture	Consistency	Color	Mottling
0 FINE		DARK BROWN	
6 SANDY LOAM	FRAGILE	OLIVE YELLOW	
12 SILT LOAM	FIRM	OLIVE GRAY	
18			
24			
30			
36			
42			
48			

Soil Profile: 8
Classification: D
Slope: 2-4 Percent
Limiting Factor: 14 Depth

Groundwater
 Restrictive Layer
 Bedrock
 Pit Depth

Soil Profile: 8
Classification: D/III
Slope: _____ Percent
Limiting Factor: 12-14 Depth

Groundwater
 Restrictive Layer
 Bedrock
 Pit Depth

Mark Quinn
Site Evaluator Signature

262
SE #

5-23-16
Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3185

Town, City, Plantation

BRUNSWICK

Street, Road, Subdivision

ADAMS ROAD

Owner or Applicant Name

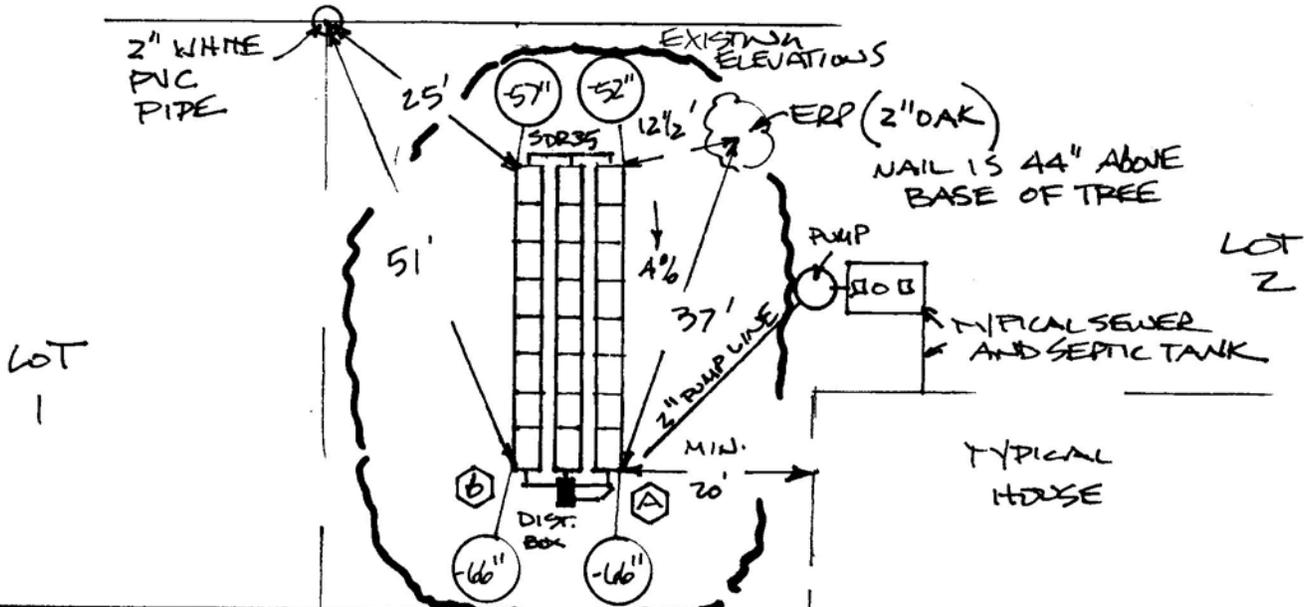
ESTATE OF MYRTLE COLLINS

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft.

24 ELVEN INDRAINS
3 ROWS OF 8
12" ROW SEPARATION
11' X 32'

ADAMS ROAD



BACKFILL REQUIREMENTS

Depth of Backfill (upslope) **23-28"**
Depth of Backfill (downslope) **37"**
DEPTHS AT CROSS-SECTION (shown below)

CONSTRUCTION ELEVATIONS

Finished Grade Elevation **-29"**
Top of PIPE **-37"**
Bottom of INDRAIN **-48"**

ELEVATION REFERENCE POINT

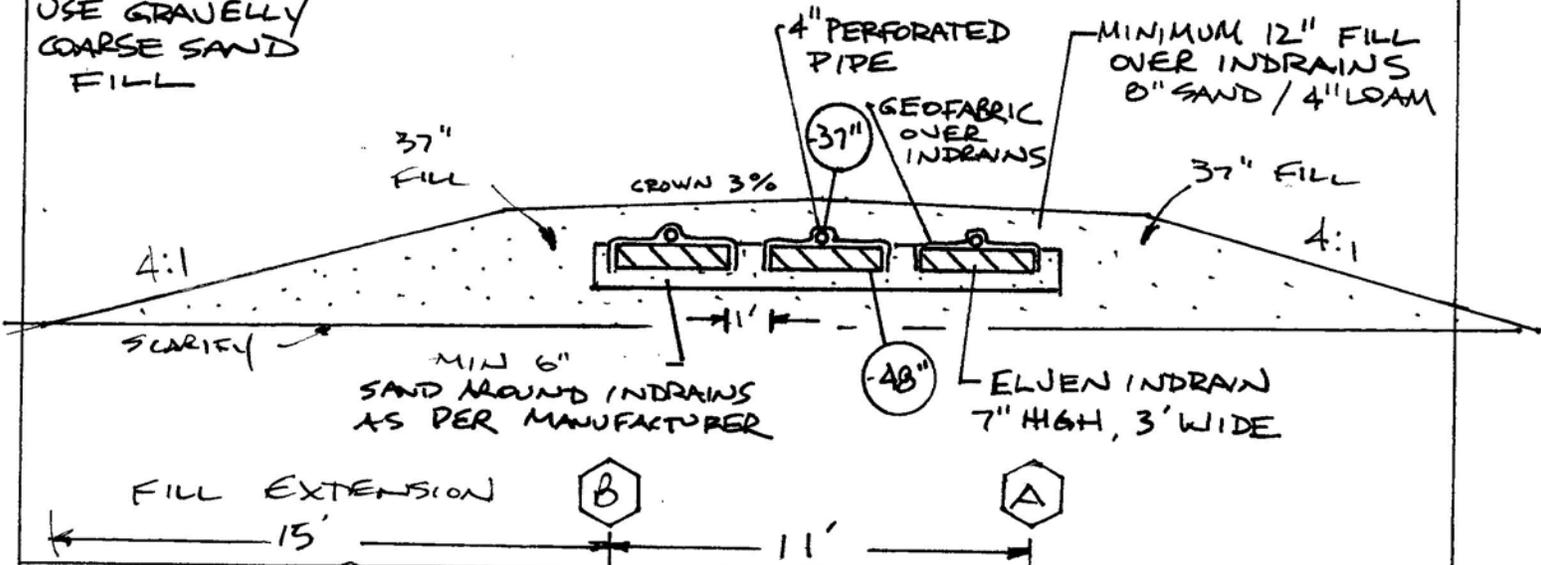
Location & Description: **NAIL IN 2" DIAMETER OAK TREE**

Reference Elevation is: 0.0" or _____

SCARIFY ALL GROUND TO BE FILLED. USE GRAVELLY COARSE SAND FILL

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 5 ft.
Horizontal: 1" = 5 ft.



Site Evaluator Signature *Michael Quinn*

SE # **262**

Date **5.23-16**



Proposed Septic

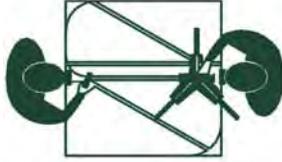

Proposed Septic Site
 Marck Cenci, Site Evaluator



5/23/2016

Note: Sitalines Survey geo-referenced MeGIS Orthophoto, 2006





May 20, 2016

3112-7

Jared Woolston, Town Planner
Town of Brunswick
85 Union Street
Brunswick, Maine 04011

**Re: New Meadows River Estates
Amended Subdivision Plan
282 Adams Road, Brunswick, ME
Tax Map 46 Lot 41A**

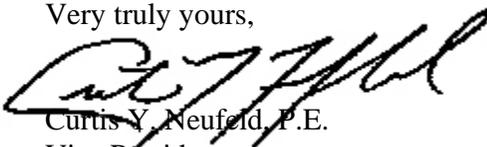
Jared:

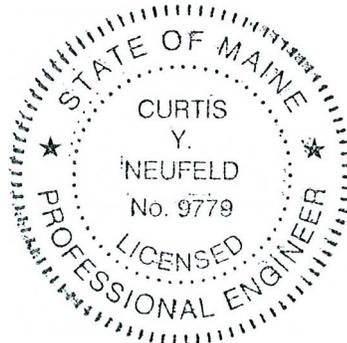
On behalf of Tami Hamilton, Sitelines PA has prepared the attached amended subdivision plan for the New Meadows River Estates in Brunswick Maine. The attached plan is a digital reproduction of the recorded subdivision plan originally prepared by Brian Smith Survey, Inc. in 1986. In addition to the data originally shown on the plan, we have added the Natural Resource Protection Zone (NRPZ). The NRPZ shows the 250-foot setback from the New Meadows River as well as a 75-foot setback from an apparent stream which traverses Lot 1. The 75-foot setback from the stream is shown on the town's GIS system. However, its relationship to the lot lines was ambiguous and we understand it raised concern regarding the ability to locate a new septic system on Lot 2 without encroaching on the setback. To resolve the ambiguity, Sitelines obtained 2-foot contour data from the state of Maine GIS Data Depot. This data was combined with the parcel boundary data for the Town of Brunswick to correlate the contours and the parcel boundaries. By using the contours to estimate the apparent channel location of the stream, we were able to draw the stream setback with reasonable accuracy.

Since none of the NRPZ boundary for the stream is within Lot 2, we can conclude that the passing test pit locations determined by Mark Cenci Geologic, Inc. would allow the construction of a septic system without encroachment. We hope this addresses the concerns raised regarding the septic system.

Upon review and approval of the attached amendment to the subdivision plan, a mylar will be produced for signature by the planning board. Note that the contours shown on the attached plan are not normally included on a subdivision plan to be recorded in the Registry of Deeds and are shown only for illustration.

Very truly yours,


Curtis Y. Neufeld, P.E.
Vice President

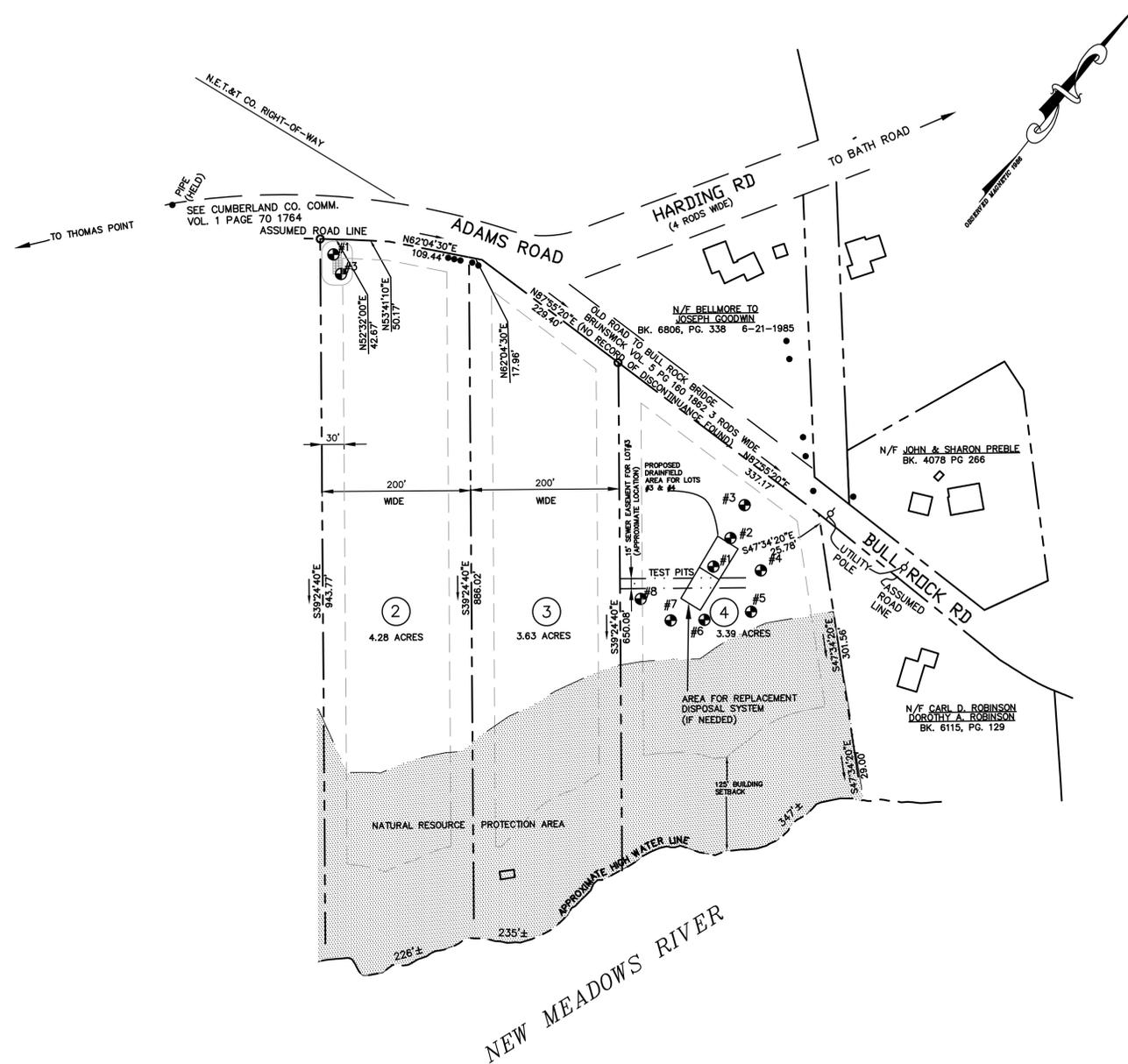


Enclosure

SITELINES

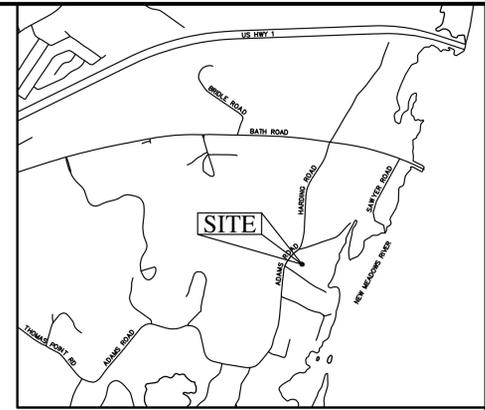
ENGINEERS ▪ PLANNERS ▪ SURVEYORS ▪ LANDSCAPE ARCHITECTS

8 Cumberland Street ▪ Brunswick, ME 04011 ▪ TEL 207 725-1200 ▪ FAX 207-725-1114 ▪ www.sitelinespa.com



NOTES:

- ZONING - FARM FOREST 3 / NEW MEADOWS RIVER AREA
- BUILDING SETBACKS - FRONT=25'
REAR=30', SIDE=30', SHORELINE=125'
- LOTS 1-4 CHAIN OF TITLE
JOHN Z. ROSE ET AL TO FLORENCE S. COLLINS
BK 4675 / 65 9-22-1980
FLORENCE S. COLLINS TO WILLIAM S. COLLINS
BK 4752 / 248 3-13-1981
REF. LYMAN E SMITH TO JAMES WILLIAMS
BK 586 / 73 10-30-1891
- 1/2" REBAR TO BE SET ON ALL LOT LINES
- TOTAL AREA=16.04 ACRES
- INFORMATION /COVENANTS CONCERNING THIS PLAN ARE ON FILE WITH THE PLANNING OFFICE (CASE NO. 86-074)
- LOT 4 IS DESIGNATED AS THE ONLY LOT A STRUCTURE CAN BE BUILT WITHIN THE NATURAL RESOURCE PROTECTION AREA. STRUCTURES ON THE REMAINING 3 LOTS SHALL NOT BE BUILT WITHIN THE NATURAL RESOURCE PROTECTION AREA.



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- TITLE REFERENCE FOR SURVEYED PARCEL:
BK 161, PG 1
- PLAN REFERENCE(S):
(1) STANDARD BOUNDARY SURVEY, NEW MEADOWS RIVER ESTATES, ADAMS ROAD & ROAD TO BULL ROCK RIDGE, BRUNSWICK, MAINE, DATED OCTOBER 29, 1986, PREPARED BY BRIAN SMITH SURVEYING, INC.
- AREA INFORMATION:
LOT AREA: 16.04 ACRES
- TAX MAP REFERENCE:
TAX MAP 46, LOT 41A
- BASIS OF BEARINGS:
BEARINGS ARE REFERENCED TO MAGNETIC NORTH AS OBSERVED IN 1986.
- ELEVATION DATUM:
NAD 83 (CONTOURS FROM MAINE STATE GIS DATABASE)
- SEPTIC SYSTEM DESIGN FOR LOT #2 BY MARK CENCI GEOLOGIC, INC., NORTH YARMOUTH, MAINE (SITE EVALUATOR #262). HHE-200 ON FILE WITH TOWN.
- APPROXIMATE HIGH WATER LINE, BASIS OF BEARINGS, AND TEST PIT LOCATIONS TAKEN FROM PLAN REFERENCE NUMBER 1. NOT NEW FIELD WORK WAS COMPLETED.

LEGEND

- MONUMENT FOUND
- IRON MARKER FOUND
- 5/8" REBAR TOPPED WITH AN ALUMINUM CAP READING "BRUCE W. MARTINSON - PLS 2137" TO BE SET
- BOUNDARY LINE OF SURVEYED PARCEL
- - - BOUNDARY LINE OF ABUTTERS (APPROX.)
- ROAD RIGHT OF WAY LINE (APPROX.)
- COMPUTATIONAL TIE LINE
- ○ ○ ○ ○ STONE WALL (APPROX.)
- EDGE OF TRAVELED WAY
- OHE UTILITY LINE
- O'COMP 13 UTILITY POLE WITH NUMBER
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- DH DRILL HOLE
- △ 4 ARBITRARY TRAVERSE POINT WITH NUMBER
- 12, 1001 ARBITRARY COMPUTATIONAL POINT NUMBER
- BK 10674, PG 197 DEED BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
- PB 195, PG 130 PLAN BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
- R/W RIGHT OF WAY
- N/F NOW OR FORMERLY HELD BY
- AC. ACRES
- ± MORE OR LESS
- ⊕ SEWER MANHOLE
- LIGHT POLE
- ⊕ CATCH BASIN
- ⊕ WATER SHUT OFF
- ⊕ HYDRANT
- ⊕ SIGN
- ⊕ WATER VALVE
- ⊕ ELEVATION TEMPORARY BENCH MARK
- ⊕ TEST PIT

SURVEYOR'S CERTIFICATION:

THE PREPARER HEREBY CERTIFIES THAT THIS SURVEY HAS BEEN UNDERTAKEN IN CONFORMANCE WITH THE RULES SET FORTH BY THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, DATED APRIL 1, 2001, FOR A BOUNDARY SURVEY.



DATE _____
BRUCE W. MARTINSON, PLS #2137

NOT VALID UNLESS EMBOSSED HERE

APPROVAL
TOWN OF BRUNSWICK PLANNING BOARD

DATE: _____
CHAIRMAN: _____

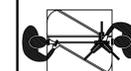
THE PURPOSE OF THIS PLAN IS TO AMEND THE APPROVED SUBDIVISION BY REMOVING THE SEWER EASEMENT BENEFITTING LOT #2. SANITARY WASTE DISPOSAL FOR LOT #2 IS TO BE PROVIDED BY ON SITE SUBSURFACE DISPOSAL. A SEPTIC SYSTEM DESIGN HAS BEEN COMPLETED AND FILED WITH THE TOWN OF BRUNSWICK.

1. 05-25-16 SUBMITTED TO TOWN OF BRUNSWICK CYN

AMENDED SUBDIVISION PLAN
LOTS 2, 3 AND 4

NEW MEADOWS RIVER ESTATES
282 ADAMS ROAD, BRUNSWICK, ME 04086

TAMI BLAKE HAMILTON
344 MAIN STREET, WESTBROOK, ME 04092

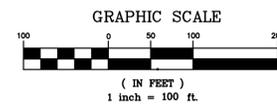


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ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK:	SCALE: 1"=100'	SHEET: 1
DRN BY: CYN	JOB #: 3094	
CHD BY:	MAP/LOT: 46/41A	
DATE: 5-25-16	FILE: -	



CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



PLANNING BOARD
Major Development Review
DRAFT Findings of Fact
May 31, 2016

Project Location: 26 Cumberland Street, Brunswick, ME 04011
Tax Map: Map U14, Lot 63
Zoning District: (TR1) Inner Pleasant Street Zoning District
Case Number: 16-017
Applicant: Amy McLellan, McLellan Nursing Enterprises

Authorized Representatives: Sitelines, P.A.
8 Cumberland St.
Brunswick, ME 04011

Staff reviewed the application and has determined it is complete.

PROJECT SUMMARY

Staff review is based on the Major Development Review application for, “The McLellan” dated May 2, 2016 and revised on May 25, 2016. The Town of Brunswick’s Staff Review Committee (SRC) reviewed the development proposal on May 18, 2016. Part of the applicant’s May 25, 2016 submission includes a narrative recapitulation of the SRC meeting, and additional supporting documentation in response to the SRC review.

The proposed activity involves reusing an existing three (3) story 5,678 square foot building which is the former site of the Skofield House, a 51-bed nursing home. The proposed use includes the development of five (5) full dwelling units for independent senior living, fourteen (14) congregate care senior living partial dwelling units, and one (1) partial dwelling unit for owner occupancy. The development includes various site modifications including the construction of a new 20-foot wide by 100-foot long ten (10) bay garage structure, new patios, and reconfiguring the parking lot and access way to the existing building’s entrance.

The application includes a project narrative, and a set of plans including: floor plans, site plans, and elevation plans. The plans for the proposed activity are listed below:

1. Drawing Sheet 1 entitled, “Site Development Plan” prepared by Sitelines, PA, dated April 15, 2016, and revised most recently on May 25, 2016;
2. Drawing Sheet 2 entitled, “Site Development Details” prepared by Sitelines, PA, dated April 15, 2016, and revised most recently on May 25, 2016;
3. Drawing Sheet 1 of 2 entitled “Proposed Elevations” prepared by Dick Campbell, LLC and dated April 22, 2016;
4. Drawing Sheet 2 of 2 entitled “Proposed Garage Elev/Details” prepared by Dick Campbell, LLC and dated April 22, 2016;

5. Drawing Sheet A3.1 entitled “First Floor Plan” prepared by 2A Architects, LLC and dated March 2016, and revised most recently on March 24, 2016
6. Drawing Sheet A3.2 entitled “Second Floor Plan” prepared by 2A Architects, LLC and dated March 2016, and revised most recently on March 24, 2016
7. Drawing Sheet A3.3 entitled “Third Floor Plan” prepared by 2A Architects, LLC and dated March 2016, and revised most recently on March 24, 2016

The applicant requests the following waivers in accordance with Section 410 of the Brunswick Zoning Ordinance:

1. Off-Street Parking – *The applicant calculated that eighteen (18) parking spaces would be required for the proposed development but further indicated that the proposed fourteen (14) parking spaces, and available on-street parking is sufficient for the proposed use. Further, the applicant cited Section 512.1 of the Zoning Ordinance as justification for the proposed waiver. Based on these supporting facts, the staff recommends approving the requested waiver in accordance with Section 410.*
2. Class A Soil Survey – *The applicant provided a Class C soil survey, and indicated that the soils on-site are suitable for the proposed use as indicated by the existing developed condition of the site. The staff discussed the proposed waiver with third party review engineer, Jim Seymour of Sebago Technics and understands on-site soils information may be required for the pending review of the stormwater management plan, specifically, within the area of the proposed drip edge for the proposed garage. Based on these supporting facts, the staff recommends approving the requested waiver in accordance with Section 410 provided on-site soils information is provided to the satisfaction of the third party review engineer through the review of the stormwater management plan.*
3. Profile, cross-section dimensions, curve radii of existing and proposed streets – *The applicant does not propose developing new streets, and no changes are proposed to existing streets. Based on these supporting facts, the staff recommends approving the requested waiver in accordance with Section 410.*

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The property is located in the (TR1) Inner Pleasant Street Zoning District, and the Village Review Overlay Zone. The proposed development was reviewed and approved by the Village Review Board (VRB) on May 24, 2016. The proposed development complies with all applicable provisions and requirements for the MU2 Zoning District. *The Board finds that the provisions of Section 411.1 are satisfied.*

411.2 Preservation of Natural Features

The project site is an existing developed area with limited natural features. The applicant identified areas of existing vegetated land, including all trees greater than 10 inches within the project vicinity. Trees that are proposed to be removed during construction are

indicated on the plan within the vicinity of the abutting property line for the installation of the proposed garage, and associated drip edge. The proposed development maximizes the preservation of natural features of the landscape, and does not occur within or cause harm to any land which is not suitable for development.

