



Town of Brunswick, Maine

PLANNING BOARD

85 UNION STREET, BRUNSWICK, ME 04011

PLANNING BOARD

AGENDA

BRUNSWICK TOWN HALL

85 UNION STREET

COUNCIL CHAMBERS

TUESDAY, SEPTEMBER 13, 2016; 7:00 P.M. **REVISED 9/7/16**

1. **Case #16-022 - Mid-Coast Health Services Final Plan:** The Planning Board will review and take action on a **Final Plan Major Development Review** application submitted by authorized representatives from Pine Tree Engineering for Mid-Coast Health Services to construct three (3) new parking areas containing one hundred fifteen (115) new parking spaces. The site is located at 123 Medical Center Drive within the **CC (Cooks Corner Center) Zoning District, the Medical Use Overlay Zone (MUZ)**. The parcel contains the **Natural Resource Protection Zone (NRPZ)**, and **Rural Brunswick Smart Growth Overlay District - Wildlife Habitat Block, (Map 45, Lot 32)**.
2. **Case #16-019