The Board finds that the provisions of Section 411.2 are satisfied.

411.3 Surface Waters, Wetlands and Marine Resources

The activity is entirely within existing developed areas, and is not located in direct proximity to any surface waters, wetlands, or marine resources. The proposed activity will not adversely affect the water quality of Casco Bay or its estuaries.

The Board finds that the provisions of Section 411.3 are satisfied.

411.4 Flood Hazard Areas

The development activity occurs within FEMA Zone C which is designated as “areas of minimal flooding”. The development activity proposes to increase the stormwater storage capacity on-site with the installation of a new drip edge and therefore minimizes any risk of flooding.

The Board finds that the provisions of Section 411.4 are satisfied.

411.5 Stormwater Management

The land topography depicted on the site plan indicates stormwater from the parcel is primarily directed off-site onto Cumberland Street and onto Union Street. Two (2) stormwater catch basins are depicted on the site plan within the Cumberland Street and Union Street intersection, and one (1) catch basin is depicted near the north end of the subject lot within Union Street. The site plan indicates that the three (3) catch basins are connected to the Town of Brunswick’s stormwater management system. The design of the proposed drip edge indicates an increase in stormwater storage capacity and therefore a post-development reduction in the amount of stormwater received by the town’s stormwater system. The proposed drip edge must comply with the recommended storm water quality standards described in Storm Water Management for Maine: Best Management Practices, published by the State of Maine Department of Environmental Protection, November, 1995 as amended. Third party review engineer, Jim Seymour of Sebago Technics was hired to review the proposed stormwater management plan at the request of the Director of Planning and Development. The third part review is expected to be completed sometime during the week of May 23, 2016. *The Board finds that the provisions of Section 411.5 are satisfied provided stormwater is managed to the satisfaction of the Director of Planning and Development.*

411.6 Groundwater

The proposed development will not, alone or in conjunction with existing activities adversely affect the quality or quantity of groundwater provided the bottom of the proposed drip edge is installed at the recommended separation distance between seasonal groundwater as outlined in the DEP’s Stormwater BMP manual, as amended.

The Board finds that the provisions of Section 411.6 are satisfied.

411.7 Erosion and Sedimentation Control

The proposed development has been designed to incorporate several of the Best Management Practices outlined in the Maine Erosion and Sediment Control BMPs published by the Maine DEP. Specific provisions for erosion control features have been provided on the plan. The proposed development will not cause unreasonable soil erosion or reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The applicant submitted a letter from the Brunswick Sewer District that indicates the proposed development can be served by municipal sewer.

The Board finds that the provisions of Section 411.8 are satisfied.

411.9 Water Supply

The applicant has not received written notification from the Brunswick Topsham Water District (BTWD) to demonstrate that the development has a water source that is adequate to serve the proposed development, and that will have no adverse impact on existing water supplies.

The Board finds that the provisions of Section 411.9 are satisfied provided written notification from the Brunswick Topsham Water District (BTWD) which demonstrates that the development has a water source that is adequate to serve the proposed development, and that will have no adverse impact on existing water supplies is submitted to the satisfaction of the Director of Planning and Development prior to the issuance of a building permit.

411.10 Aesthetic, Cultural and Natural Values

The proposed project does not affect applicable aesthetic, cultural and natural values pursuant to the Zoning Ordinance. Therefore, the project will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, or significant wildlife habitats identified by the DEP or the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. *The Board finds that the provisions of Section 411.10 are satisfied.*

411.11 Community Impact

Municipal resources are available to service the project, and on-site or off-site impacts associated with the development of the project will be mitigated. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

The proposed activity includes minor modifications to traffic in and out of the facility and therefore will not cause unreasonable public road congestion or unsafe conditions with respect to the use of existing public roads, specifically, Union Street and Cumberland Street. *The Board finds that the provisions of Section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The proposal is designed to accommodate bicyclists and pedestrians, and addresses issues of bicycle and pedestrian access, safety and circulation both within the site and to points outside of the site. The proposal was reviewed and found acceptable by Brunswick's Bicycle and Pedestrian Advisory Committee (BBPAC) on May 19, 2016. The site plan was revised to depict the location of the proposed bike rack on May 25, 2016. *The Board finds that the provisions of Section 411.13 are satisfied.*

411.14 Development Patterns

As proposed, the development is respectful of Brunswick's historic development pattern within the growth area and will have no adverse impact on adjacent residential areas. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

The proposed building plans and elevations are included in the application. The Village Review Board issued an approval for a certificate of appropriateness on May 24, 2016. The proposed development is compatible with its surroundings in terms of its size, scale, mass and design.

The Board finds that the provisions of Section 411.15 are satisfied.

411.16 Municipal Solid Waste Disposal

The applicant anticipates that the project will produce minimal additional solid waste. Therefore, the proposed development will not cause an unreasonable burden on the municipality's ability to dispose of solid waste, if municipal services are to be utilized. *The Board finds that the provisions of Section 411.16 are satisfied.*

411.17 Recreation Needs

The proposed project is not a residential development and is therefore not subject to Section 411.17.

The Board finds that the provisions of Section 411.17 are not applicable.

411.18 Access for Persons with Disabilities

The floor plans indicate the State Fire Marshall issued a permit on May 6, 2016 for the proposed development. Therefore, the project complies with the Americans with Disabilities Act, in a manner which is compatible with Brunswick's historic architecture. *The Board finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The application states that the applicant is in the process of securing commercial financing to complete the development and begin operations. The application indicates that a letter of financial capacity is forthcoming from a financial institution. *The Board finds that the provisions of Section 411.19 are satisfied provided proof of financial capacity and maintenance is provided to the satisfaction of the Director of Planning and Development prior to the issuance of a building permit.*

411.20 Noise and Dust

The proposed development will not contribute to unreasonable noise and dust, both during construction and after the development has been completed. The applicant submitted an Erosion and Sedimentation Control Plan which includes compliance with the noise and dust requirements of the Zoning Ordinance. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

The applicant has sufficient right, title and interest in the subject property. A copy of the right, title and interest documentation is included in the application. *The Board finds that the provisions of Section 411.21 are satisfied.*

411.22 Payment of Application Fees

The Major Project Development Review fees are paid in the full amount. *The Board finds that the provisions of Section 411.22 are not applicable.*

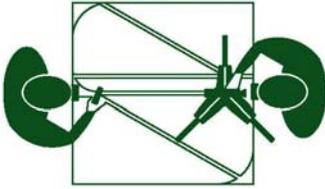
DRAFT MOTIONS
CASE #16-017

Motion 1: That the requested waivers are approved.

Motion 2: That the Final Plan is deemed complete.

Motion 3: That the Final Plan is approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to the issuance of a building permit, a stormwater management plan shall be submitted to the satisfaction of the Director of Planning and Development.
3. That prior to the issuance of a building permit, written notification from the Brunswick Topsham Water District (BTWD) which demonstrates that the development has a water source that is adequate to serve the proposed development, and that will have no adverse impact on existing water supplies is submitted to the satisfaction of the Director of Planning and Development.
4. Prior to the issuance of a building permit, proof of financial capacity and maintenance is provided to the satisfaction of the Director of Planning and Development.



May 25, 2016

3072-7

Jared Woolston, Town Planner
Town of Brunswick
85 Union Street
Brunswick, Maine 04011

**Re: Major Development Review
Final Plan Application
THE MCLELLAN
26 CUMBERLAND ST., BRUNSWICK, MAINE
Tax Map U14, Lot 63**

Dear Jared,

On behalf of Amy McLellan and McLellan Nursing Enterprises, Sitelines, PA is pleased to submit the enclosed Major Development Review Final Application and supporting materials for the development of a Developmental Subdivision and Site Plan to be located at the northwesterly quadrant of intersection of Cumberland Street and Union Street. As the substantial structure on the site will remain and the impervious area of the site will be maintained, we are requested the Board review this project for both Sketch Plan and Final Plan at the same time.

PROPERTY

Amy McLellan has a Purchase and Sale Agreement for the 0.56-acre property located at 26 Cumberland Street (Tax Map U14, Lot 63). The facility was previously utilized as the Skofield House Nursing Home. The property is located in the Inner Pleasant Street (TR1) Zoning District. The existing site is covered by 14,817 s.f. of impervious area, which exceeds the 50% allowed by the Ordinance. Proposed improvements will not exceed the existing impervious area of 60.5%.

OVERVIEW

The existing 3-story 5,678 sq. ft. footprint building was previously the site of the Skofield House, a 51-bed nursing home. The facility will be renovated to accommodate five (5) independent senior living apartments, fourteen (14) congregate care senior living units, and an owner-occupied unit. The interior modifications will include five (5) common areas, a commercial grade kitchen, a dining room, a fitness center, a theatre room, and a pub/lounge.

SITE DESIGN

The site modifications will include the removal of two shed structures, a gazebo and paved areas to accommodate the proposed new site features. New Site features will include a ten (10) bay 20'x100' garage, a portico, an under drained stone drip edge behind the garage for stormwater attenuation, and paver patios adjacent to several units. Including the garage bays, the site will

provide 16 designated parking spaces, of which two will be accessible. The existing paved service area on the north side of the building will continue to serve for deliveries, trash collection, and potential overflow parking when necessary.

At the Staff Review Meeting on May 18, 2016, the staff had concerns regarding clearance under the drop-off canopy, the parking space located off Union Street, the absence of a bike rack, and the ability of a vehicle to make a turning movement into the site to access the drop-off lane. Based on their comments, the height of the drop-off canopy has been indicated as a minimum of 9'-7", the parking space off Union Street has been eliminated, a bike rack has been added to the plans, and a plan has been included with this package showing that a vehicle can enter the site and access the drop-off lane without impacting any parking spaces.

WAIVERS

Based on the specifics of the project, the Applicant will request waivers for the following application items:

- **Off-Street Parking.** Based on the number of apartments and units, 18 parking spaces would be required for the project. As there are fourteen (14) congregate care units, of which a portion will not have vehicles, the number of provided spaces is more than adequate to serve the proposed use. In addition, there is off-street parking available in the surrounding area that could be used in situations in which the parking lot is full. Also, per Section 512.1 of the Zoning Ordinance, senior citizen housing and single-bedroom dwelling units are specifically mentioned as uses in which a waiver would be acceptable.
- **Class A Soil Survey.** The project is located on soils suitable for the proposed use. The site is served by municipal water and sewer services; therefore a soils survey is not necessary.
- **Profile, cross-section dimensions, curve radii of existing streets.** No changes are proposed to existing streets.

REVIEW STANDARDS

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 5: DEVELOPMENT REVIEW PLAN STANDARDS* of the Ordinance.

501 PRESERVATION OF NATURAL FEATURES AND NET SITE AREA:

The proposed changes will maintain the existing impervious area.

502 FLOOD HAZARD AREA:

The site is located within Zone C, designated as "areas of minimal flooding" on the Flood Insurance Rate Map (FIRM) for the Town of Brunswick.

503 STEEP SLOPES AND EMBANKMENTS.

There are no steep slopes or embankments that would prohibit development on this site.

504 STORM WATER MANAGEMENT:

As part of the proposed improvements, a crushed stone drip edge will be constructed on the rear of the proposed garage building. This drip edge will be constructed to promote infiltration. The proposed improvements will remove in excess of 2,200 s.f. of impervious area from the municipal drainage system within Union Street, which currently floods during heavier rain events. There are no adverse impacts to the municipal storm system anticipated as part of the proposed project.

505 GROUNDWATER:

The project will be serviced by public water and sewer systems. There are no adverse impacts to groundwater anticipated from this development.

506 EROSION AND SEDIMENTATION:

The disturbed areas of the site will be isolated through the use of silt sock and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

507 SEWAGE DISPOSAL:

The project is currently connected to the public sewer system. A letter has been sent to the Brunswick Sewer District, requesting their ability to serve the proposed development. Upon receipt of a response letter, a copy will be forwarded to the Town.

508 WATER SYSTEM:

The project is currently connected to the public water system. A letter has been sent to the Brunswick and Topsham Water District, requesting their ability to serve the proposed development. Upon receipt of a response letter, a copy will be forwarded to the Town.

509 COMMUNITY FACILITIES IMPACT ANALYSIS:

The anticipated impacts on public services such as police, fire and public works would be what are regularly associated with a residential apartments and congregate care facilities. A reduction in required services from the previous 51-unit facility is anticipated.

510 DEVELOPMENT IMPACT FEES:

As this project is a re-use of an existing facility, no new impact fees are proposed.

511 DEVELOPMENT OF NEW STREETS:

No new streets are proposed.

512 OFF STREET PARKING:

There are sixteen (16) spaces proposed, including the garage bays. Two (2) of the spaces will be ADA accessible.

513 CURB CUTS:

The project will continue to utilize the two existing curb cuts on Cumberland Street and Union Street.

514 OFF STREET LOADING:

The project will continue to use the existing service/loading area on the north side of the building. Solid waste will be collected in on-site dumpsters located in this service area and removed by a licensed disposal service.

515 APPEARANCE ASSESSMENT:

The façade of the existing brick building will be enhanced with architectural elements, shutters and window boxes, as shown on the attached elevations. The proposed garage will be wood construction and is designed to blend with the historical architecture of the neighborhood.

516 BUILDING CONFIGURATION:

The existing three story brick structure will remain. A 22'x100' garage with 10 bays for residents will be constructed on a portion of the existing parking area.

517 PRESERVATION OF HISTORIC RESOURCES:

There are no historic resources associated with this project.

518 ACCESS FOR PERSONS WITH DISABILITIES:

The main entrance and one ground floor unit will be ADA accessible. The building is equipped with an elevator serving all three levels. Two parking spaces nearest the main entrance will be ADA accessible.

519 RECREATIONAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENTS:

The project will provide internal recreational facilities, including a fitness center, and a theatre room, a pub/lounge area, passive outdoor spaces, as well as programming for the residents.

520 FISCAL CAPACITY:

The applicant is in the process of securing commercial financing to complete the improvements and begin operations. A letter of financial capacity is forthcoming from the financial institution.

521 PERFORMANCE GUARANTEE:

No work is proposed in the public right-of-way, therefore a performance guarantee is not proposed.

522 HOME OWNERS/PROPERTY OWNERS ASSOCIATION:

N/A

523 PROTECTED CONSERVATION LAND:

N/A

524 NOISE AND DUST:

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP's as published by the Maine Department of Environmental Control, will be utilized to control noise and dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust. The proposed use will occur almost exclusively within the building.

We look forward to meeting with you and the Planning Board at their May 31, 2016 meeting to review the project and gain their approval. We appreciate your assistance with this project. Should you have any questions, please call or contact me via kclark@sitelinespa.com.

Very truly yours,

Kevin P. Clark

Kevin P. Clark, PLS
President

Enclosures

cc: Amy McLellan

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: _____

2. Project Applicant

Name: _____

Address: _____

Phone Number: _____

3. Authorized Representative

Name: _____

Address: _____

Phone Number: _____

4. List of Design Consultants. Indicate the registration number, address and phone number Of any engineer, surveyor, architect, landscape architect or planner used:

1. _____

2. _____

3. _____

5. Physical location of property being affected: _____

6. Lot Size: _____

7. Zoning District: _____

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? _____

9. Assessor's Tax Map _____ Lot Number _____ of subject property.

10. Brief Description of proposed: _____

11. Describe Specific Physical Improvements to be Done: _____

Owner Signature: _____

Applicant Signature (if different): _____

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development						
Scale, date, north point, area, number of lots (if subdivision)						
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.						
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.						
Existing zoning district and overlay designation.						
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.						
Names of current owner(s) of subject parcel and abutting parcels.						
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.						
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.						
Existing and proposed easements associated with the development.						
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.						
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.						

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.					
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.					
Topography with counter intervals of not more than 2 feet.					
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.					
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to removed as a result of the development proposal.					
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.					
Existing locations and proposed locations, widths and profiles of sidewalks.					
Location map.					
Approximate locations and dimensions of proposed parking areas.					
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.					
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.					
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.					
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.					
Dedicated public open specs, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.					

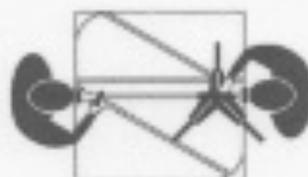
For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the number of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.						
Building envelopes showing acceptable locations for principal and accessory structures.						

FINAL PLAN/SUPPORTING DOCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.						
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.						
Draft performance guarantee or conditional agreement.						
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.						
Any additional studies required by the Planning Board, which are deemed necessary in accordance with this Ordinance.						
Storm water management program for the proposed project prepared by a professional engineer.						
A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District made available at the Brunswick Department of Planning and Development.						

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.						
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.						
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.						
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.						
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.						
Where a septic system is to be used, evidence of soil suitability.						
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.						
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.						
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.						
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.						
The size and proposed location of water supply and sewage disposal systems.						
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.						



May 2, 2016

3072

Amy McLellan
75 Union Street
Brunswick, ME 04011

**Re: Designation of Agent Authorization
Residential Subdivision
26 Cumberland Street, Brunswick**

Dear Amy,

As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for you and McLellan Nursing Enterprises, for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the proposed residential subdivision to be located at 26 Cumberland Street in Brunswick, Maine.

Sincerely,

Kevin P. Clark, PLS
President

The undersigned hereby gives Sitelines, PA the authority to act as agent for myself and McLellan Nursing Enterprises, for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.

Amy McLellan 5-2-16
Amy McLellan Date

CONTRACT FOR THE SALE OF COMMERCIAL REAL ESTATE

RECEIVED from Amy McLellan, whose mailing address is 75 Union Street, Brunswick, ME 04011 (hereinafter called "Purchaser"), this 12th day of January, 2016, the sum of [redacted] Dollars (\$ [redacted]) as earnest money deposit toward purchase and sale of certain real estate owned by SHMAR LLC, Mitchell A. Rousseau (hereinafter called the "Seller") and located at 26 Cumberland Street in the city/town of Brunswick, County of Cumberland, State of Maine, described as follows: three-story, elevator 17,100+/- square foot brick building on a 0.56 acre lot at the corner of Cumberland and Union Streets. Property includes 21+ paved parkings spaces and a commercial kitchen and laundry area. and being more fully described at said County Registry of Deeds in Book 25725, Page 220, upon the terms and conditions indicated below.

1. PERSONAL PROPERTY: The following items of personal property are included in this sale (if applicable): All furniture, kitchen equipment, and laundry appliances on site as of January 5, 2015.

2. PURCHASE PRICE: The total Purchase Price is [redacted] Dollars (\$ [redacted]), with payment made as follows: Earnest money to be delivered on or before 01/15/2016: \$ [redacted]; Other: None; Other: None; Balance due at closing, in immediately-available funds: \$ [redacted]

3. EARNEST MONEY/ACCEPTANCE: Insights Real Estate LLC ("Escrow Agent") shall hold the earnest money in a non-interest bearing account and act as escrow agent until closing. This offer shall be valid until January 19, 2016 at 5 ([] AM [X] PM). In the event of Seller's non-acceptance of this offer, the earnest money shall be returned promptly to Purchaser.

4. TITLE: Within 60 days of the Effective Date (the "Title Review Period"), Purchaser shall notify Seller in writing (the "Title Objection Notice") of any matters affecting title to the property that are objectionable to Purchaser in Purchaser's sole discretion ("Title Defects"). Purchaser shall be deemed to have waived the right to object to any matter affecting title as of the Effective Date, except for any mortgage, tax lien, mechanics' lien, judgment lien, or other liens encumbering the property (for which no objection is required), if Purchaser fails to specifically identify such matters in the Title Objection Notice (each matter not objected to being a "Permitted Encumbrance"). Within seven (7) days of Seller's receipt of the Title Objection Notice, Seller shall notify Purchaser in writing whether or not Seller elects to cure any of the matters identified in the Title Objection Notice. If Seller elects to cure certain Title Defects, Seller shall use good faith efforts to cure such Title Defects and shall have a period of not more than thirty (30) days after notice of Seller's election within which to cure any such Title Defects (the "Title Cure Period"), and the Closing Date shall be extended until five (5) days after the expiration of the Title Cure Period. Seller agrees that, after the Effective Date, it shall not permit or suffer encumbrance of the property with any liens, easements, leases or other encumbrances without Purchaser's prior written consent, except that Purchaser shall not unreasonably withhold or delay its consent to new leases. On or before the Closing Date, Seller shall remove at its sole cost any such matters affecting the title to the property suffered or created by or consented to by Seller after the Effective Date that are not approved in writing by Purchaser. If Seller elects not to cure any Title Defects or if Title Defects which Seller elects to cure are not cured within the Title Cure Period, then Purchaser shall elect, by written notice to Seller on or before the Closing Date, as the same may be extended, either (i) to accept title to the property subject to such uncured Title Defects without reduction of the purchase price and without any liability on the part of Seller therefor, in which case such Title Defects shall be Permitted Encumbrances, or (ii) to terminate this Contract, whereupon the earnest money immediately shall be returned to Purchaser and neither party shall have any further obligations under this Contract.

5. DEED: In return for payment in full of the purchase price, Seller shall convey the property on 06/01/16 (the "Closing Date") to Purchaser by Maine Statutory Short-Form Warranty Deed (the "Deed"), and the parties agree to execute and deliver on the Closing Date such other documents that are customary and/or reasonably necessary to complete the conveyance. It is a condition to Purchaser's obligations hereunder that title to the property shall be free and clear of all liens and encumbrances except for the following matters and otherwise in compliance with the requirements of this Contract: (i) zoning restrictions and land use laws and regulations and permits and approvals issued pursuant thereto; (ii) current taxes and assessments attributable to periods from and after the Closing, which Purchaser shall be liable to pay; (iii) leases and occupancies disclosed to Purchaser pursuant to Section 11 below; and (iv) any Permitted Encumbrance.

Insights Real Estate LLC, 78 Old Stage Road Woolwich, ME 04579 Phone: (207)846-1100 Fax: Peter Piccirillo Produced with WinForm by real estate 1870 Fifth Mile Road, Escanaba, Michigan 49829 www.realestate.com

6. LEASES/TENANT SECURITY DEPOSITS: Seller agrees at closing to transfer to Purchaser, by proper assignment thereof, all Seller's rights under the current leases to the property and any and all security deposits held by Seller pursuant to said leases.
7. POSSESSION/OCCUPANCY: Possession/occupancy of property shall be given to Purchaser on the Closing Date subject only to the leases and tenancies disclosed to Purchaser pursuant to Section 11 below, unless otherwise agreed by both parties in writing.
8. RISK OF LOSS: Until transfer of title, the risk of loss or damage to the property by fire or otherwise is assumed by Seller unless otherwise agreed in writing. The property shall at closing be in substantially the same condition as of the Effective Date, excepting reasonable use and wear. If the property is materially damaged or destroyed prior to closing, Purchaser may either terminate this Contract and be refunded the earnest money deposit, or close this transaction and accept the property in its as-is condition together with an assignment of the Seller's right to any insurance proceeds relating thereto.
9. PRORATIONS: The following items shall be prorated as of the Closing Date:
 - a. Real Estate Taxes based on the municipality's tax year. Seller is responsible for any unpaid taxes for prior years.
 - b. Fuel.
 - c. Metered utilities, such as water and sewer, shall be paid by the Seller through the date of closing.
 - d. Purchaser and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine.
 - e. Rents, estimated monthly common area maintenance charges, estimated monthly property tax payments, and all other additional revenue received by Seller pursuant to leases of the property.
 - f. None
10. DUE DILIGENCE: Purchaser is advised to seek information from professionals regarding any specific issue of concern. Purchaser acknowledges receipt of property disclosure form attached hereto. Neither Seller nor the Real Estate Licensees identified below make any representations or warranties regarding the condition, permitted use or value of Seller's real or personal property. Purchaser's obligation to close under this Contract is conditioned upon Purchaser's satisfaction with its investigations of the property, which may without limitation include survey, environmental assessment, engineering studies, wetlands or soils studies, zoning compliance or feasibility, and code compliance, all within 97 days of the Effective Date.

All investigations will be done by professionals chosen and paid for by Purchaser. If the result of any investigation is unsatisfactory to Purchaser, Purchaser may declare this Contract null and void by notifying Seller in writing within the specified number of days set forth above, and said earnest money shall be returned to Purchaser. If Purchaser does not notify Seller that Purchaser's investigations are unsatisfactory within the time period set forth above, this contingency is waived by Purchaser. In the absence of any investigations(s) mentioned above, Purchaser is relying completely upon Purchaser's own opinion as to the condition of the property. Purchaser agrees to restore any disturbance to the property caused by Purchaser's investigations, and Purchaser agrees to indemnify and hold Seller harmless for any claims, damages, losses or costs, including without limitation reasonable attorneys' fees, incurred or suffered by Seller as a result of Purchaser's investigations of the property, which indemnification obligation shall survive termination or closing under this Contract.

11. REVIEW OF LEASES AND INCOME AND EXPENSE INFORMATION: Seller represents: (a) that below is a complete list of all tenants occupying the property under leases or other tenancy arrangements or agreements (the "Leases"), (b) that the Leases are in full force and effect, (c) that to Seller's knowledge, all tenants under the Leases are in full compliance therewith and (d) that Seller is not in violation of its obligations under the Leases. Seller agrees to provide Purchaser within five (5) days of the Effective Date of this Contract ~~complete copies of all Leases, including any amendments, and~~ income and expense information concerning the property. Purchaser shall have 15 days from the date Purchaser has been provided all Leases and income and expense information to review same, and if the result of the review is unsatisfactory to Purchaser, Purchaser may declare the Contract terminated and the earnest money shall be immediately refunded to Purchaser and thereafter neither party shall have any further obligation under this Contract. Seller represents and warrants that income and expense information provided to Purchaser will be true, accurate and complete in all material respects when given. Seller shall use reasonable efforts to obtain a tenant estoppel certificate and a subordination, non disturbance and attornment agreement in form reasonably satisfactory to Purchaser and/or Purchaser's lender for each Lease within N/A days from delivery of forms therefor. Purchaser shall also on a rolling basis have N/A days from the date of actual receipt of fully-executed written tenant estoppel certificates in which to terminate this Contract pursuant to this Section 11 due to unsatisfactory information contained therein and upon such termination the earnest money shall be immediately refunded to Purchaser and thereafter neither party shall have any further obligation under this Contract. Between the Effective Date and the closing, Seller shall not modify, voluntarily terminate or enter into new leases or tenancy arrangements or agreements and shall obtain Purchaser's written consent to any modification or termination of Leases and to any new lease that Seller proposes to enter into with respect to the property, Purchaser's consent not to be unreasonably withheld, conditioned or delayed. In the event that Seller modifies or terminates any Leases or enters into a new Lease without Purchaser's consent, Purchaser's sole remedy shall be to terminate this Contract and receive an immediate refund of the earnest

INVENTORY		As of January 5, 2016
26 CUMBERLAND ST		
Beds		26
Mattresses		19
Bedside Bureau		32
Wardrobes		32
Curtains		<i>resident rooms + common areas</i>
KITCHEN EQUIPMENT		
Vulcan Stove		1
Steam Table		1
Dishwasher		1
Ice Machine		1
9 Ft Stainless Steel Table		1
5 ft Stainless Steel Table		1
3 Ft Stainless Steel Table		2
BREAKROOM		
Table		1
Chairs		5
Refridgerator		1
DIETARY OFFICE		
Desk		1
Bookcase (4) shelves		1
2 Drawer File Cabinet		1
CONFERENCE ROOM		
Microwave		1
Small Refridgerator		1
LAUNDRY ROOM		
Commercial Dryers		2
Commercial Washers		1
Household Washer		1
MISC ITEMS		
Refridgerators		3
Microwaves		3
Lamps/Resident Rooms		32
Trash cans		50/75
Table and Chairs (6) set		1
Maple Tables		6
Maple Chairs		10
Pictures		8
Misc Linen		<i>6 bins of misc linens</i>
Snow-Blower		1

Buyer's Initials A.M.

Seller's Initials MHR

money and thereafter neither party shall have any further obligation under this Contract. Failure of Purchaser to timely notify Seller of its termination of the Contract pursuant to any of its foregoing rights to do so under this Section 11 shall be deemed to be a waiver of the applicable right under this Section 11 to terminate the Contract. At the closing, Seller shall deliver written notice to the tenants and occupants of the property of the transfer of the property, and of the tenants' security deposits, to Purchaser. List tenants: N/A

12. FINANCING: Notwithstanding anything to the contrary contained in this Contract, Purchaser's obligation to close hereunder is conditioned upon Purchaser's obtaining within Ninety (90) days from the Effective Date of this Contract (the "Commitment Date") a written commitment (the "Commitment") from a lender for a mortgage loan of not less than 90.000 % of the purchase price at an initial interest rate not to exceed 9.000 % per annum, amortized over a period of not less than Twenty (20) years and otherwise on terms reasonably acceptable to Purchaser. In the event the Purchaser is unable to obtain the Commitment and Purchaser notifies Seller thereof by the Commitment Date, then Escrow Agent shall immediately return the earnest money to Purchaser, this Contract shall terminate, and neither party shall be under any further obligation under this Contract. It shall be a further condition of Purchaser's obligation to close hereunder that the Commitment shall not lapse, be terminated and/or withdrawn prior to the Closing Date for any reason whatsoever, including but not limited to the property failing to appraise at or above the Purchase Price, or any such other level acceptable to Purchaser and Purchaser's lender sufficient to support the Commitment. In the event the Commitment shall lapse, be terminated and/or withdrawn by Purchaser's lender for any reason (other than at the request of Purchaser) at any time prior to the Closing Date, Purchaser shall within Five (5) days of Purchaser's receipt of notice of lapse, termination and/or withdrawal notify Seller of same, and upon such notification Purchaser may, at Purchaser's option, elect to terminate this Contract and thereafter the earnest money immediately shall be returned to Purchaser and neither party shall have any further obligation under this Contract. If Purchaser does not timely notify Seller that it has failed to obtain the Commitment or that the Commitment has lapsed, terminated and/or been withdrawn, then Purchaser shall be in default of this Contract at the election of Seller. This contingency benefits Purchaser only, and only Purchaser may waive it by providing written notice to Seller specifically waiving this condition and contingency or any part thereof.
13. AGENCY DISCLOSURE: Purchaser and Seller acknowledge that they have been informed that N/A ("Transaction Broker") is acting as a transaction broker in this transaction and does not have a client relationship with either Purchaser or Seller. N/A ("Selling Agent") is acting as a N/A agent in this transaction and is representing Amy McLellan, DBA McLellan and that Peter H. Piccirillo ("Listing Agent") is acting as a sellers agent in this transaction and is representing SHMAR LLC/ Mitchell A. Rousseau (Transaction Broker, Selling Agent and Listing Agent are referred to elsewhere herein as "Licensees").
14. DEFAULT: If the sale of the property as contemplated hereunder is not consummated solely by reason of Purchaser's default hereunder, provided that Seller is then ready, willing and able to consummate the sale of the property as contemplated by this Contract and provided further that all conditions to Purchaser's obligation to consummate such purchase have been satisfied or waived by Purchaser, Seller shall be entitled to either (i) pursue any and all legal and/or equitable remedies or (ii) terminate this Contract and receive the earnest money as full and complete liquidated damages for the breach of this Contract, it being agreed between the parties that the actual damages to Seller in the event of such breach are difficult to ascertain and/or prove and the earnest money is a reasonable estimate and forecast of such actual damages. The parties acknowledge that the payment of the earnest money is not intended as a forfeiture or penalty, but is intended to constitute liquidated damages to Seller. In the event of an undisputed default by either party, the Escrow Agent may deliver the earnest money to the party entitled to it under this Contract, with written notice to both parties pursuant to Maine Real Estate Commission regulations. If a dispute arises between Purchaser and Seller as of the existence of a default hereunder and said dispute is not resolved by the parties within thirty (30) days, the Escrow Agent may elect to file an action in interpleader and deposit the earnest money in the court to resolve said dispute, or otherwise disburse the earnest money pursuant to Maine Real Estate Commission regulations. Purchaser and Seller, jointly and severally, shall indemnify Escrow Agent for all costs, losses, expenses, and damages, including reasonable attorneys' fees, incurred by the Escrow Agent in connection with said action and/or in connection with any dispute relating to this Contract and/or the earnest money.
15. MEDIATION: Any dispute or claim arising out of or relating to this Contract or the property addressed in this Contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the Maine Association of Dispute Resolution Professionals or its successor organization. This clause shall survive the closing of this transaction.
16. PRIOR STATEMENTS: This Contract sets forth the entire agreement between the parties, and there are no other representations, agreements or understandings with respect to the subject matter of this Contract. This Contract shall be construed according to the laws of the State of Maine.

By: Matt C. Hu
Signature

Mitchell A. Rousseau
Name/Title, thereunto duly authorized

Insights Real Estate LLC
Legal Name of Escrow Agent

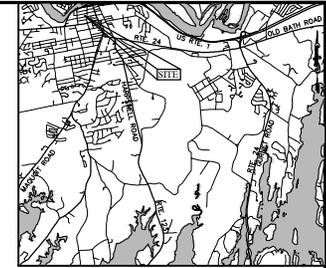
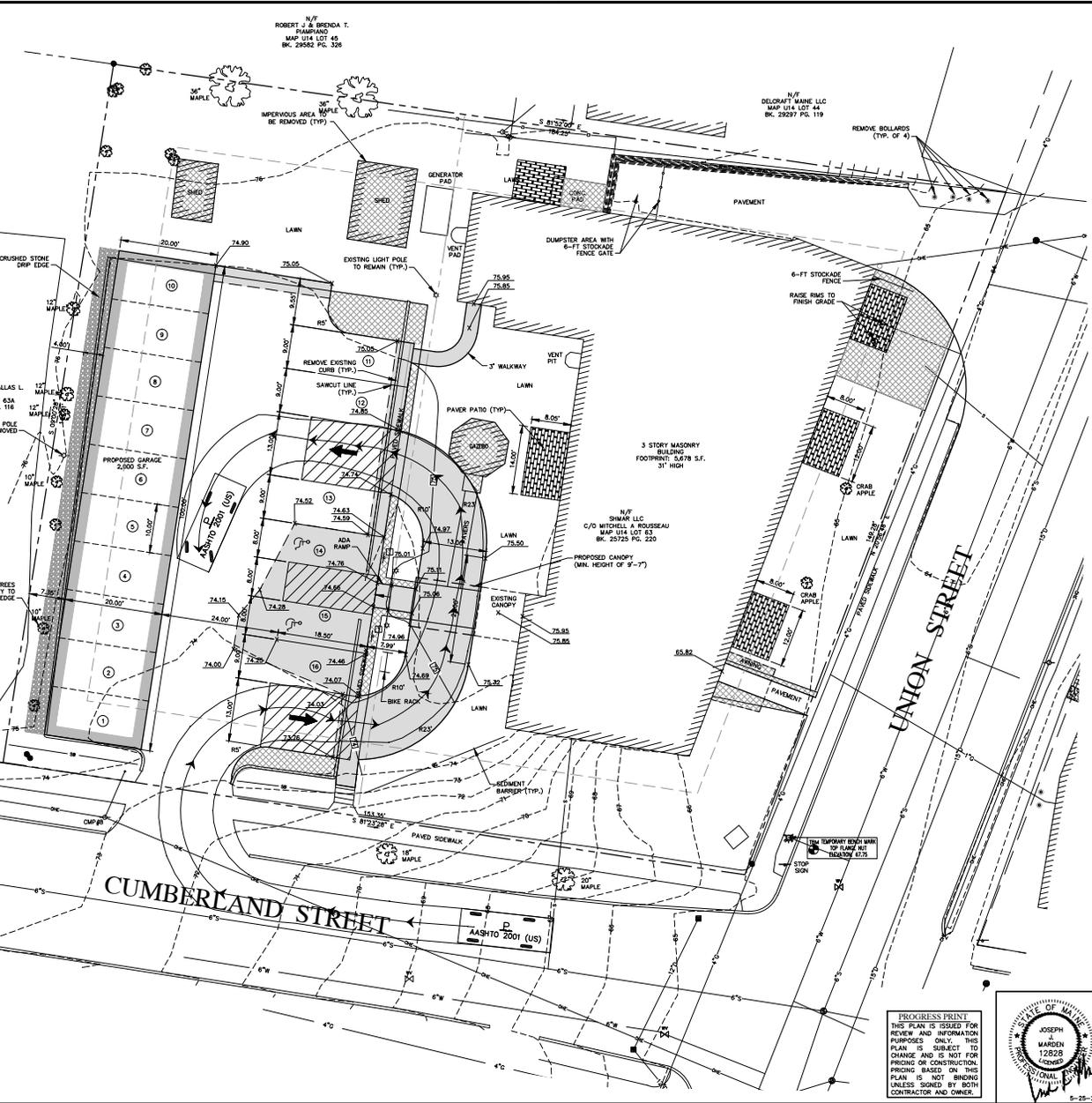
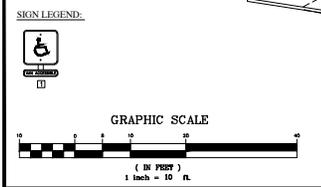
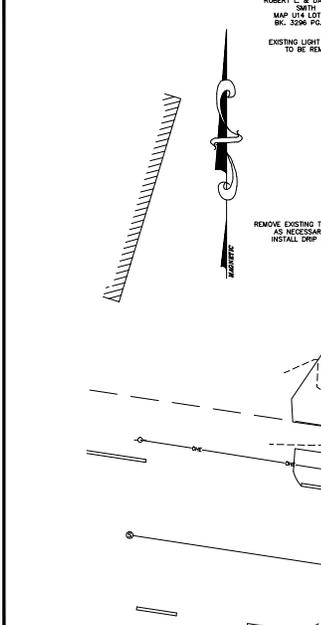
Peter H. Piccirillo
Name/Title, thereunto duly authorized

By: [Signature]
Signature

EFFECTIVE DATE OF THIS CONTRACT: January 19, 2016.

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- LEGEND**
- MONUMENT FOUND
 - IRON BARRER FOUND
 - 5/8" REBAR TOPPED WITH AN ALUMINUM CAP READING "BRUCE W. MARTINSON - PLS 2137" TO BE SET
 - BOUNDARY LINE OF SURVEYED PARCEL
 - BOUNDARY LINE OF ADJUTERS (APPROX.)
 - ROAD RIGHT OF WAY LINE (APPROX.)
 - COMPUTATIONAL TIE LINE
 - STONE WALL (APPROX.)
 - EDGE OF TRAVELED WAY
 - UTILITY LINE
 - 2" COMP 13
 - IRON PIPE FOUND
 - IRON ROD FOUND
 - DRILL HOLE
 - ARBITRARY TRAVERSE POINT WITH NUMBER
 - ARBITRARY COMPUTATIONAL POINT NUMBER
 - DEED BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
 - PLAN BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
 - RIGHT OF WAY
 - NOW OR FORMERLY HELD BY
 - ACRES
 - MORE OR LESS
 - SEWER MANHOLE
 - LIGHT POLE
 - CATION BUSH
 - WATER SHUT OFF
 - HYDRANT
 - SIGN
 - WATER VALVE
 - ELEVATION TEMPORARY BENCH MARK
 - EXISTING TO BE REMOVED
 - PROPOSED AREA
 - PERMEABLE PAVEMENT



- NOTES:**
- TITLE REFERENCE FOR SURVEYED PARCEL:
BK. 25725 PG. 220
 - PLAN REFERENCE(S):
A) "BOUNDARY SURVEY OF BRUNSWICK MANOR INC.", DATED OCT. 25, 1982, BY JOHN T. WAIN, RLS #1225, RECORDED IN FB 130, PG. 75.
 - AREA INFORMATION:
24,474 S.F. OR 0.56 ACRES
 - TAX MAP REFERENCE:
TAX MAP U14, LOT 63
 - BASIS OF BEARINGS:
BEARINGS ARE MAGNETIC (1982) AND ARE BASED ON HAND COMPASS BEARINGS ALONG RANDOM TRAVERSE LINES.
 - ROAD INFORMATION:
DEFINITION OF CUMBERLAND STREET IN TOWN ROAD RECORDS VOL. 5, PG. 32 AND DEFINITION OF UNION STREET IN TOWN ROAD RECORDS VOL. 4, PG. 46.
 - TOPOGRAPHIC DATA:
REFER TO BENCHMARK ON PLAN.
 - ZONING:
PARCEL IS LOCATED WITHIN THE VILLAGE ZONE (VZ2)
VILLAGE ZONE (VZ2) REQUIREMENTS:
MIN. LOT SIZE - 7,500
MIN. DENSITY - 10 UNITS/ACRE
MIN. LOT WIDTH - 65 FEET
MIN. FRONT YARD - 15 FEET
MIN. REAR YARD - 15 FEET
MIN. SIDE YARD - 15 FEET
MAX. IMP. SURFACE - 50%
MAX. BUILDING HEIGHT - 35 FEET
MAX. BUILDING FOOTPRINT/STRUCTURE - 7,500 S.F.
 - IMPERVIOUS CALCULATION:
EXISTING LOT AREA: 24,474 S.F. OR 0.56 ACRES
EXISTING IMPERVIOUS: 14,817 S.F. (0.34 ACRES) 60.5%
PROPOSED IMPERVIOUS: 14,800 S.F. (0.34 ACRES) 60.5%
NET IMPACT: -12 S.F.

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



SITE DEVELOPMENT PLAN

26 CUMBERLAND STREET
BRUNSWICK, MAINE

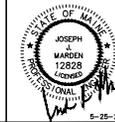
PREPARED FOR:
MCLELLAN NURSING ENTERPRISES

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK:	SCALE: 1" = 10'	SHEET:
DRAWN BY: RPL	JOB #: 3072	1
CHD BY: KPC	MAPLOT: U1463	
DATE: 04-15-16	FILE: 3072-SITE	

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

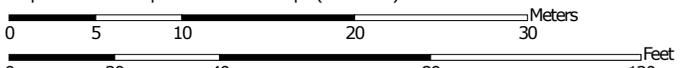
5-25-2016



Soil Map—Cumberland County and Part of Oxford County, Maine



Map Scale: 1:435 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

Map Unit Legend

Cumberland County and Part of Oxford County, Maine (ME005)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
HrC	Hollis fine sandy loam, 8 to 15 percent slopes	0.1	9.1%
WmB	Windsor loamy sand, 0 to 8 percent slopes	0.5	90.9%
Totals for Area of Interest		0.6	100.0%

Cumberland County and Part of Oxford County, Maine

WmB—Windsor loamy sand, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 2w2x2

Elevation: 0 to 1,410 feet

Mean annual precipitation: 36 to 71 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 140 to 240 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Windsor and similar soils: 85 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Windsor

Setting

Landform: Deltas, dunes, outwash plains, outwash terraces

Landform position (three-dimensional): Riser, tread

Down-slope shape: Linear, convex

Across-slope shape: Linear, convex

Parent material: Loose sandy glaciofluvial deposits derived from granite and/or loose sandy glaciofluvial deposits derived from schist and/or loose sandy glaciofluvial deposits derived from gneiss

Typical profile

Oe - 0 to 1 inches: moderately decomposed plant material

A - 1 to 3 inches: loamy sand

Bw - 3 to 25 inches: loamy sand

C - 25 to 65 inches: sand

Properties and qualities

Slope: 0 to 8 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Excessively drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat):

Moderately high to very high (1.42 to 99.90 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water storage in profile: Low (about 4.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2s

Hydrologic Soil Group: A

Data Source Information

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 11, Sep 17, 2015

Brunswick Sewer District

10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
bsd@brunswicksewer.org

TELEPHONE (207) 729-0148

FAX (207) 729-0149

May 4, 2016

Joseph J. Marden, P.E.
Project Engineer
Sitelines, PA
8 Cumberland Street
Brunswick, ME 04011

Re: Willingness and Capacity to Serve, Skofield House, 26 Cumberland Street, Brunswick

Dear Joseph,

This letter is in response to your request for an “ability to serve” letter regarding renovations to the Skofield House at 26 Cumberland Street in Brunswick, Maine. I have reviewed the material provided and conclude that the project as proposed will not adversely affect facilities of the District. **The Brunswick Sewer District (BSD) has both the willingness and capacity to serve the proposed project.**

It will be necessary to secure an entrance permit prior to construction. Where this is a re-construction project and the anticipated flow is less than current flow, the charge for the permit will be \$0. For more information on the entrance charge please visit www.brunswicksewer.org/ecp.html#4.

The following conditions will apply to the issuance of the entrance permit.

1. Project sanitary sewer service line will be privately owned and maintained in accordance with provisions of District Rules & Regulations.
2. All sewer-related construction will be performed to District standards.
3. All sanitary sewer construction will comply with provisions of the Maine State Plumbing Code.
4. Design and construction of project sanitary sewers will exclude all non-sanitary ground, surface, foundation drain, floor, roof drain, and sump pump waters.
5. Horizontal clearance between utility infrastructures will be sufficient to allow future utility maintenance operations without disturbance to adjacent utility infrastructure.

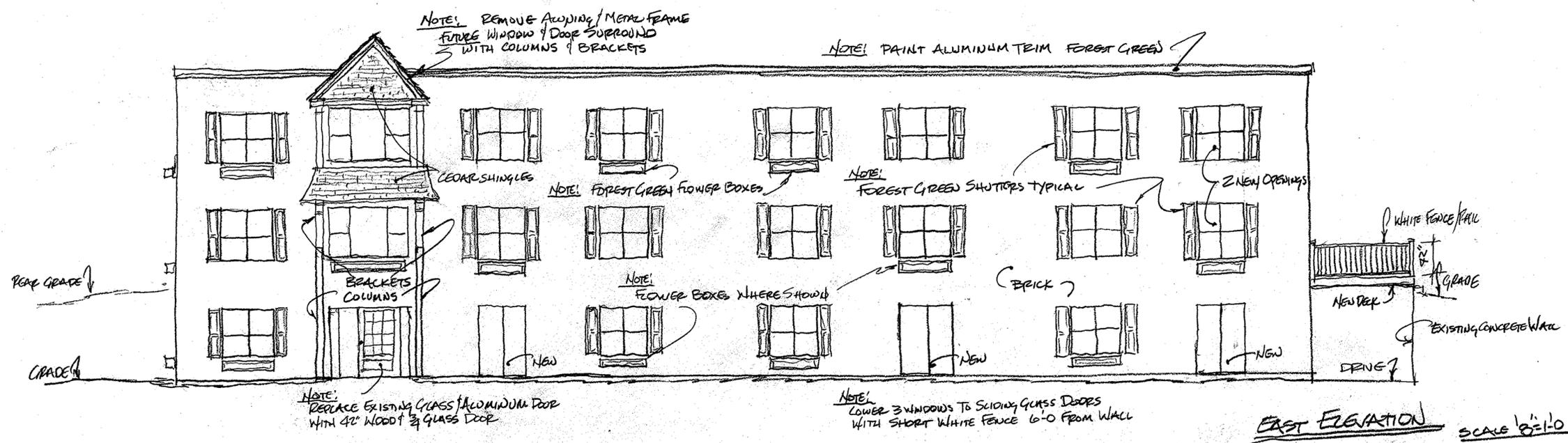
If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

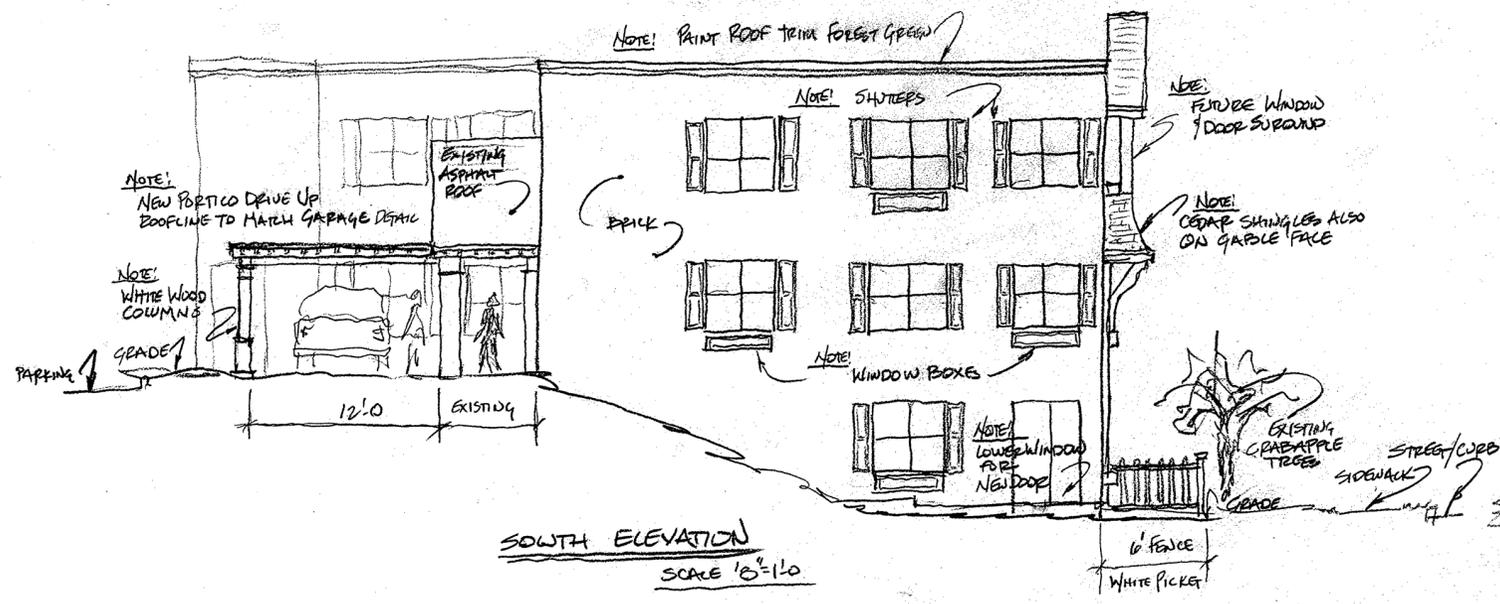
A handwritten signature in black ink, appearing to read "R.A. Pontau Jr.", written in a cursive style.

Robert A. Pontau Jr., PE
Assistant General Manager

CC: Bonnie Shippen, Accounts Payable, Brunswick Sewer District
Wesley Wharff, Collection Division Supervisor, Brunswick Sewer District



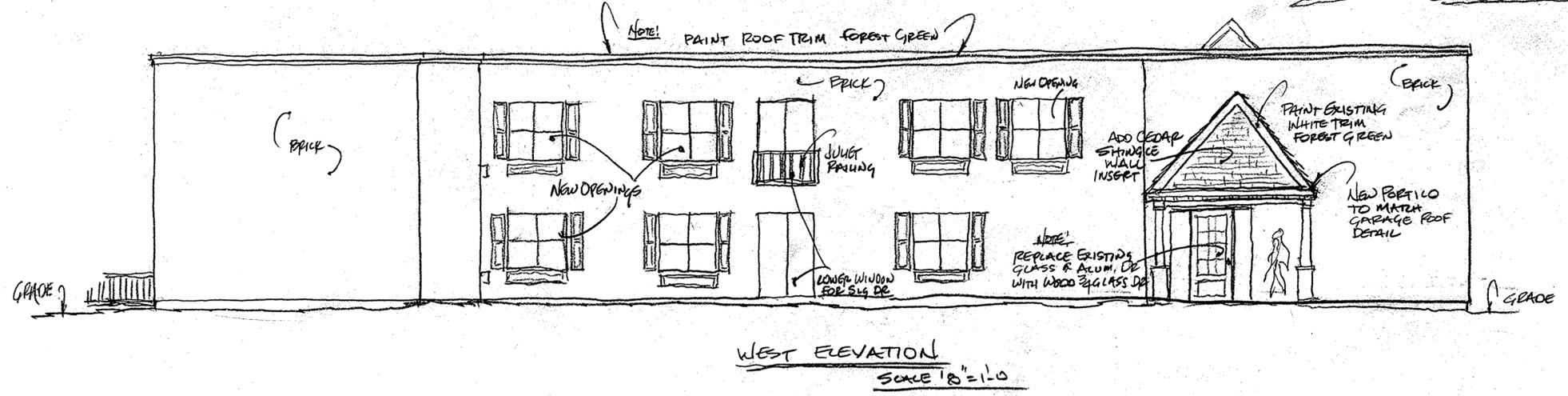
EAST ELEVATION SCALE 1/8"=1'-0"



SOUTH ELEVATION SCALE 1/8"=1'-0"



PROPOSED PERSPECTIVE SOUTHEAST CORNER NO SCALE



WEST ELEVATION SCALE 1/8"=1'-0"

Revisions	Scale	Date
AS NOTED	AS NOTED	4-22-16
Drawn By	Checked By	Job No.
PKC		Project No.

321 River Road
 Orrington, ME 04474
 p: 207-745-7748
 f: 207-825-4861
 dickcampbellllc@yahoo.com

Campbell
 Dick Campbell, LLC
 Design / Build Contractor
 www.DCGreenMaine.com

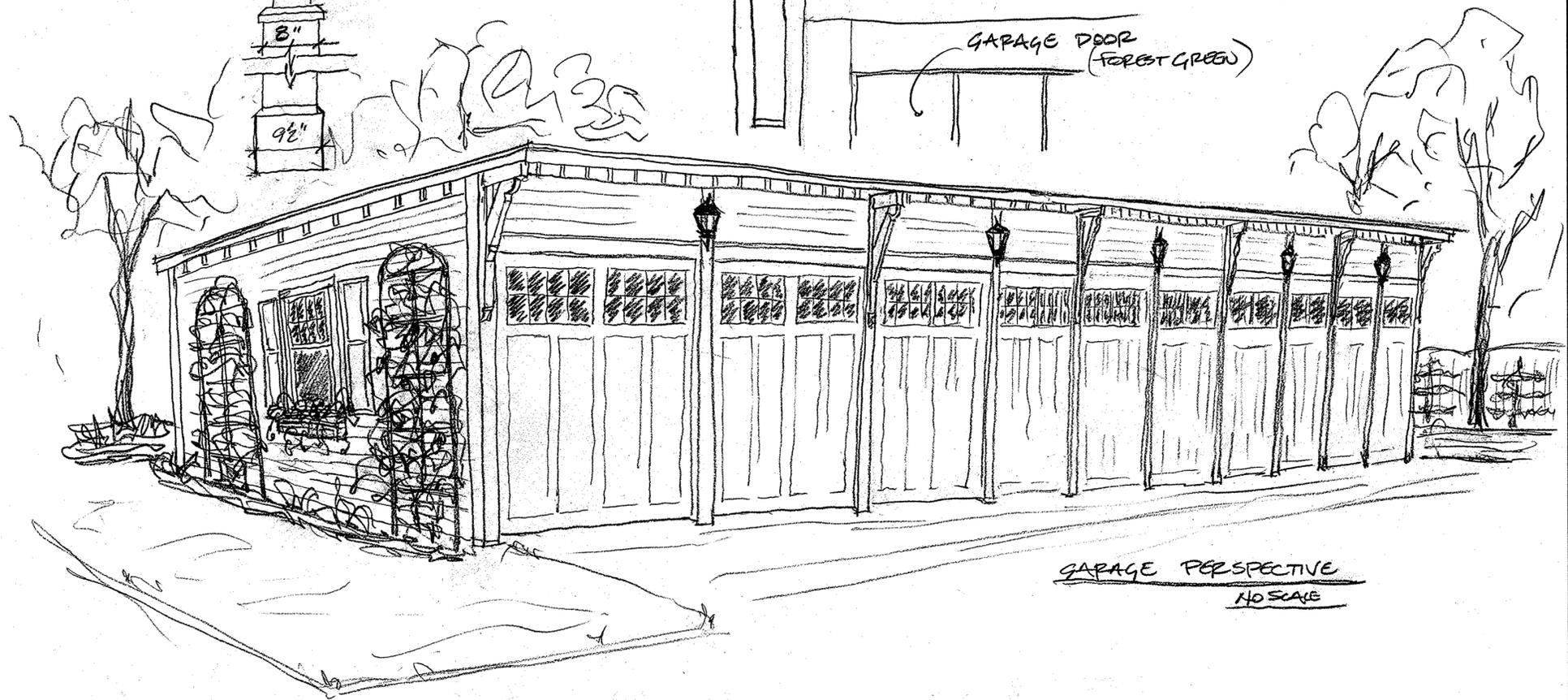
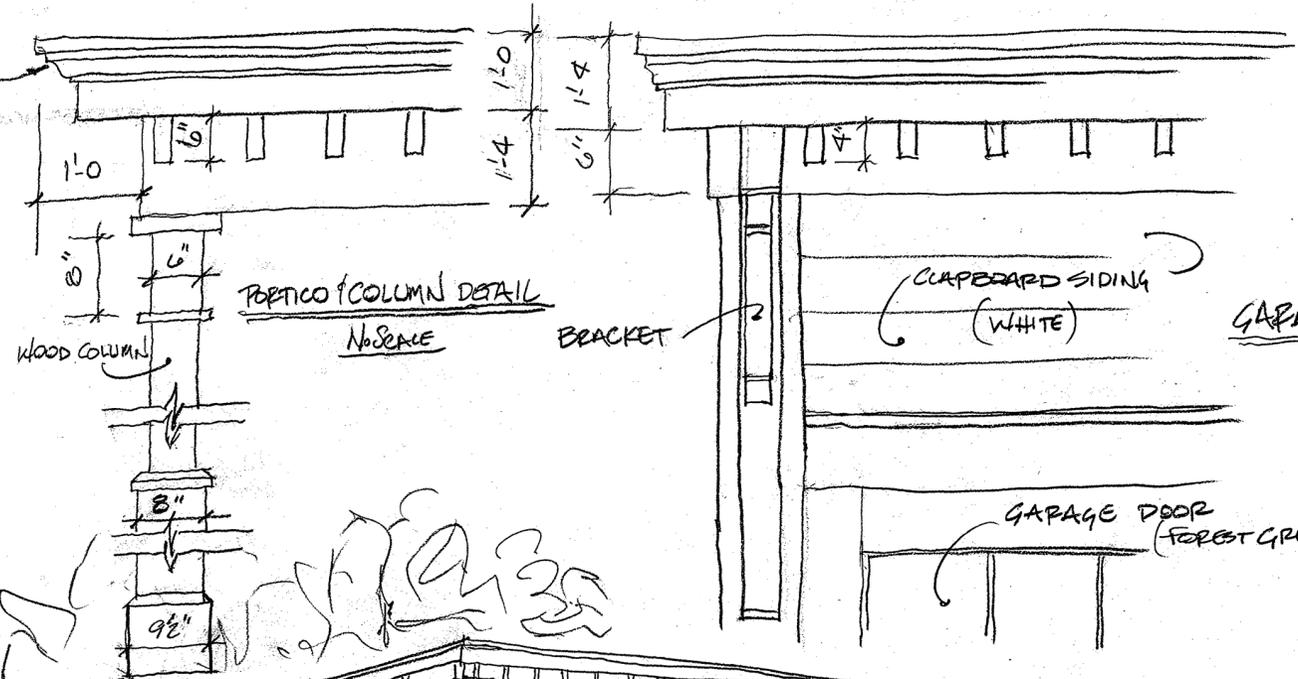
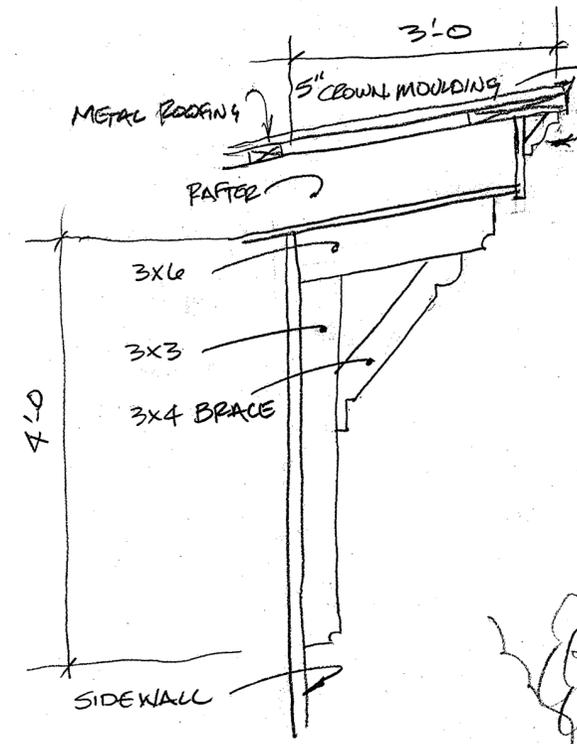
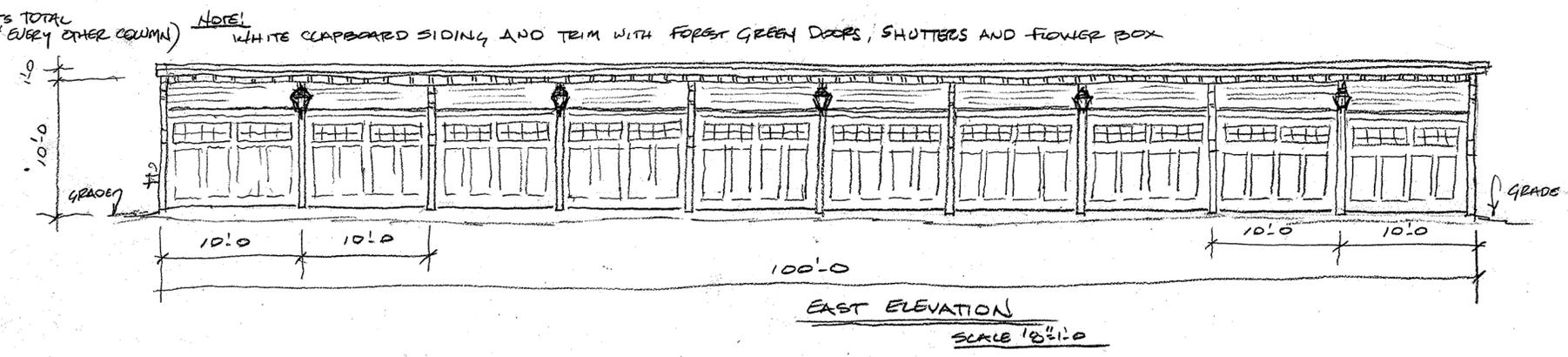
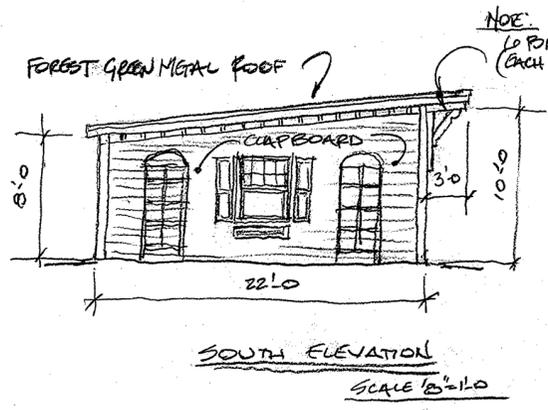
Client/Project: **THE McLELLAN**

Location: **26 CUMBERLAND ST., BRUNSWICK**

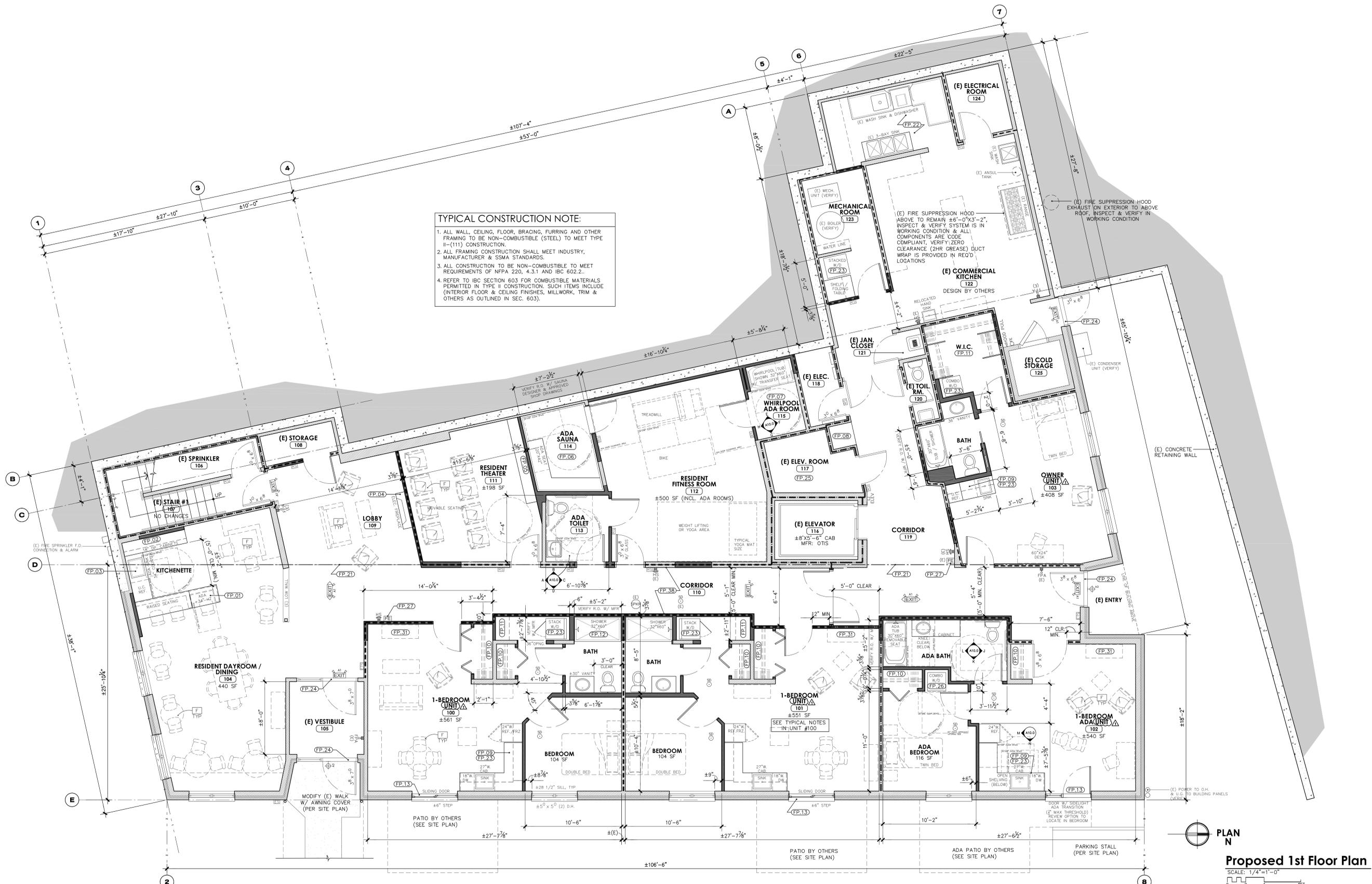
PROPOSED ELEVATIONS

ICgreen
 Dick Campbell, LLC
 SAVE ENERGY · BUILD GREEN

Sheet No.
1 OF 2



Revisions			
Scale	As Noted	Drawn By	RAC
Date	4-22-16	Job No.	
		Project No.	
		Checked By	
<p>321 River Road Orrington, ME 04474 p. 207-745-7748 f. 207-825-4861 dickcampbellllc@yahoo.com</p> <p>Campbell Dick Campbell, LLC Design / Build Contractor www.DCGreenMaine.com</p>			
Client/Project	THE McLELLAN		
Location	26 CUMBERLAND ST. - BRANSWICK		
	PROPOSED GARAGE ELEV/DETAILS		
<p>IGreen Dick Campbell, LLC SAVE ENERGY · BUILD GREEN</p>			
Sheet No.	2 of 2		



GENERAL PLAN NOTES:	FLOOR PLAN KEYNOTES:	WALL PLAN LEGEND:	FLOOR PLAN LEGEND:
01. VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.	(FP.01) ADA KITCHEN ISLAND SEATING AT 34" A.F.F. WITH 30"(W) X 27"(H) CLEAR KNEE SPACE BELOW COUNTER.	(FP.24) VERIFY (E) THRESHOLD MEETS ADA REQUIREMENTS. MODIFY WHERE REQUIRED TO MEET ADA REQUIREMENTS.	(E) INDICATES MANUAL FIRE EXTINGUISHER IN SEMI RECESSED OR SURFACE MOUNTED CABINET WITH GLASS RATING IN ACCORDANCE W/ NFPA 10 STANDARD.
02. NO STRUCTURAL ELEMENTS TO BE REMOVED OR DEMOLISHED WITH OUT REVIEW AND DIRECTION FROM A LICENSED STRUCTURAL ENGINEER. REVIEW ALL CORE DRILLING THROUGH EXISTING FLOORS, CEILINGS & WALLS WITH STRUCTURAL ENGINEER.	(FP.02) KITCHEN CABINETS BY OTHERS, 50% OF STORAGE TO BE WITH ADA REACH RANGE.	(FP.25) ROOM CONDITIONS COULD NOT BE VERIFIED DURING AS-BUILT VISIT. WALLS, CEILING/FLOOR ASSEMBLIES TO BE MODIFIED AS NEEDED TO MEET 1HR REQ'S & DOOR TO MEET HARDWARE REQ'S PER SCHEDULE.	INDICATES HORN & STROBE, BIDDER DESIGNER TO VERIFY ALL (E) AND NEW LOCATIONS.
03. WHERE EXISTING AND NEW WALLS MEET, FINISH TO ALIGN WITH A SMOOTH AND FLUSH TRANSITION.	(FP.03) PROVIDE ADA KITCHEN SINK / FAUCET, COUNTER AT 34" A.F.F. WITH 30" CLEAR KNEE CLEARANCE BELOW.	(FP.26) W/D UNITS TO MEET ADA HEIGHT REQ'S. PLATFORM UNDER UNIT MAY BE REQ'D TO MEET REQ'S.	INDICATES MANUAL FIRE PULL STATION, BIDDER DESIGNER TO VERIFY ALL (E) & NEW LOCATIONS.
04. ALL EXISTING FINISHES TO REMAIN SHALL BE PROPERLY PREPPED FOR PAINT OR NEW FINISH.	(FP.04) GAS U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	(FP.27) VERIFY (E) F.E. CASES ARE 48" MAX TO TOP OF F.E. & FIRE RATED FOR WALL CONSTRUCTION.	INDICATES EXISTING ILLUMINATED EXIT SIGN.
05. FILL ALL PLUMBING, HVAC, ELECTRICAL AND OTHER PENETRATIONS THROUGH RATED WALL, FLOOR & CEILING ASSEMBLIES WITH FIRE STOPPING (REFER TO DETAIL 5/A8.0).	(FP.05) BUILT-IN CABINET BY OTHERS, VERIFY EQUIPMENT REQUIREMENTS W/ OWNER.	(FP.28) DESIGN / STRUCTURAL ENGINEERING OF NEW DROP OFF CANOPY & ASSOCIATED MODIFICATION TO (E) CANOPY BY OTHERS. SEE CANOPY NOTE ON PLANS FOR ADDITIONAL INFORMATION.	INDICATES EXISTING ILLUMINATED EXIT SIGN W/ BATTERY BACKUP & COMBINATION EMERGENCY LIGHTS. SEE FLOOR PLAN FOR LOCATIONS. NEW OR REPLACES (E) EXIT SIGN.
06. PROVIDE SHOP DWGS. TO ARCH. FOR ADA COMPLIANCE REVIEW FOR THE FOLLOWING: ADA KITCHENS, ADA TOILET ROOMS, ADA BATHROOMS & ADA SAUNA.	(FP.06) BIDDER DESIGNED ADA SAUNA / REVIEW ALL FINISH AND EQUIP. WITH OWNER & PROVIDE SHOP DWG. TO ARCH FOR REVIEW.	(FP.29) PROVIDE HANDRAIL ON BOTH SIDES OF CORRIDOR (OWNER REQUIREMENT). PROVIDE BLOCKING IN WALL, COORD. DETAILS & ALL LOCATIONS W/ OWNER.	INDICATES EMERGENCY LIGHTING W/ BATTERY BACK UP.
07. ALL EQUIPMENT, APPLIANCES & MATERIALS TO BE INSTALLED PER MANUFACTURER WRITTEN INSTRUCTIONS.	(FP.07) ADA WHIRLPOOL, TUB W/ REMOVABLE TRANSFER SEAT & ADA CONTROLS. MAINTAIN CLEAR SPACE FOR 60" TURNING RADIUS. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.	(FP.30) ELECTRICAL U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	WALL MOUNTED EXTERIOR EGRESS EMERGENCY LIGHTING W/ BATTERY BACKUP.
08. ALL DRYWALL SHALL BE 5/8" TYPE 'X' DRYWALL.	(FP.08) KITCHEN DESIGN BY OTHERS, REVIEW OPTIONS & APPLIANCES W/ OWNER.	(FP.31) APARTMENT UNIT MAILBOXES (SIZE TBD), DESIGN TBD W/ OWNER, MINIMUM OF 1 ADA BOX (WITHIN 48" REACH RANGE)	INDICATES AN INTERCONNECTED UL LISTED SMOKE / HEAT ALARM W/ BATTERY BACKUP. CODE COMPLIANT SYSTEM TO BE FINALIZED BY BIDDER DESIGNER.
09. WHERE EXTERIOR WALL CAVITIES ARE EXPOSED THEY ARE TO BE FILLED WITH INSULATION CAVITY DEPTH.	(FP.09) SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.		(E) INDICATES EXISTING / MODIFY AS REQUIRED
NOTE: SEE GENERAL NOTES ON SHEET A1.0 FOR ADDITIONAL INFO.	(FP.10) SHELF & ROD		D# INDICATES DOOR REFERENCE NUMBER - REFER TO DOOR SCHEDULE ON SHEET A9.0.
	(FP.11) REVIEW SHELVING OPTIONS W/ OWNER PRIOR TO PURCHASE.		INDICATES EXISTING DOOR - REFER TO DOOR SCHEDULE FOR ANY HARDWARE OR OTHER UPGRADES.
	(FP.12) PREFABRICATED SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.		# INDICATES EXISTING WINDOW TO REMAIN.
			# INDICATES ROOMS REQUIRING ROOM SIGNAGE, WHICH SHALL BE ADA COMPLIANT (SEE DETAILS 6 & 7/A8.0). ANY ADDITIONAL SIGNAGE ADDED TO ANY ROOMS WILL BE REQUIRED TO BE ADA COMPLIANT.
			INDICATES ADA COMPLIANT ENTRANCE SIGNAGE REQUIRED.
			INDICATES ADA COMPLIANT EXIT TACTILE SIGNAGE REQUIRED.
			EXISTING OR RELOCATED ADA POWER ASSISTED DOOR CONTROL
			EXISTING DOOR ACCESS KEY PAD (VERIFY W/ OWNER)
			EXISTING FIRE DEPARTMENT KNOX BOX
			EXISTING CEILING MOUNTED SPEAKER, RELOCATE & MODIFY SYSTEM AS REQUIRED.
			F FURNITURE AND FINAL LAYOUT BY OWNER OR TENANT

Registration: _____

Project: _____

The McLellan
 26 Cumberland Street
 Brunswick, Maine 04011

Consultant: _____

Sheet Issue Date: _____
 State FM Permit: 05/06/16
 REV1 (CityStaff Comments) 05/24/16

Project Start Date: _____

March 2016

Project Number: _____

16-109

Sheet Title: _____

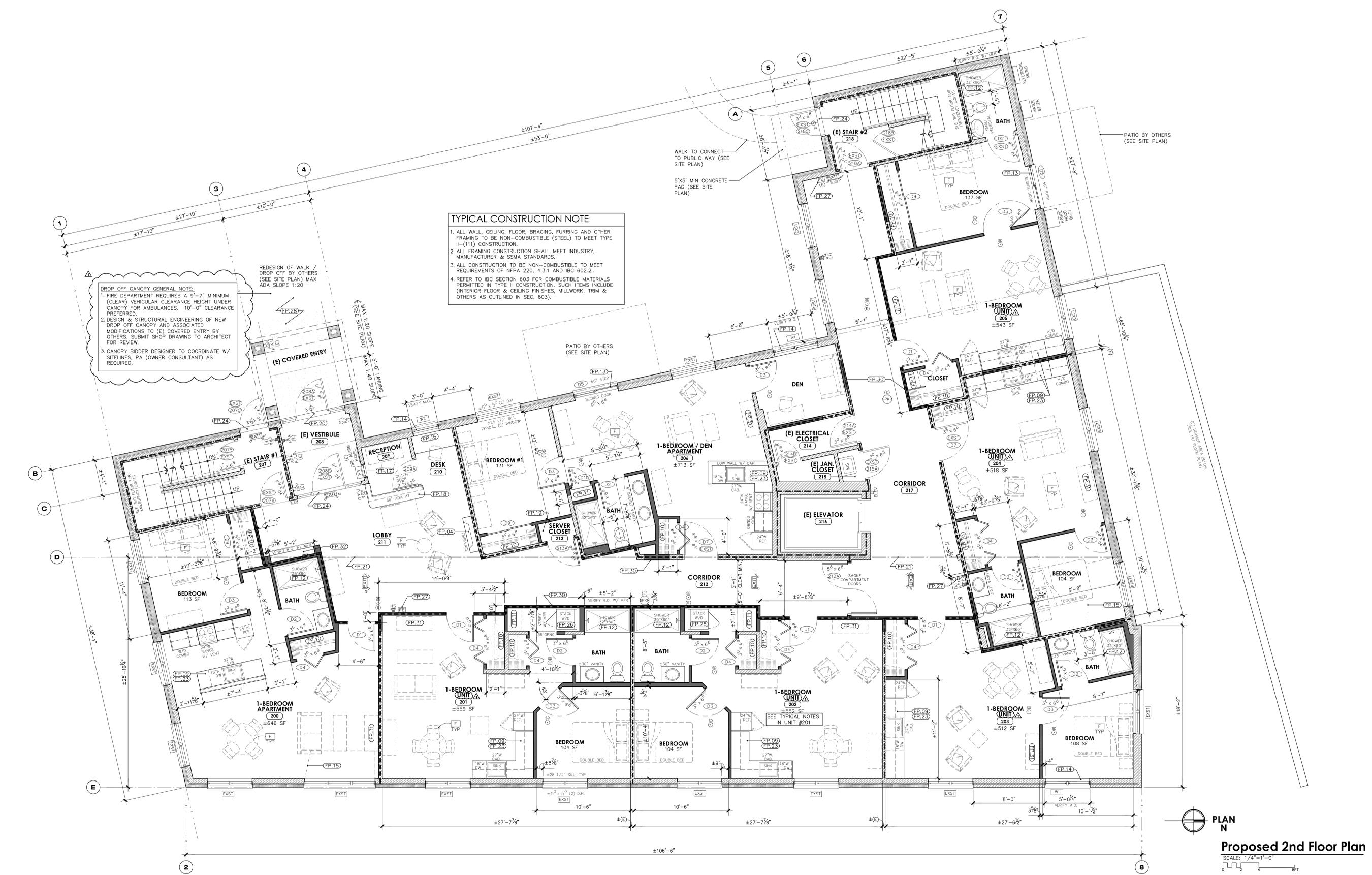
SECOND FLOOR PLAN

Sheet Plot Date: _____

05/24/2016 A3.2_Brunswick_SecondFloorPlan.dwg

Sheet Number: _____

A3.2



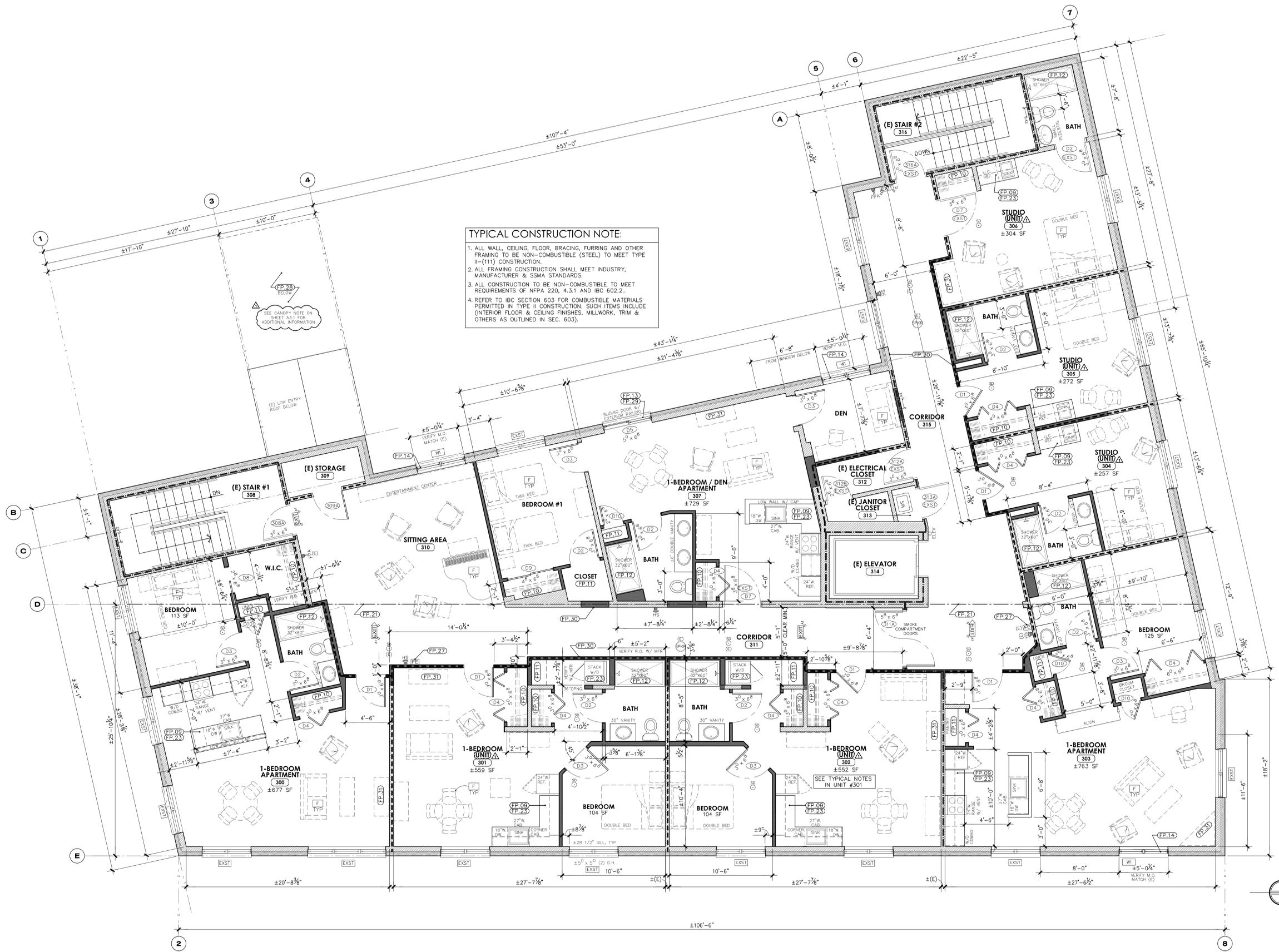
TYPICAL CONSTRUCTION NOTE:

1. ALL WALL, CEILING, FLOOR, BRACING, FURRING AND OTHER FRAMING TO BE NON-COMBUSTIBLE (STEEL) TO MEET TYPE II-(111) CONSTRUCTION.
2. ALL FRAMING CONSTRUCTION SHALL MEET INDUSTRY, MANUFACTURER & SSMA STANDARDS.
3. ALL CONSTRUCTION TO BE NON-COMBUSTIBLE TO MEET REQUIREMENTS OF NFPA 220, 4-5.1 AND IBC 602.2.
4. REFER TO IBC SECTION 603 FOR COMBUSTIBLE MATERIALS PERMITTED IN TYPE II CONSTRUCTION. SUCH ITEMS INCLUDE (INTERIOR FLOOR & CEILING FINISHES, MILLWORK, TRIM & OTHERS AS OUTLINED IN SEC. 603).

DROP OFF CANOPY GENERAL NOTE:

1. FIRE DEPARTMENT REQUIRES A 9'-7" MINIMUM (CLEAR) VEHICULAR CLEARANCE HEIGHT UNDER CANOPY FOR AMBULANCES. 10'-0" CLEARANCE PREFERRED.
2. DESIGN & STRUCTURAL ENGINEERING OF NEW DROP OFF CANOPY AND ASSOCIATED MODIFICATIONS TO (E) COVERED ENTRY BY OTHERS. SUBMIT SHOP DRAWING TO ARCHITECT FOR REVIEW.
3. CANOPY BIDDER DESIGNER TO COORDINATE W/ SITELINES, PA (OWNER CONSULTANT) AS REQUIRED.

GENERAL PLAN NOTES:	FLOOR PLAN KEYNOTES:	WALL PLAN LEGEND:	FLOOR PLAN LEGEND:
01. VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.	(FP.01) ADA KITCHEN ISLAND SEATING AT 34" A.F.F. WITH 30"(W) X 27"(H) CLEAR KNEE SPACE BELOW COUNTER.	(EXIST) EXISTING WALL TO REMAIN (METAL STUDS W/ 8" TYPE X DRYWALL)	(FE) INDICATES MANUAL FIRE EXTINGUISHER IN SEMI RECESSED OR SURFACE MOUNTED CABINET WITH GLASS RATING IN ACCORDANCE W/ NFPA 10 STANDARD.
02. NO STRUCTURAL ELEMENTS TO BE REMOVED OR DEMOLISHED WITH OUT REVIEW AND DIRECTION FROM A LICENSED STRUCTURAL ENGINEER. REVIEW ALL CORE DRILLING THROUGH EXISTING FLOORS, CEILINGS & WALLS WITH STRUCTURAL ENGINEER.	(FP.02) KITCHEN CABINETS BY OTHERS, 50% OF STORAGE TO BE WITH ADA REACH RANGE.	(NEW) NEW FRAMED WALL (METAL STUDS W/ 8" TYPE X DRYWALL) STUD SIZE: 3" TYPICAL, 5 1/2" OR 6" AS NEEDED	(HS) INDICATES HORN & STROBE, BIDDER DESIGNER TO VERIFY ALL (E) AND NEW LOCATIONS.
03. WHERE EXISTING AND NEW WALLS MEET, FINISH TO ALIGN WITH A SMOOTH AND FLUSH TRANSITION.	(FP.03) PROVIDE ADA KITCHEN SINK / FAUCET, COUNTER AT 34" A.F.F. WITH 30" CLEAR KNEE CLEARANCE BELOW.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE PARTITION) WALL CONSTRUCTION IN (E) OR NEW WALLS, EXTEND (AT MINIMUM) JUST ABOVE RATED ACT CEILING.	(FPA) INDICATES MANUAL FIRE PULL STATION, BIDDER DESIGNER TO VERIFY ALL (E) & NEW LOCATIONS.
04. ALL EXISTING FINISHES TO REMAIN SHALL BE PROPERLY PREPPED FOR PAINT OR NEW FINISH.	(FP.04) GAS U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING ILLUMINATED EXIT SIGN.
05. FILL ALL PLUMBING, HVAC, ELECTRICAL AND OTHER PENETRATIONS THROUGH RATED WALL, FLOOR & CEILING ASSEMBLIES WITH FIRE STOPPING (REFER TO DETAIL 5/A8.0)	(FP.05) BUILT-IN CABINET BY OTHERS, VERIFY EQUIPMENT REQUIREMENTS W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES HARDWIRED ILLUMINATED EXIT SIGN W/ BATTERY BACKUP & COMBINATION EMERGENCY LIGHTS. SEE FLOOR PLAN FOR LOCATIONS. NEW OR REPLACES (E) EXIT SIGN.
06. PROVIDE SHOP DWGS. TO ARCH. FOR ADA COMPLIANCE REVIEW FOR THE FOLLOWING: ADA KITCHENS, ADA TOILET ROOMS, ADA BATHROOMS & ADA SAUNA.	(FP.06) BIDDER DESIGNED ADA SAUNA / REVIEW ALL FINISH AND EQUIP. WITH OWNER & PROVIDE SHOP DWG. TO ARCH FOR REVIEW.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EMERGENCY LIGHTING W/ BATTERY BACK UP.
07. ALL EQUIPMENT, APPLIANCES & MATERIALS TO BE INSTALLED PER MANUFACTURER WRITTEN INSTRUCTIONS.	(FP.07) ADA WHIRLPOOL, TUB W/ REMOVABLE TRANSFER SEAT & ADA CONTROLS, MAINTAIN CLEAR SPACE FOR 60% TURNING RADIUS. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXTERIOR EGRESS EMERGENCY LIGHTING W/ BATTERY BACKUP.
08. ALL DRYWALL SHALL BE 5/8" TYPE 'X' DRYWALL.	(FP.08) KITCHEN DESIGN BY OTHERS, REVIEW OPTIONS & APPLIANCES W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES INTERCONNECTED UL LISTED SMOKE / HEAT ALARM W/ BATTERY BACKUP. CODE COMPLIANT SYSTEM TO BE FINALIZED BY BIDDER DESIGNER.
09. WHERE EXTERIOR WALL CAVITIES ARE EXPOSED THEY ARE TO BE FILLED WITH INSULATION CAVITY DEPTH.	(FP.09) REVIEW SHELVING OPTIONS W/ OWNER PRIOR TO PURCHASE. PREFABRICATED SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
NOTE: SEE GENERAL NOTES ON SHEET A1.0 FOR ADDITIONAL INFO.	(FP.10) SHELF & ROD	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.11) REVIEW SHELVING OPTIONS W/ OWNER PRIOR TO PURCHASE.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.12) PREFABRICATED SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.13) NEW DOOR IN (E) WINDOW LOCATION, TO FIT (E) WIDTH & VERIFY ANY CHANGE TO (E) HEADER SUPPORT.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.14) NEW DOOR OR WINDOW OPENING IN (E) EXTERIOR WALL. REVIEW REQUIREMENTS W/ STRUCTURAL ENGINEER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.15) LINE RECESSED ENTRY BELOW (SEE 1ST FLOOR PLAN)	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.16) REVIEW DESK REQUIREMENTS WITH OWNER	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.17) ADD RECEPTION VIEW WINDOW, VERIFY SIZE & LOCATION IN FIELD. MOODY (E) FIRE ALARM PANEL AS REQ'D	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.18) RECEPTION LOW WALL W/ ADA COUNTER TOP AT 36", VERIFY COUNTER DEPTH & DETAILS W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.19) POTENTIAL SERVER CLOSET, VERIFY ALL REQUIREMENTS (EQUIPMENT, MOUNTING & VENTILATION) FOR SERVER CLOSET WITH BIDDER DESIGNER	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.20) REPLACE (E) THRESHOLD WITH ADA (3/4" MAX) THRESHOLD. APPROX. LINE OF (E) MAIN DROPPED STEEL BEAM ABOVE CEILING, ASSUMED TO BE ON ALL FLOORS, FULL EXTENT UNKNOWN, VERIFY IN FIELD	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.21) (E) KITCHEN EQUIPMENT TO REMAIN.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.22) APPLIANCE SELECTION BY OWNER. INSTALL PER CODE AND MFR REQUIREMENTS, COORDINATE SPECIFICATIONS W/ BIDDER-DESIGNED SYSTEMS.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.23) (E) KITCHEN EQUIPMENT TO REMAIN.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.24) VERIFY (E) THRESHOLD MEETS ADA REQUIREMENTS. MODIFY WHERE REQUIRED TO MEET ADA REQUIREMENTS.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.25) ROOM CONDITIONS COULD NOT BE VERIFIED DURING AS-BUILT VISIT. WALLS, CEILING/FLOOR ASSEMBLIES TO BE MODIFIED AS NEEDED TO MEET 1HR REQ'S & DOOR TO MEET HARDWARE REQ'S PER SCHEDULE.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.26) W/D UNITS TO MEET ADA HEIGHT REQ'S. PLATFORM UNDER UNIT MAY BE REQ'D TO MEET REQ'S.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.27) VERIFY (E) F.E. CASES ARE 48" MAX TO TOP OF F.E. & FIRE RATED FOR WALL CONSTRUCTION.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.28) DESIGN / STRUCTURAL ENGINEERING OF NEW DROP OFF CANOPY & ASSOCIATED MODIFICATION TO (E) CANOPY BY OTHERS. SEE CANOPY NOTE ON PLANS FOR ADDITIONAL INFORMATION.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.29) EXTERIOR GUARDRAIL BY OTHERS TO MEET CODE REQUIREMENTS. PROVIDE HANDRAIL ON BOTH SIDES OF CORRIDOR (OWNER REQUIREMENT). PROVIDE BLOCKING IN WALL, COORD. DETAILS & ALL LOCATIONS W/ OWNER.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.30) ELECTRICAL U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.31) APARTMENT UNIT MAILBOXES (SIZE TBD), DESIGN TBD W/ OWNER, MINIMUM OF 1 ADA BOX (WITHIN 48" REACH RANGE)	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.32)	(RFR) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS, WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(EXIT) INDICATES EXISTING / MODIFY AS REQUIRED



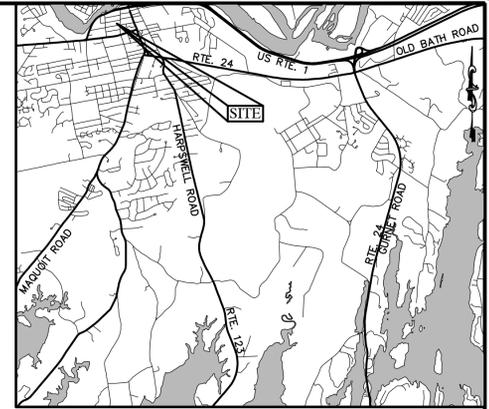
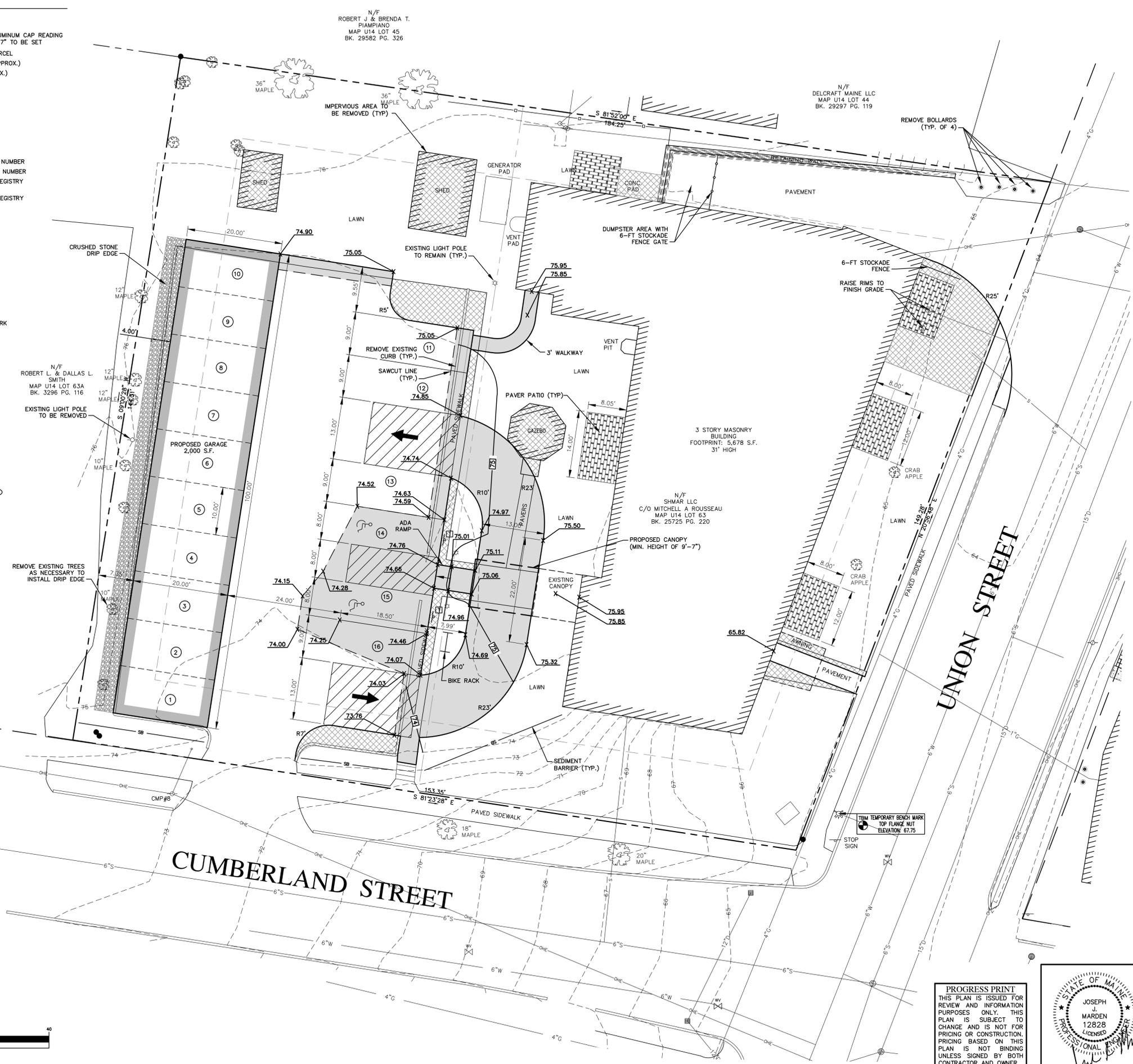
TYPICAL CONSTRUCTION NOTE:

1. ALL WALL, CEILING, FLOOR, BRACING, FURRING AND OTHER FRAMING TO BE NON-COMBUSTIBLE (STEEL) TO MEET TYPE II-(111) CONSTRUCTION.
2. ALL FRAMING CONSTRUCTION SHALL MEET INDUSTRY, MANUFACTURER & SSMA STANDARDS.
3. ALL CONSTRUCTION TO BE NON-COMBUSTIBLE TO MEET REQUIREMENTS OF NFPA 220, 4-3.1 AND IBC 602.2.
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PLAN N
Proposed 3rd Floor Plan
SCALE: 1/4"=1'-0"

GENERAL PLAN NOTES:	FLOOR PLAN KEYNOTES:	WALL PLAN LEGEND:	FLOOR PLAN LEGEND:
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02. NO STRUCTURAL ELEMENTS TO BE REMOVED OR DEMOLISHED WITH OUT REVIEW AND DIRECTION FROM A LICENSED STRUCTURAL ENGINEER. REVIEW ALL CORE DRILLING THROUGH EXISTING FLOORS, CEILINGS & WALLS WITH STRUCTURAL ENGINEER.	(FP.02) KITCHEN CABINETS BY OTHERS, 50% OF STORAGE TO BE WITH ADA REACH RANGE.	(NEW) NEW FRAMED WALL (METAL STUDS W/ 8" TYPE 'X' DRYWALL) STUD SIZE: 3/8" TYPICAL, 5/2" OR 6" AS NEEDED	(H) INDICATES HORN & STROBE, BIDDER DESIGNER TO VERIFY ALL (E) & NEW LOCATIONS.
03. WHERE EXISTING AND NEW WALLS MEET, FINISH TO ALIGN WITH A SMOOTH AND FLUSH TRANSITION.	(FP.03) PROVIDE ADA KITCHEN SINK / FAUCET, COUNTER AT 34" A.F.F. WITH 30" CLEAR KNEE CLEARANCE BELOW.	(R) INDICATES 1HR RATED (SMOKE / FIRE PARTITION) WALL CONSTRUCTION IN (E) OR NEW WALLS. EXTEND (AT MINIMUM) JUST ABOVE RATED ACT CEILING.	(E) INDICATES EXISTING ILLUMINATED EXIT SIGN.
04. ALL EXISTING FINISHES TO REMAIN SHALL BE PROPERLY PREPPED FOR PAINT OR NEW FINISH.	(FP.04) GAS U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES HARDWIRED ILLUMINATED EXIT SIGN W/ BATTERY BACKUP & COMBINATION EMERGENCY LIGHTS. SEE FLOOR PLAN FOR LOCATIONS. NEW OR REPLACES (E) EXIT SIGN.
05. FILL ALL PLUMBING, HVAC, ELECTRICAL AND OTHER PENETRATIONS THROUGH RATED WALL, FLOOR & CEILING ASSEMBLIES WITH FIRE STOPPING (REFER TO DETAIL 5/A8.0)	(FP.05) BUILT-IN CABINET BY OTHERS, VERIFY EQUIPMENT REQUIREMENTS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EMERGENCY LIGHTING W/ BATTERY BACK UP.
06. PROVIDE SHOP DWGS. TO ARCH. FOR ADA COMPLIANCE REVIEW FOR THE FOLLOWING: ADA KITCHENS, ADA TOILET ROOMS, ADA BATHROOMS & ADA SAUNA.	(FP.06) BIDDER DESIGNED ADA SAUNA / REVIEW ALL FINISH AND EQUIP. WITH OWNER & PROVIDE SHOP DWG. TO ARCH FOR REVIEW.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES MANUALLY OPERATED EMERGENCY LIGHTING W/ BATTERY BACKUP.
07. ALL EQUIPMENT, APPLIANCES & MATERIALS TO BE INSTALLED PER MANUFACTURER WRITTEN INSTRUCTIONS.	(FP.07) ADA WHIRLPOOL TUB W/ REMOVABLE TRANSFER SEAT & ADA CONTROLS. MAINTAIN CLEAR SPACE FOR 60" TURNING RADIUS. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES INTERCONNECTED UL LISTED SMOKE / HEAT ALARM W/ BATTERY BACKUP. CODE COMPLIANT SYSTEM TO BE FINALIZED BY BIDDER DESIGNER.
08. ALL DRYWALL SHALL BE 5/8" TYPE 'X' DRYWALL.	(FP.08) KITCHEN DESIGN BY OTHERS, REVIEW OPTIONS & APPLIANCES W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
09. WHERE EXTERIOR WALL CAVITIES ARE EXPOSED THEY ARE TO BE FILLED WITH INSULATION CAVITY DEPTH.	(FP.09) REVIEW SHELVING OPTIONS W/ OWNER PRIOR TO PURCHASE.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
NOTE: SEE GENERAL NOTES ON SHEET A1.0 FOR ADDITIONAL INFO.	(FP.10) PREFABRICATED SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.11) SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.12) SHOWER STALL UNIT & CURTAIN ROD, CONTRACTOR TO VERIFY FINAL SELECTIONS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.13) NEW DOOR IN (E) WINDOW LOCATION, TO FIT (E) WIDTH & VERIFY ANY CHANGE TO (E) HEADER SUPPORT.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.14) NEW DOOR OR WINDOW OPENING IN (E) EXTERIOR WALL. REVIEW REQUIREMENTS W/ STRUCTURAL ENGINEER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.15) LINE RECESSED ENTRY BELOW (SEE 1ST FLOOR PLAN)	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.16) REVIEW DESK REQUIREMENTS WITH OWNER	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.17) ADD RECEPTION VIEW WINDOW, VERIFY SIZE & LOCATION IN FIELD. MOODY (S) FIRE ALARM PANEL AS REQ'D	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.18) RECEPTION LOW WALL W/ ADA COUNTER TOP AT 36", VERIFY COUNTER DEPTH & DETAILS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.19) POTENTIAL SERVER CLOSET, VERIFY ALL REQUIREMENTS (EQUIPMENT, MOUNTING & VENTILATION) FOR SERVER CLOSET WITH BIDDER DESIGNER	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.20) REPLACE (E) THRESHOLD WITH ADA (3/4" MAX) THRESHOLD APPROX. LINE OF (E) MAIN DROPPED STEEL BEAM ABOVE CEILING, ASSUMED TO BE ON ALL FLOORS, FULL EXTENT UNKNOWN, VERIFY IN FIELD	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.21) (E) KITCHEN EQUIPMENT TO REMAIN.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.22) APPLIANCE SELECTION BY OWNER. INSTALL PER CODE AND MFR REQUIREMENTS, COORDINATE SPECIFICATIONS W/ BIDDER-DESIGNED SYSTEMS.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.23) VERIFY (E) THRESHOLD MEETS ADA REQUIREMENTS. MODIFY WHERE REQUIRED TO MEET ADA REQUIREMENTS.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.24) ROOM CONDITIONS COULD NOT BE VERIFIED DURING AS-BUILT VISIT. WALLS, CEILING/FLOOR ASSEMBLIES TO BE MODIFIED AS NEEDED TO MEET 1HR REQ'S & DOOR TO MEET HARDWARE REQ'S PER SCHEDULE.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.25) W/D UNITS TO MEET ADA HEIGHT REQ'S. PLATFORM UNDER UNIT MAY BE REQ'D TO MEET REQ'S.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.26) (E) F.E. CASES ARE 48" MAX TO TOP OF F.E. & FIRE RATED FOR WALL CONSTRUCTION.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.27) DESIGN / STRUCTURAL ENGINEERING OF NEW DROP OFF CANOPY & ASSOCIATED MODIFICATION TO (E) CANOPY BY OTHERS. SEE CANOPY NOTE ON PLANS FOR ADDITIONAL INFORMATION.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.28) EXTERIOR GUARDRAIL BY OTHERS TO MEET CODE REQUIREMENTS. PROVIDE HANDRAIL ON BOTH SIDES OF CORRIDOR (OWNER REQUIREMENT). PROVIDE BLOCKING IN WALL, COORD. DETAILS & ALL LOCATIONS W/ OWNER.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.29) ELECTRICAL U.L. LISTED FIREPLACE (SELECTION BY OTHERS) CLEARANCES & VENT PER MFR & CODE.	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED
	(FP.30) APARTMENT UNIT MAILBOXES (SIZE TBD), DESIGN TBD W/ OWNER, MINIMUM OF 1 ADA BOX (WITHIN 48" REACH RANGE)	(R) INDICATES 1HR RATED (SMOKE / FIRE BARRIER) WALL CONSTRUCTION IN (E) OR NEW WALLS. WALL TO EXTEND THROUGH CEILING CAVITY TO UNDERSIDE OF STEEL DECKING.	(E) INDICATES EXISTING / MODIFY AS REQUIRED

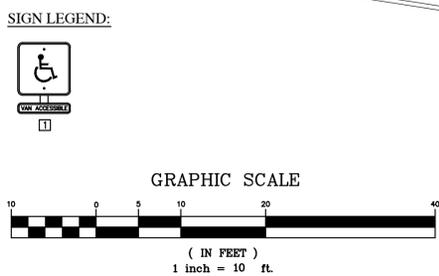
- LEGEND**
- MONUMENT FOUND
 - IRON MARKER FOUND
 - 5/8" REBAR TOPPED WITH AN ALUMINUM CAP READING "BRUCE W. MARTINSON - PLS 2137" TO BE SET
 - BOUNDARY LINE OF SURVEYED PARCEL
 - - - BOUNDARY LINE OF ABUTTERS (APPROX.)
 - - - ROAD RIGHT OF WAY LINE (APPROX.)
 - COMPUTATIONAL TIE LINE
 - STONE WALL (APPROX.)
 - EDGE OF TRAVELED WAY
 - OHE UTILITY LINE
 - /CMP 13 UTILITY POLE WITH NUMBER
 - IPF IRON PIPE FOUND
 - IRF IRON ROD FOUND
 - DH DRILL HOLE
 - Δ 4 ARBITRARY TRAVERSE POINT WITH NUMBER
 - 12, 1001 ARBITRARY COMPUTATIONAL POINT NUMBER
 - BK 10674, PG 197 DEED BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
 - PB 195, PG 130 PLAN BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
 - R/W RIGHT OF WAY
 - N/F NOW OR FORMERLY HELD BY
 - AC ACRES
 - MORE OR LESS
 - SEWER MANHOLE
 - LIGHT POLE
 - CATCH BASIN
 - WATER SHUT OFF
 - HYDRANT
 - SIGN
 - WATER VALVE
 - ELEVATION TEMPORARY BENCH MARK
 - EXISTING TO BE REMOVED
 - PROPOSED AREA
 - PERMEABLE PAVER



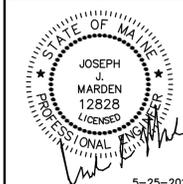
LOCATION MAP
SCALE: 1" = 5000'

- NOTES:**
- TITLE REFERENCE FOR SURVEYED PARCEL:
BK. 25725 PG. 220
 - PLAN REFERENCE(S):
A) "BOUNDARY SURVEY OF BRUNSWICK MANOR INC.", DATED OCT. 25, 1982, BY JOHN T. MANN, RLS #1225, RECORDED IN PB 135, PG 79.
 - AREA INFORMATION:
24,474 S.F. OR 0.56 ACRES
 - TAX MAP REFERENCE:
TAX MAP U14, LOT 63
 - BASIS OF BEARINGS:
BEARINGS ARE MAGNETIC (1982) AND ARE BASED ON HAND COMPASS BEARINGS ALONG RANDOM TRAVERSE LINES.
 - ROAD INFORMATION:
DEFINITION OF CUMBERLAND STREET IN TOWN ROAD RECORDS VOL. 5, PG. 32 AND DEFINITION OF UNION STREET IN TOWN ROAD RECORDS VOL. 4, PG 46.
 - TOPOGRAPHIC DATUM:
REFER TO BENCHMARK ON PLAN.
 - ZONING:
PARCEL IS LOCATED WITHIN THE VILLAGE REVIEW ZONE (VRZ)
INNER PLEASANT STREET NEIGHBORHOOD (TR1):
MIN. LOT SIZE - 7,500
MAX. DENSITY - 10 UNITS/ACRE
MIN. LOT WIDTH - 65 FEET
MIN. FRONT YARD - 15 FEET
MIN. REAR YARD - 15 FEET
MIN. SIDE YARD - 15 FEET
MAX. IMP. SURFACE - 50%
MAX. BUILDING HEIGHT - 35 FEET
MAX. BUILDING FOOTPRINT/STRUCTURE - 7,500 S.F.
 - IMPERVIOUS CALCULATION:
EXISTING LOT AREA: 24,474 S.F. OR 0.56 ACRES
EXISTING IMPERVIOUS: 14,817 S.F. (0.34 ACRES) 60.5%
PROPOSED IMPERVIOUS: 14,810 S.F. (0.34 ACRES) 60.5%
NET IMPACT: -7 S.F.

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



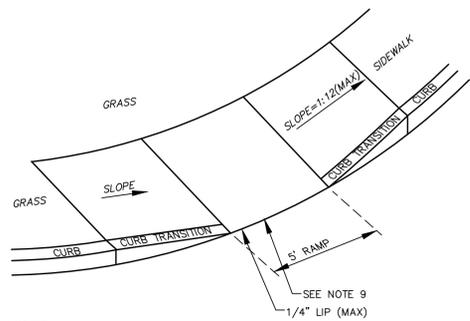
SITE DEVELOPMENT PLAN

26 CUMBERLAND STREET
BRUNSWICK, MAINE

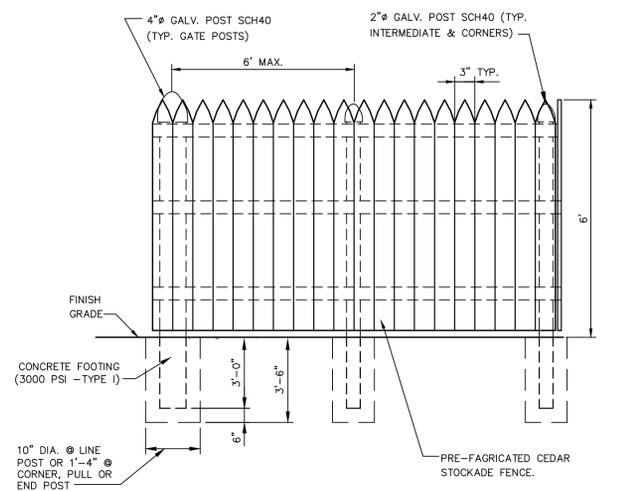
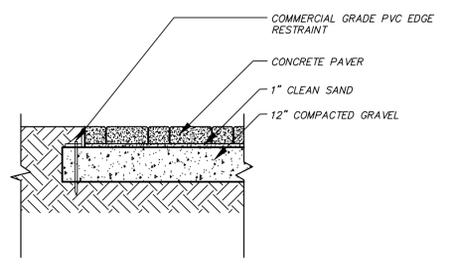
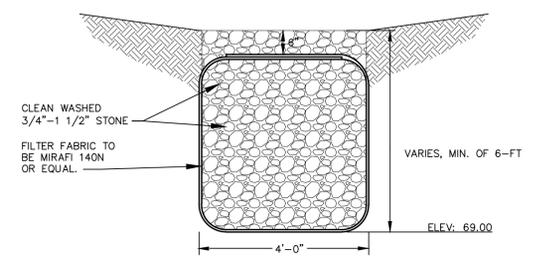
PREPARED FOR:
MCLELLAN NURSING ENTERPRISES

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK:	SCALE: 1" = 10'	SHEET:
DRN BY: RPL	JOB #: 3072	1
CH'D BY: KPC	MAP/LOT: U14/63	
DATE: 04-15-16	FILE: 3072-SITE	



- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2% (1½ MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8.3%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

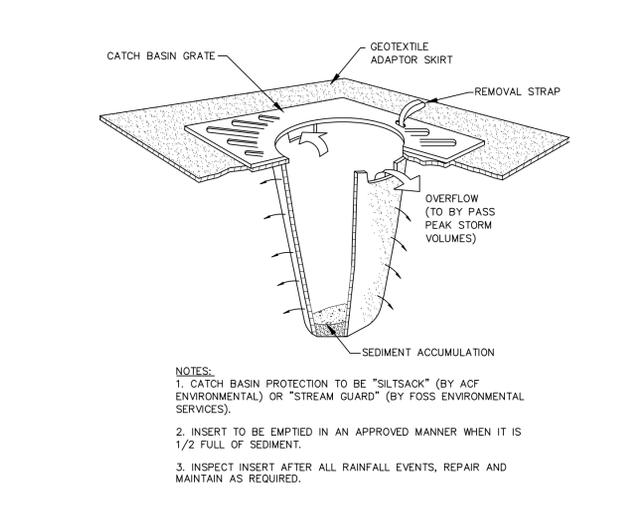
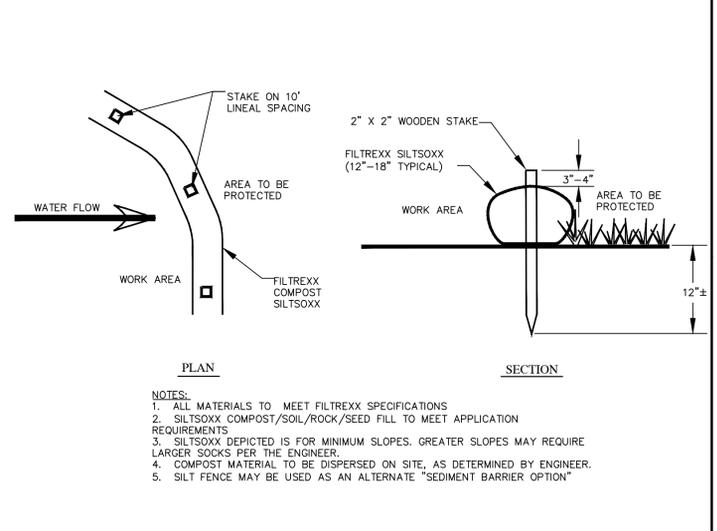
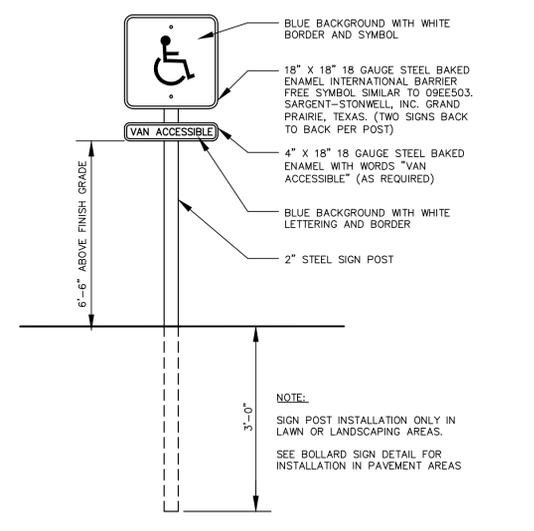
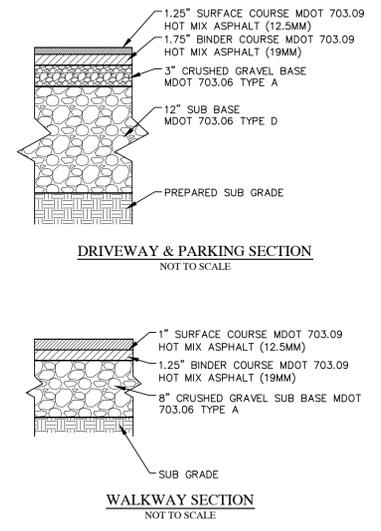


A TIP DOWN SIDEWALK RAMP
NOT TO SCALE

B STONE DRIP EDGE
NOT TO SCALE

C PAVERS AT PATIO DETAIL
NOT TO SCALE

D DUMPSTER STOCKADE FENCE DETAIL
NOT TO SCALE

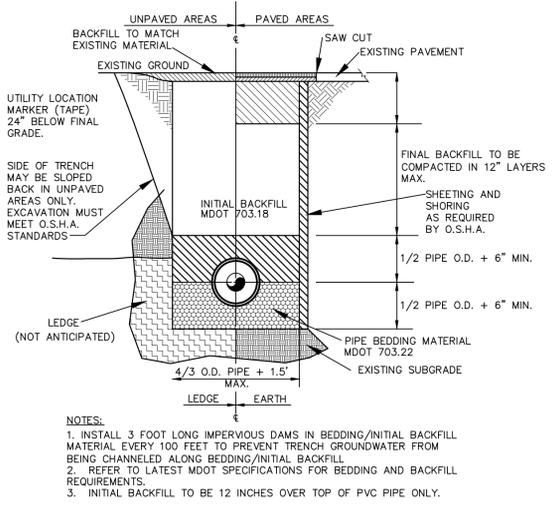


E PAVEMENT SECTIONS
NOT TO SCALE

F BARRIER FREE PARKING SIGN DETAIL (IN GRASS)
NOT TO SCALE

G FILTREXX SILTSOXX DETAIL "SEDIMENT BARRIER OPTION"
NOT TO SCALE

H TEMPORARY INLET PROTECTION DETAIL
NOT TO SCALE



I TYPICAL TRENCH DETAIL
NOT TO SCALE

J NOT USED
NOT TO SCALE

K NOT USED
NOT TO SCALE

PROGRESS PRINT
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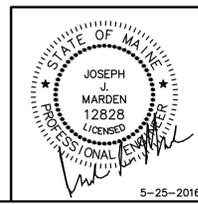
SITE DEVELOPMENT DETAILS

26 CUMBERLAND STREET
BRUNSWICK, MAINE

PREPARED FOR:
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FIELD WK: MC/CH	SCALE: NTS	2
DRN BY: RPL	JOB #: 3072	
CHD BY: KPC	MAP/LOT: U14/63	
DATE: 04-15-16	FILE: 2954-DETAILS	





STI # 16195
TO-16-002

Review Memorandum

TO: Jared Woolston –Town of Brunswick Planner

FROM: James Seymour, P.E.
Development Engineering Review Consultant
Sebago Technics, Inc.

DATE: May 26, 2016

RE: The McLellan- 26 Cumberland Street Brunswick, ME
McLellan Nursing Enterprises-Brunswick, ME
Tax Map U14 Lot 63

We have reviewed the Application and Development Plan for the Proposed Site Development for a former nursing home use on a lot just under 15,000 Sf on a parcel located off Cumberland and Union Streets. The site is located in the Village Review Zone. We have been requested to review the application and plan to assess whether it has met the Brunswick Ordinance requirements under Section 504 for Storm Water Management and 509.1 Community Facilities Impact Analysis G. for the Site Plan Application. That section references compliance with the Maine Dep Stormwater Best Management Practices, as published by the Maine Department of Environmental Protection November 1995. While that document is outdated there are newer versions which we have utilized for the review.

We received a revised set of the proposed Site Development Plan and Application as filed by Sitelines, PA, on Amy McLellan, the owner of the property. Below are our comments to the application regarding concerns for the design and compliance with the Stormwater Management requirements.

1. The site plan indicates that there will be a drip edge design for the Garage. The design should include calculations which show how much storage is in the drip edge and assess an infiltration rate for the soil to determine the rate recharging into the ground and when and how much could discharge to the street in a larger storm. Our first initial thought is the drip edge could be narrowed up.
2. We would recommend a soil assessment to determine percolation rates, and to determine if season high-water is an issue. The medium intensity maps and summaries are too broad to assess a reasonable rate, a test pit, or engineering statement should attest to an acceptable rate of infiltration under the drip edge. We feel groundwater is not a concern as public water is provided throughout the neighborhood
3. We feel the drip edge detail should include stone to the frost line of 4 feet depth to assure that during winter periods the drip-edge will have a high percentage of operating as designed. Also it may be a better performance if the top is not wrapped, as all the

runoff is relatively all roof runoff, The engineer shall consider the impacts of the geotextile fabric as a an unintended barrier for vertical drainage.

4. A maintenance plan or statement as to how and how often the drip edge will be maintained shall be included, as the surface should be kept clean of leave, or grass debris.
5. Based on the assessment by the Planner that there is no additional or substantial impervious area additions then we have no objection to the drainage patterns and grading, but we would like to assess how much runoff flow rate/or volume reduction we are getting by infiltration practices. A simple rational calculation such we can document the reduction would be beneficial.

Please feel free to contact me if you or the design-professional have questions with our opinions, review comments, or concerns. We will be available to assist you and the applicant further, if warranted, to address any addition questions but as always, final approval, of the application associated with this project for The McLellan, is with the Town of Brunswick Planning Board

Sincerely;



James R. Seymour P.E
Consulting Review Engineer

JRS:jrs

Julie Erdman

From: Jeff Emerson
Sent: Wednesday, March 16, 2016 4:42 PM
To: Jared Woolston
Cc: Amanda Roberson Austin; Dick Campbell; Kevin Clark; Mitch Rousseau; Carl Adams; Amy McLellan
Subject: RE: Senior Housing Project/Brunswick Maine/Amy McLellan

Jared,

On March 10, 2016 I conducted an on-site visit at 26 Cumberland Street to discuss the future use of the building and any related issues. The project will have to undergo the typical building permit process, and any noted deficiencies will be addressed at that time. Currently the fire department has no concern with the existing site layout, including water supply location and capacity. The proposed use is a less restrictive use than the previous use according to the fire code, and we see no issues related to the site plan.

Jeff Emerson
Deputy Chief
Fire Prevention Division
Brunswick Fire Department
21 Town Hall Place
Brunswick, ME 04011
207-725-5541 Ext # 2
207-725-6638 Fax
jemerson@brunswickme.org

With limited exceptions, e-mails sent to and from the Town of Brunswick are considered public records under Maine's Freedom of Access Act (FOAA). Public records are open to inspection and may be copied and distributed to others, including members of the media. Unless the e-mail meets one of the exceptions to the public records provisions, there should be no expectation of privacy or confidentiality.

From: Jeff Emerson
Sent: Tuesday, March 15, 2016 11:04 AM
To: 'Amy McLellan'; Carl Adams
Cc: Amanda Roberson Austin; Dick Campbell; Kevin Clark; Mitch Rousseau; Jared Woolston
Subject: RE: Senior Housing Project/Brunswick Maine/Amy McLellan

Amy,
I just left you a long voice mail, but here is a brief response.

I attend the staff review meetings prior to the planning board, and will make any comments that I have at that meeting. The meeting is just for site review and zoning purpose and will not touch on what Carl and I discussed with you that day.

The development review is local and does not include the state.

The state is separate, and it is needed before construction for a construction permit. You may want to ask them about closing, but I think it is an "at your risk" scenario.

Jeff Emerson
Deputy Chief
Fire Prevention Division

Brunswick Fire Department
21 Town Hall Place
Brunswick, ME 04011
207-725-5541 Ext # 2
207-725-6638 Fax
jemerson@brunswickme.org

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From: Amy McLellan [<mailto:amymclellan@icloud.com>]
Sent: Tuesday, March 15, 2016 8:26 AM
To: Jeff Emerson; Carl Adams
Cc: Amanda Roberson Austin; Dick Campbell; Kevin Clark; Mitch Rousseau; Jared Woolston
Subject: Senior Housing Project/Brunswick Maine/Amy McLellan

Jeff and Carl:

Thank-you for the site visit at 26 Cumberland Street last week.
I wanted to give you an update on where the project is at and I have a couple questions.

I have engaged an architect for the project: 2A architects
Amanda Roberson Austin
207-236-6545
ara@2aarch.com

They understand that time is of the essence on this project. Their experience and skill is invaluable to the project.
I wanted you to have their contact information going forward to expedite the process and any questions either of you may have.
Please feel free to go through Dick and Amanda to get your questions answered efficiently.

It is my hope that Amanda and 2A will be able to get us the plans that you both need by April 26th.

- Jeff:
- I understand that we will need a statement from you the Deputy Fire Chief for development review at planning board and that the planning board likes to have that statement before the Board Meeting at Staff Review Committee the week before. It was my hope to get to Planning Board April 26th, but without you and your statement, it would be an incomplete meeting correct? You will need the plans for a week to review before being able to make a statement, correct? It seems then that a May 3 or May 10 Board meeting is more realistic considering that we will need your statement for development review? Would you agree?
 - Is the STATE Fire Marshall involved with the development review process or just you?
 - Is the STATE Fire Marshall review a separate entity and needed in order to secure occupancy? Do I need to have it completed before I can close on the building?

Carl:

- Do you have a role with development review or is your inspection just necessary for occupancy?

Many thanks for your guidance and support of this project,

Amy McLellan, RN
207-671-9033



“...the moments of our lives have value, whether
we are 8 or 108, every single moment matters.”
~Amy McLellan, RN

**Approved Findings of Fact
26 Cumberland Street (former Skolfield House)
Request for Certificate of Appropriateness for Structural Alterations and New Construction
Village Review Board
Approval Date: May 24, 2016**

Project Name: The McLellan
Case Number: VRB -16-019
Tax Map: Map U14, Lot 63
Applicant: Amy McLellan
75 Union Street
Brunswick, ME 04011
207-671-9033
Property Owner: SHMAR, LLC
Mitchell A. Rousseau
11 Bank Street
Brunswick, ME 04011
207-725-4071

PROJECT SUMMARY

The applicant is requesting a Certificate of Appropriateness to make structural alterations to the former Skolfield House (a nursing care facility) and construct a 10-bay garage over a portion of the existing parking lot at 26 Cumberland Street. The building, to be renamed The McLellan, will be reused as five apartments and 13 senior living units. The property is located in the Town-Residential 1 (TR1) Zoning District and the Village Review Overlay Zone. The structure is not considered to be a contributing resource to the Village Review Overlay District.

Alterations include adding exterior elements to create a more residential look rather than the existing institutional appearance of the structure, including additional windows and patio doors, shutters, window boxes, brass lighting fixtures and new main entryway. As noted on the plan, in the future the Union Street facing entryway will be altered to be consistent with those present on the Stetson Block building directly across Union Street. Photos of existing conditions, replacement designs and detail sheets are provided in the application packet.

The following draft Findings of Fact for a Certificate of Appropriateness is based upon review standards as stated in Section 216.9 of the Brunswick Zoning Ordinance.

216.9 Review Standards

A. General Standard.

- 1. All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance. In meeting the standards of this Ordinance the applicant may obtain additional guidance from the U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings and the Village Review Zone Design Guidelines. *Per the submitted application, the proposed renovations are consistent with the Village Review Zone Design Guidelines and are attempting to add architectural elements and detailing to this existing noncontributing resource consistent with the neighborhood character. In addition, the design and detailing of the proposed 10-bay garage is consistent with the Village Review Zone Design Guidelines. Detail sheets have been provided for all proposed lighting fixtures. Other materials and renovations are noted on the attached building elevations and/or shown through photos of similar examples.***

B. New Construction, Additions and Alterations to Existing Structures.

1. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:
 - a. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource. *The structure is a noncontributing resource. The proposed renovations appear to be designed to improve the structure compatibility with nearby contributing resources, "softening the institutional look of the building through color, adding shutters and new window openings, first floor patios with sliding glass doors. Additional alterations of the Union Street entryway are proposed as future improvements and the style is reflective of those present on the Stetson Block immediately across Union Street.*
 - b. Alterations shall remain visually compatible with the existing streetscape. *As stated above, the alterations to the noncontributing resource will improve compatibility to those contributing resources surrounding it.*
 - c. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions. *Presently, there are no distinctive historic and architectural character-defining features.*
 - d. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources. *The proposed 10-bay garage will be built over the existing 10 parking spaces located on the lot. As designed, the garage will be constructed with similar materials used within the neighborhood and is architecturally compatible with surrounding contributing resources.*
 - e. When constructing additions, the applicant shall maintain the structural integrity of existing structures. *No additions are proposed.*
 - f. For new construction of or additions to commercial, multi-family and other non-residential uses the following additional standards shall apply:
 - 1) Parking lots shall be prohibited in side and front yards, except if the application involves the renovation of existing structures where such a configuration currently exists. In cases where such parking configurations exist, the parking area shall be screened from the public right-of-way with landscaping or fencing. *The main existing parking lot will remain to the rear of the structure, with entry from Cumberland Street. A new 10-bay garage will be constructed over 10 of the 16 parking spaces. In addition, the existing 2-parking space area in front of the structure will be reduced to one parking space to serve an ADA-accessible unit. It is suggested that additional landscaping be provided between the rear parking lot and sidewalk along Cumberland Street.*
 - 2) Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way. *Pedestrian connections between the parking lot and building are indicated on the site plan.*
 - 3) All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way and shall be screened from public view. *The dumpster location will be moved to the north side of the structure instead of previous location on Union Street sidewalk, and shall be visually screened.*
 - 4) Roof-top-mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited. *None proposed at this time.*
 - 5) Building Materials:
 - a) The use of cinder-block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the

- exception of use in the building's foundation. *None proposed.*
- b) **The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited.** *Wood clapboard siding will be used on the 10-bay garage.*
 - c) **Buildings with advertising icon images built into their design ("trademark buildings") are prohibited.** *Not applicable.*
- 6) **No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry.** *Not applicable.*
 - 7) **No building on Maine Street shall have more than 15 feet horizontally of windowless wall.** *Not applicable.*
 - 8) **All new buildings and additions on Maine Street:**
 - a) **Must be built to the front property line. This may be waived if at least 60% of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.**
 - b) **If adding more than 50% new floor area to a structure, the addition shall be at least two stories high and not less than 20 feet tall at the front property line.**
 - c) **The first floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50% glass. Upper floors shall have a higher percentage of solid wall, between 15% and 40% glass.** *Subsections a., b. and c. above are not applicable.*
 - 9) **Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources.** *As stated previously, alterations shall improve compatibility with nearby contributing resources.*

C. Signs

Signs shall comply with the requirements of Chapter 6 (Sign Regulations) with consideration given to the Village Review Zone Design Guidelines. *Signs will be separately reviewed by staff for conformance with Chapter 6 (Sign Regulations) of the Brunswick Zoning Ordinance.*

Approved Motions
26 Cumberland Street (former Skolfield House)
Request for Certificate of Appropriateness for Structural Alterations and New Construction
Village Review Board
Approval Date: May 24, 2016

Motion 1: That the Certificate of Appropriateness application is deemed complete.

Motion 2: That the Board approves the Certificate of Appropriateness for proposed structural alterations, the construction of a 10-bay garage and other site improvements with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.



TOWN OF BRUNSWICK, MAINE
Bike & Pedestrian Advisory Committee

28 FEDERAL STREET
BRUNSWICK, ME 04011

William Wilkoff, Co-Chair
Richard Cromwell, Co-Chair

PHONE: 207-725-6660
FAX: 207-725-6663

Minutes of May19, 2016

**Council Chambers
85 Union Street**

Present: Will Wilkoff (chair), Jared Woolston (Town Planner), Rich Cromwell (co-chair) Josh Katz, Kathy Wilson (Town Councilor), John Blood, Ben Walsh, Representatives of Beacon Ridge Subdivision

Call to Order: 6:02 PM

April 21, 2016 Minutes: Approved without correction

Communications: Rich reported that he received communications from Kris Haralson and Larry Kline regarding the topics they presented at our last meeting. In both cases their projects will not appear on our current agenda.

Rich was also interviewed by the Forecaster regarding the recent bike/vehicle accident on Federal Street.

Jared had received an email from Steve Cohen in which he has resigned from the Committee. Both Rich and Will reported that they have emailed Steve thanking him for his contributions and encouraging him to continue to remain involved in bicycle and pedestrian issues.

Project Reviews:

Case # 16-010 – Representatives of Beacon Ridge Subdivision (off of Thomas Point Rd) presented their case for a waiver that would allow them to not include sidewalks on the development that will have at least 25 lots. It was the unanimous feeling (supported a show-of-hands vote) of the Committee members that this development should have a sidewalks on at least one side of the street primarily for the safety of children walking to the school bus stop. Eliminating sidewalks would not be in keeping with the philosophy of considering all users in the creation of a street.

Case # 16-017 – The McClellan project is a rehabilitation of an existing structure on Cumberland Street. The developer has already stated that a bike rack for employees will be included in the plan. The Committee had no other recommendations.

Projects:

People for Bikes Grant – Rich reported on this project initiated by the Merrymeeting Wheelers. The application process is moving forward. The Wheelers have responded to the questions from the grantor and are waiting a response.

Bike Friendly Downtown – Ben reported that at least from the standpoint of the business promotion portion things are moving along. Most businesses have chosen the reward they will offer and the stickers and signs are in progress.

Bike Friendly Community Application – Josh presented the electronic application that he has been working on and asked for the Committee's assistance in completing the form. He will forward to each of us the log in and password information. Committee members are encouraged to send their contributions to Jared and he will work with Josh on the application.

Frank Wood Bridge – Rich, Josh and Will attended the MDOT presentation at the Topsham Library. After a brief discussion the Committee unanimously supported the MDOT replacement plan. Kathy will carry this information to the Council and encourage them to move forward promptly to work with Topsham on recommendations regarding esthetics and other details.

MRRR Meeting – Will and Jared met with Tom Brubaker who is in charge of Public Works at Brunswick Landing. Will reported that Tom has not plans for re-striping this year because the current striping had survived with winter well. In response to Will's questions about sidewalks for the influx of new employees Tom said that the new owners/occupants would be the ones to speak with. He did have some observations on the routes for recreational lunchtime walking that current employees have developed on their own.

Regarding signage for bike routes to the Rec Center Tom was willing to look into whether could fund some of the cost for the signs. It was left that Rich and Will and probably Tom Farrell will meet to flesh out these routes and the funding mechanism required.

In response to Will's suggestion of making Admiral Fitch Rd. a sharrow from the entrance to when the road straightens out. Jared will forward to Tom the sharrow guidelines the Committee has developed at the request of John Foster.

Union Street Audit – Rich reported that he and a group of the Wheelers has completed the onsite work and he is hoping to get a larger scale map from Jared to display their

findings. The next step will be a workshop meeting of available Committee members and Wheeler representatives to develop a list of suggestions to be reviewed by the entire Committee and if approved forwarded to John Foster.

Complete Streets – Will reported that is still in contact with John Eldridge who has said that he continues to support its adoption and plans to have his reformatting completed for adoption in June.

Walk-Friendly Community Application – Will suggested that in light of Steve Cohen's resignation and his feeling that given the changes suggested in our evaluation it is too soon to consider re-applying and that we remove this project from our agenda.

Greenwood Road to Arrowhead Drive Trail Connection – John reported that he had yet to receive any response from Central Maine Power regarding their right of way.

Steve's Spread Sheet of Projects – Will has offered to take this on as a project in hopes of fleshing it out into a document that can be used to guide us as we move forward and respond when grant opportunities become available. Jared has offered to help him with this.

Staff Report:

Letter to Wayfair and Savilinx – This letter has not gone out and has been reworked by Jared with help from Linda Smith the Town's Business Development Manager. The Committee hopes to see that final draft before it goes out.

Accident Report - There was a brief discussion of the two recent accidents involving bicycles and motor vehicles, one on McKeen St. and the other on Federal Street.

Adjournment: 7:28 PM

Next Meeting Scheduled for June 16, 2016

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JANUARY 12, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Bill Dana, Jeremy Evans, and Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, January 12, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

~~**1. Case # 15-050, Miller Point Plan Amendment:** The Planning Board will review and take action on a Final Plan Major Development Review application (originally approved March 9, 1999, submitted by Nancy P. and Robert C. King, Jr.), to revise setback and consolidate development areas in the Coastal Protection 1 (CP1) Zoning District and the Natural Resource Protection Overlay Zone (NRPZ) (Map 31, Lot 29).~~

~~Item removed on 1.6.16.~~

2. Case #15-051, Wildberry Lane (Nadeau) Subdivision Amendment: The Planning Board will review and take action on a Final Plan Major Development Review application to revise the Declaration of Restrictions For Wildberry Lane Subdivision to allow five (5) horses on Lot #2 and Common Area #2 rather than two (2) horses as currently allowed. The project site is located in the Coastal Protection 1 (CP1) Zoning District and the Natural Resource Protection Overlay Zone (NRPZ) (Map 27, Lot 42 and Lot 46).

The applicant, Danny Nadeau, added that the residents are all in favor of making this amendment. In reference to the Declaration of Amendments for Wildberry Lane, Charlie Frizzle asked if this amendment is not included because it has not yet been formally written; page 2 missing. Charlie pointed out that there is also nothing listed about keeping horses on Common Area 2. Jared Woolston replied that it was his understanding in talking with Staff Review and the applicant that Common Area 2 was not talked about in the original agreement, but the intent was to allow for 2 horses on Common Area 2. Jared said that this was included in the application but must have been missed when materials were copied.

MOTION BY MARGARET WILSON TO DEEM THE MAJOR DEVELOPMENT REVIEW AMENDMENT COMPLETE. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

Chair Charlie Frizzle opened the meeting to public comment. No comment made, the comment period was closed.

Anna Breinich passed around page 2 of the Declaration of Amendment for language review.

MOTION BY RICHARD VISSER THAT THE MAJOR DEVELOPMENT REVIEW AMENDMENT IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to the these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That within 90 days of executing the Amendment to Declaration of Restrictions for Wildberry Lane as submitted by the applicant to the Planning Board, a copy of the recorded Amendment to Declaration of Restrictions for Wildberry Lane with Book, and Page numbers assigned at the Cumberland County Registry of Deeds shall be provided to the Director of Planning and Development.
3. That prior to the sale of "Lot 2" of the Wildberry Lane Subdivision, the applicant shall execute deed restrictions for Lot 2, satisfactory to the Director of Planning and Development, that reflect the same rights and restrictions as are contained in the Declaration of Restrictions for Wildberry Lane and recorded at the Cumberland County Registry of Deeds in Book #14448, on Page 18; and the Amendment to Declaration of Restrictions for Wildberry Lane.

MOTION SECONDED BY, JEREMY EVANS, APPROVED UNANIMOUSLY.

3. Case # 07-105, Request for Site Plan Approval Extension, The Ledges Congregate Care Facility: Pursuant to Section 407.4.B of the Zoning Ordinance, Briarwood Partners is requesting a site plan approval extension from the Planning Board, for the development of a congregate care facility at 349 Bath Road (Assessor's Map 45, Lot 40) in the Business and Industry 3 (I3) Zoning District and the Natural Resource Protection Overlay Zone (NRPZ).

Curtis Neufeld, applicant representative, presented a PowerPoint presentation regarding the third request for extension. Curtis said that it is expected that the project will move forward under new management and noted that DEP permits are still in place.

Charlie Frizzle pointed out that the plans contain a note that requires the applicant come back before the Planning Board to renew the Special Permit before Phase II begins.

MOTION BY BILL DANA THAT THE SITE PLAN EXTENSION IS DEEMED COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

Chair Charlie Frizzle opened the meeting to public comment. No comment made, the comment period was closed.

MOTION BY RICHARD VISSER THAT THE SITE PLAN EXTENSION IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to the these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

MOTION SECONDED BY MARGARET WILSON AND APPROVED UNANIMOUSLY.

4. Zoning Ordinance Rewrite Committee (ZORC) Update

Anna Breinich invited members to attend a ZORC meeting on 1/25/16 at 7:00 P.M. in Council Chambers.

Adjourn

This meeting was adjourned at 7:23 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
MARCH 22, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Jane Arbuckle, Bill Dana, Jeremy Evans, and Sande Updegraph, Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, March 22, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case # 16-003, Convenience Store and Gasoline Station: The Planning Board will review and take action on a Final Plan Major Development Review application submitted by authorized representatives for Priority Real Estate Group, LLC, to construct a 3,850-square foot convenience store with gasoline sales and associated parking in the BNAS Reuse Zoning District (Map 40, Lots 40 and 98).

Jared Woolston introduced the project for a Convenience store and gas station to be located on Map U07, Lots 40 & 98 aka Lot 5 and Lot 6A, Brunswick Landing. Jared reviewed the Draft Findings of Fact, Project summary dated March 22, 2016.

Tom Saucier of Sitelines, presented a PowerPoint Presentation and reviewed lots 5 and 6A, the prior existing conditions plan and the proposed new convenience store and gas station plan. Tom pointed out that access will be from Merrymeeting Drive with a secondary access on Allagash Drive. Tom reviewed the utilities and tie-ins, grading plan, Stormwater plan, landscaping plan, MDOT Plans, floor plans and building materials. Tom said that they have retained a 5 foot wide strip along Bath Road for potential future improvements of Bath Road as discussed with Town staff.

Richard Visser asked where the bike rack will be located and Tom Saucier replied that they have not decided on the exact location yet, but that there will be a bike rack and repair station. Richard asked about a speed hump to prevent vehicles from using the lot as a cut through and Tom pointed out that there will be a raised crosswalk speed hump. In regards to the email discussions of the extra 10 feet added to the mast arm and foundation concerns, Bill Dana asked what the outcome was. Tom replied that it will still have to be determined, but if the foundation does not support the extra 10 feet, a new pole will need to be put in; this will be worked out between MDOT and the Town Engineer, John Foster. Sande Updegraph asked how many traffic signals they are ending up with on Bath Road. Tom replied that there will be 3. Jeremy Evan asked if staff has reviewed the traffic study associated with this development. Jared Woolston replied that they have but not to the extent that John Foster or MDOT has. Jeremy asked what prompts the ability for Planning Board to review the traffic study. Anna Breinich replied that the Board usually receives a copy of the traffic study, but pointed out that not only is this project then what was originally proposed, but that and any change will trigger changes to the existing traffic signal. Tom saucier added that the traffic study has been filed with the Town. Jeremy

asked about the shortcut traffic portion of the study and expressed that his biggest concern is that as Brunswick Landing development expands, how much traffic will be diverted to this intersection. Tom replied that they don't think there will be any diverted or additional traffic once the lights are working better. Jeremy asked what the level of traffic will be at peak times and Tom replied that at the highest points, any given traffic center will be C/D, but emphasized that this project cannot make things worse, hopefully better. Sande Updegraph asked about signage. Tom replied that the issues have been worked out with Codes Enforcement and they just need to apply for their sign permit.

Chair Charlie Frizzle opened the meeting to public comment. No public comment was made and the public comment period was closed.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT REVIEW FINAL SITE PLAN APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE REQUESTED WAIVERS ARE APPROVED.

1. Curve radii of existing and proposed streets
2. Class A Soil Survey
3. Location of trees over 10 inches in diameter
4. Stormwater Management Checklist

MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT REVIEW FINAL SITE PLAN IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. Prior to issuance of a building permit, the Town Engineer shall approve the final plans that detail all work and traffic signal upgrades associated with Bath Road.
3. Prior to issuance of a building permit, an ADA compliant pedestrian path shall be provided within the landscaped island to the satisfaction of the Town Engineer.
4. Prior to issuance of a building permit, the Town Engineer shall approve the lighting photometric plan.
5. Prior to issuance of a building permit, the location, size, profile and cross section of sanitary sewers shall be provided to the satisfaction of the Midcoast Regional Redevelopment Authority (MRRA).
6. Prior to issuance of a building permit, the Solid Waste Impact Fee shall be paid to the satisfaction of the Public Works Director.
7. Prior to issuance of a building permit, the size and materials for business identification signs shall be approved by the Director of Planning and Development.

8. Construction activities shall be performed in accordance with Section 109 of the Zoning Ordinance, and Best Management Practices shall be used in order to prevent dust migration during construction to the satisfaction of the Code Enforcement Officer (CEO).
9. Prior to issuance of a building permit, a written notification of the project shall be provided to the Maine State Historic Preservation Officer (SHPO) and written permission by the SHPO permitting the development to proceed shall be provided to the Director of Planning and Development.
10. Prior to issuance of a building permit, the developer shall post with the Town of Brunswick a performance security in satisfactory form to cover the estimated cost of the infrastructure improvements to Bath Road to modify the traffic signal and add the new left turn lane on Bath Road into the site. The amount of the security to be posted shall be reviewed and approved in advance by the Town Engineer.

MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

2. Case #16-009, U-Haul Moving and Storage of Brunswick: The Planning Board will hold a Public Hearing then review and take action on a Special Permit application submitted by authorized representatives of U-Haul Company of New Hampshire and Maine for the proposed reuse of an existing industrial building on a parcel located primarily within the Business and Industry 1 (I1) Zoning District; and partially within the Town Residential 4* / Jordan Acres Street Zoning District (Map U07, Lots 48 and 68).

Jared Woolston introduced the application for a Special Permit by U-Haul Company of New Hampshire for the proposed reuse of an existing industrial building to allow for equipment rental which is not a permitted use within Business and Industry I District.

The applicant representative, Silas Canavan of Walsh Engineering, presented a PowerPoint Presentation and stated that the applicant wishes to maintain the current Bath Iron Storage in the mostly vacant building, mixed storage, and also store and rent moving equipment; this use is omitted from the zoning ordinance. Silas said that there will also be repair of equipment and associated office space. Silas reviewed the business hours, traffic, proposed site work, road extension to Cressy Road, Stormwater management and landscaping. Silas reviewed the recorded undisturbed buffer along Federal Street and stated that this 150 foot buffer (from existing building) will be maintained. Silas stated that they did hold a public meeting, but noted that no one attended and there have been no comments submitted to staff.

Charlie Frizzle pointed out that the decision before the Board tonight is to allow moving equipment / rental as a new use in this area. Jane Arbuckle asked how notification to the neighbors was made. Silas Canavan replied that they mailed notification to abutters within 200 feet via US Postal Service a week prior to the scheduled meeting. Anna Breinich added that abutters were also notified twice of the Planning Board meeting. Sande Updegraph asked about the proposed traffic flow. Silas replied that all traffic will access through Cressy Road, but that they do plan on adding a second access primarily for staff. Charlie Frizzle noted out that this site used to employ over 300 employees with 3 shift changes and pointed out that this proposed use will not rise to this level.

Chair Charlie Frizzle opened the meeting to public comment. No public comment was made and the public comment period was closed.

MOTION SANDE UPDEGRAPH THAT THE SPECIAL PERMIT APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE SPECIAL PERMIT IS APPROVED WITH THE FOLLOWING CONDITION:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

3. Zoning Ordinance Rewrite Committee (ZORC) Update: Anna Breinich said that the next meeting is scheduled for March 24th and that most of Chapter 4 will be under review.

4. Approval of Minutes: No minutes were approved at this meeting.

5. Other Business: Jared Woolston stated that staff just approved Minor Development Review for the Gathering Place.

6. Adjourn

Adjourn

This meeting was adjourned at 7:56 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**Agenda revised 3/10/16 to correct zoning district*

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
APRIL 5, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Bill Dana, Jeremy Evans, and Sande Updegraph, Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, April 5, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case #16-010 Beacon Ridge Subdivision: The Planning Board will review and take action on a **Sketch Plan Major Development Review** application submitted by authorized representatives of Ecopath Developers, LLC, to construct a 2,175 linear foot access road for a single family residential subdivision comprised of six (6) lots. The proposed subdivision is the first phase of a four (4) phase development that results in the creation of up to 35 residential lots, located in the R6 (Cook's Corner Neighborhood); Cooks Corner Zoning District; and Natural Resource Protection Zone (NRPZ) (Map 42, Lot 16).

Jared Woolston introduced the Sketch Plan Major Development Review for a proposed single family residential subdivision divided into 4 phases with up to 35 lots and associated road.

Tom Saucier of Site Design, presented a PowerPoint presentation and reviewed Thomas Point Road near the site boundary, topography, access, lot sizes (with subsurface wastewater and wells on each lot), phase diagram / description, utilities, construction of proposed road, road width waiver request and the possibility to extend a sewer line.

Charlie Frizzle pointed out that the decision that needs to be made is whether the sketch plan meets the basic sketch plan requirements. Charlie said that this is a good time to discuss any concerns or questions with the applicant prior to submittal of their final plan. Sande Updegraph asked for more information regarding the high intensity soil survey comments made via emails. Tom Saucier replied that they would like to have the Town's independent consultant review the survey and that they plan to do two tests on each lot to determine the suitability of subsurface wastewater disposal. Tom said that they are also going to do test pits on any area that they need to construct storm water BMP's, and that they are willing to work with the Town on this before coming back for final approval. Charlie asked Jared Woolston what it is about the project that doesn't raise it to the soil level and Jared replied that the land area is not big enough. Margaret Wilson asked what the lengths of the drafted roads. Tom replied that the total is about 2,175 feet with the main road of 1200 feet a side road of 1,000. Margaret Wilson asked if they could connect to Sandy Ridge Road. Tom replied that they are dealing with the potential wetlands at this point. Margaret said that if there is a way to get this development on public sewer or water, that this would be great. Jane Arbuckle suggested that the applicant draw the lots differently, have building lots so that people cannot go into those wetlands or tie into public water and sewer since most of these lots will include wetlands. Tom replied that once the plan is finalized, there

will be a covenant protecting the wetlands and said that the problem is that the minimum lot size with subsurface water and sewer is 20,000 sq. ft.; Tom pointed out that they are still in talks with public sewer and water. Margaret added that it would be helpful to show the building envelope on the final plan. Sande asked if the weather will prevent the applicant from gathering data on the potential vernal pools and if the Army Corps. Of Engineers is still involved in protecting vernal pools. Tom replied that there will be no issues with regards to weather and explained that there are regulations both through the State and the Army Corps. Of Engineers that will need to be followed. Bill Dana asked if it is the intent that the Town will eventually take over the road. Tom replied that this is the plan. Charlie reminded the Board and the applicant that even if the road is constructed to standards, there is no guarantee that the Town will take over the road upon construction completion. Margaret said that she believes that in a development of this size within the growth zone, there may be a requirement for sidewalks and suggested that the applicant look into this further before coming before the Board with the final plan. With regards to interconnectivity, Charlie pointed out that there is a narrow gap between wetland 4 and wetland 5 that could possibly be improved to provide emergency access. Charlie reviewed the reasoning behind the Town's desire to avoid dead-end streets and emphasized the applicants need to research interconnectivity further. In regards to looping, Tom replied that there is a big wetland in the middle that they can document when they come back before the Board. In regards to the dead-end and safety issues, they will look into the end of Sandy Ridge Road for a connection.

Chair Charlie Frizzle opened the meeting to public comment.

Buckley Hugo, resident of Sandy Ridge Road, said that he is concerned about adding potentially 100 more people to the area and how this will affect pedestrian and vehicle traffic to the area. Buckley asked that they consider adding a middle yellow line Sandy Ridge for safety. With regards to connecting to Evergreen Road, Buckley said that he sees this being a traffic nightmare. Buckley asked if there is a way to connect to the road near Wal-Mart and UNH. Buckley noted that there used to be a lot of foot traffic in the wetland areas and at one time there was a homeless population as well. With respect to any connection to Evergreen and the proposed development, Charlie Frizzle said that there would be no need for anyone to use that connection on a regular basis. Buckley replied that this connection could generate more traffic on Sandy Ridge Road which also does not have any sidewalks.

Marjorie Humble of Evergreen Drive asked what the distance would be from Phase I to the back of her house. Tom Saucier estimated roughly 400 feet. With regards to dead ends, Mr. Humble pointed out there is a dead end at the top of Evergreen and a dead end at the top of Sandy Ridge Road and stated that it was his understanding that Sandy Ridge was supposed to bend back around and loop onto Evergreen Road. Charlie replied that these developments happened a long time ago and he is not sure what happened with the roads. Marjorie agreed with Buckley Hugo that a road connecting to UNH and Wal-Mart would be a better alternative. Charlie replied that he believed that there properties that the developer would need to purchase before this connection could be made.

Chair Charlie Frizzle closed the public comment period.

Jane Arbuckle asked for a site visit and Charlie Frizzle agreed. Staff to schedule a visit at the applicant's and Boards convenience.

MOTION BY SANDE UPDEGRAPH TO DEEM THE MAJOR DEVELOPMENT SKETCH PLAN COMPLETE. MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

MOTION BY JEREMY EVANS TO APPROVE THE MAJOR DEVELOPMENT SKETCH PLAN. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

2. Zoning Ordinance Rewrite Committee (ZORC) Update: Charlie Frizzle said that the next meeting is on the 24th.

3. Approval of Minutes: No minutes were approved at this meeting.

4. Other Business: No other business.

5. Election of Officers:

MOTION BY BILL DANA TO NOMINATE CHARLIE FRIZZLE TO CHAIR AND MARGARET WILSON TO VICE CHAIR OF THE PLANNING BOARD. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

Adjourn

This meeting was adjourned at 7:51 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
APRIL 26, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Bill Dana, Jeremy Evans, and Sande Updegraph, Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, April 26, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case # 16-012 – Churchill Woods Condominiums: The Planning Board will review and take action on a combined Sketch/Final Major Development Site Plan Reapproval application submitted by Churchill, LLC, for phased construction of 16 residential units; located off of McKeen Street (Assessor’s Map U28, Lot 196), in the R4 Meredith Drive – West McKeen Street Zoning District.

Jared Woolston introduced the application for Churchill Woods Condominiums and said that this application would have gone through a similar approval process, but the applicant narrowly missed the deadline. Jeremy said that this application has no substantive changes and was reviewed by Staff Review. Jared said that there was one concern from a member of the public at the Staff Review meeting with regards to the existing homeowner’s agreement fees, but it has been determined by an attorney that these fees cannot be adjusted.

Curt Neufeld of Sitelines, presented a PowerPoint presentation and reviewed the project for those not familiar with the previous approval. Bill Good asked for specifications on the pedestrian easement. Curt replied that it is roughly 20 feet wide. Margaret Wilson verified that the trees will not be cleared until the developer is ready to begin construction. Curt replied that this is still his understanding. Curt noted that the phasing has been added to the plan with an estimated begin date.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT REVIEW FINAL SITE AND CONDOMINIUM SUBDIVISION PLAN APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

Chair Charlie Frizzle opened that meeting to public comment.

Mark Patrick, resident of Hennessy Avenue, said that Phase 1 was clear cut before construction was to begin and asked if the subsequent phase could be clear cut as well. Charlie Frizzle replied that with the units as close together, the area will probably be clear cut; where trees are shown, the developer will need to either leave the trees or plant new trees.

Chair Charlie Frizzle closed the public comment period.

Charlie Frizzle asked if the mailman will have enough room to turn at the mailbox cluster at the access point to McKeen Street. Curt Neufeld replied that the road is a little wider after the bump out, but that there should be no issues with turning. Sande Updegraph asked if the stormwater management plan has been approved by DEP and Curt replied that it was.

MOTION BY RICHARD VISSER THAT THE BOARD WAIVES THE FOLLOWING REQUIREMENTS:

1. Section 412.2.B.17: Waiver for the requirement to show all trees over 10 inches in diameter.
2. Section 412.2.B.8: Waiver for the requirement to show cross section and profiles of existing roads.

MOTION SECONDED BY SANDE UPDEGRAPH, APPROVED UNANIMOUSLY.

MOTION BY JEREMY EVANS THAT THE MAJOR DEVELOPMENT REVIEW FINAL SITE PLAN IS REAPPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. That, prior to issuance of Building Permits for Phases 2 & 3, the developer shall provide the Town with a performance guarantee, as required under Section 411.19, to be approved by the Town Engineer.
3. That, prior to issuance of Building Permits, the developer shall provide a public access easement to allow access between Country Lane and the internal loop road to the satisfaction of the Director of Planning and Development.
4. That, prior to issuance of Building Permits, the final plan shall provide a detail of the proposed pedestrian/bicycle path to the satisfaction of the Director of Planning and Development.
5. That, prior to issuance of Building Permits, the stormwater management plan is approved by the Town Engineer and that the Maine D.E.P. Chapter 500 Stormwater Permit is reapproved.
6. That, prior to issuance of Building Permits, an updated Solid Waste Impact Fee is approved by the Director of Public Works, and proof of payment per unit is provided by the applicant.

7. That, prior to issuance of Building Permits, an updated Recreation Impact Fee is approved by the Director of Parks & Recreation and/or Recreation Commission, and proof of payment per unit is provided by the applicant.

8. That, prior to issuance of Building Permits, a revised landscaping plan shall be submitted to the satisfaction of the Director of Planning and Development. This plan shall show site clearing for the development limited to the specific areas required for individual phases of the project; areas for future development are to be left in a natural state until such time as the site work for individual phases commences, which shall not occur until building permits have been issued for the individual phases. No new phase shall begin until landscaping and construction cleanup from the previous phase has been completed, to the satisfaction of the Director of Planning and Development.

9. That, prior to issuance of a Building Permit, the final plan shall include a phasing schedule on the cover sheet to include projected start dates for Phases 2 & 3.

MOTION SECONDED BY SANDE UPDEGRAPH, APPROVED UNANIMOUSLY.

2. WORKSHOP: The Planning Board will review a proposal submitted by Sitelines, PA, the authorized representatives of All Saints Parish, for the proposed development of a 14,685 square foot events center, and a 13,167 square foot building on the St. John's Church property located on Pleasant Street within the Inner Pleasant Street (TR1) Zoning District, and the Intown Railroad Corridor (MU2) Zoning District (Map U16, Lots 47 & 48).

Jared Woolston said that this proposal was reviewed at the last Staff Review meeting and the President of the Northwest Brunswick Neighborhood Association, Laura Lienert, was present and questioned fiscal capacity and Zoning District dimensional and density requirements.

Kevin Clark of Sitelines presented a PowerPoint presentation for the All Saints Parish Events Center Proposal. Sande Updegraph asked if the church feels that they have sufficient parking. Kevin replied that they feel that they should have sufficient parking, but that there may be a few instances when parking maybe tight. Charlie Wierzinski reviewed his understanding on the review process. Anna Breinich replied that only in Brunswick Landing did they allow the changes in Dimensional Standards, but they have never had Common Development techniques utilized outside of Brunswick Landing. Margaret Wilson said that it appears that they meet the requirements for the MU2. Discussion over Ordinance language interpretation. Margaret suggested that they request interpretation from the Town Attorney on whether they can exceed the current dimensional restrictions.

Chair Charlie Frizzle opened the meeting to public comment.

Suzan Wilson, Town Councilor, replied that with regards to the 30,000 feet, Saint Johns in both the physical structure and the parish itself is an integral part of Brunswick's cultural history and she is happy to hear that everyone is willing to communicate in a way that everyone can agree.

Chair Charlie Frizzle closed the public comment period.

Sande Updegraph said that she would like to hear from Laura Lieneret regarding her comments at the Staff Review meeting. Laura replied that her concern is in regards to the percentage and stepping 2 feet to the left or right will make the difference. Laura said that she would like to see another company do the site survey as Sitalines not only conducted the site survey but they are also the acting representative. Jane Arbuckle asked where the 20,000 foot concern came from. Charlie replied that this number has been around for a long time, but he is not sure what the thoughts were when the number was determined. Jane expressed that having more permeable surface is better and urged the applicant to have more permeable surface within the design.

3. WORKSHOP: The Planning Board will hold a workshop to review the Maine Department of Environmental Protection (DEP) Rule, Chapter 1000: Guidelines for Municipal Shoreland Zoning Ordinances (06-096, Ch. 1000), and offer comment regarding an amendment to Brunswick's Zoning Ordinance for filling and earthmoving activities within the Natural Resource Protection Zone (NRPZ).

Jared Woolston briefly reviewed the findings and thresholds from the last workshop as discussed in the MEMO by Anna Breinich dated April 22, 2016.

Chair Charlie Frizzle opened the meeting to public comment.

Suzan Wilson, Town Councilor, pointed out that the vote on the emergency moratorium was unanimous and not 5-4 as noted in the April 22, 2016 MEMO. Suzan said that the moratorium was not controversial, but that they were not comfortable with seeing it retroactive. Suzan said that they need to establish transparency, consistency and enforceability.

John Perreault said that he likes Jared Woolston's submittal. John said that he is glad that this encompasses shoreline stabilization.

Jane Millet, Town Councilor, pointed out that we protect the waterfront, rivers and streams, but they also need to protect the in town water as well from unnecessary pollutants.

Jane Arbuckle asked what the standard is that applicants must abide by. Jared Woolston said that he does not believe that there is a specific standard. Anna Breinich added that they are looking into this.

Chair Charlie Frizzle closed the meeting to public comment.

MOTION BY MARGARET WILSON TO SET A PUBLIC HEARING FOR AN AMENDMENT TO BRUNSWICK'S ZONING ORDINANCE FOR FILLING AND EARTHMOVING ACTIVITIES WITHIN THE NATURAL RESOURCE PROTECTION ZONE (NRPZ). MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

4. Zoning Ordinance Rewrite Committee (ZORC) Update: Next meeting scheduled for

5. Approval of Minutes: No minutes were approved at this meeting.

6. Other Business: No other business.

Adjourn

This meeting was adjourned at 8:33 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
MAY 10, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Bill Dana, Jeremy Evans, and Sande Updegraph, Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston; Jeff Hutchinson, Codes Enforcement Officer

A meeting of the Brunswick Planning Board was held on Tuesday, May 10, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Public Hearing: The Board will hold a public hearing to hear public comment and take action regarding the following: A proposed amendment to the Town of Brunswick's Zoning Ordinance, Chapter Four (Development Review), Section 401 (Applicability) and Section 402 (Development Review Classifications and Thresholds) to Require Review of Filling and Earthmoving Activities within the Natural Resource Protection Zone (NRPZ).

Jared Woolston reviewed a PowerPoint Presentation regarding the proposed draft language for the Zoning Ordinance as discussed at the Planning Board meeting of April 26, 2016. Jared pointed out that the language is unchanged from the last meeting. With respect to enforceability, Charlie Frizzle asked where they are on this. Jared replied that they would be subject to the NRPZ standards. Jane Arbuckle replied that it would be good to see those standards. Anna Breinich said that they are looking into generating a separate permit for those that would not trigger another development permit and are looking at calling that a Shoreland Activities Permit. Jared pointed out that this would be specific to shoreland activities.

Chair Charlie Frizzle opened the meeting to public hearing.

John Perreault, resident of 295 Hacker Road, asked that the Planning Board review what standards a-g are so that residents can understand what those restrictions are. John said that he prefers to see maps and to visually see the areas that are completely effected or any spot that a-g effect. John said that until he understands this better, it is hard for him to agree with this amendment. Charlie Frizzle read Section 211 a-g. Jared noted that it should be b-g as a is part of the NRPZ. John asked if there will be a fee for the proposed permit. Charlie replied that when the permit is not part of another permit, he assumes that there would have to be a fee, but this fee has not been discussed. Charlie noted to staff that they may want to prepare a note with regards to fees for the amendment when it goes to Town Council for approval.

Sande Updegraph asked if it would be helpful to generate a chart that outlines the size of the area, who is responsible for reviewing it and, when it is established, the associated fees. Charlie Frizzle agreed that this would be helpful, but that he would not advocate that they put this in the ordinance; as a tool, it would be helpful. Anna Breinich pointed out they are trying to fix what is within the existing ordinance that is being rewritten and will be making more changes.

MOTION BY JANE ARBUCKLE TO MAKE A RECOMMENDATION TO THE TOWN COUNCIL THE DRAFT LANGUAGE ON THE PROPOSED AMENDMENT TO THE TOWN OF BRUNSWICK'S ZONING ORDINANCE, CHAPTER FOUR (DEVELOPMENT REVIEW), SECTION 401 (APPLICABILITY) AND SECTION 402 (DEVELOPMENT REVIEW CLASSIFICATIONS AND THRESHOLDS) TO REQUIRE REVIEW OF FILLING AND EARTHMOVING ACTIVITIES WITHIN THE NATURAL RESOURCE PROTECTION ZONE (NRPZ). MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

2. Case #16-012 Wildflowers Gluten-Free Bakery: The Planning Board will hold a Public Hearing then review and take action on a Special Permit proposed for a retail bakery at 54 Cumberland Street within the Town Residential (TR1) Zoning District (Map U15, Lot 19).

Jared Woolston introduced the application for the 940 sq. ft. retail bakery to be located in an existing commercial building and located in the TR1 Zoning District where retail use requires a Special Permit.

The applicant, Kelly Hughes, said that they do not expect more traffic in this space, but that the delivery trucks will have more on them. Kelly pointed out that they are not looking to be a café or a sit down eatery, but that they want to be more of an in and out bakery for more consistency for customers to get their products outside of the farmers market. Richard Visser asked Kelly to speak more about the parking and where the delivery trucks come in. Kelly replied that they have 3 suppliers and only 1 supplier per week delivers. Kelly said that they come pretty early in the morning and that the 2 larger trucks park on the street; she does not anticipate any issues. Margaret Wilson clarified that they are in the 2-story part of the building and asked for more regarding the proposed canopy and entrance. Kelly said that the canopy and entrance will be in the front of the building that faces the street. Kelly said that they still need to apply for a building permit put in the entrance and canopy.

Chair Charlie Frizzle opened the meeting to public comment.

Kathy Wilson, resident of 36 Cushing Street and neighbor of 54 Cumberland Street, attested that when the trucks deliver there are never any problems. Kathy supports this proposal and enjoys having them as a neighbor.

George Cabot, owner of 54 Cumberland Street, said that he cannot imagine this business generating any traffic issues especially since it is less intense than some of the other businesses he has had in the space in the past.

Debbie Brisboy, resident of 78 Jordan Avenue, said that she likes to go to the farmers market, but that she would really like to go back to the Wildflowers storefront.

Chair Charlie Frizzle closed the public comment period.

MOTION BY BILL DANA THAT THE SPECIAL PERMIT APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY JEREMY EVANS THAT THE SPECIAL PERMIT IS APPROVED WITH THE FOLLOWING CONDITION:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

MOTION SECONDED BY JANE ARBUCKLE, APPROVED UNANIMOUSLY.

3. Other Business: No other business.

REVISED 4.28.16 to add Item #2

Adjourn

This meeting was adjourned at 7:43 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary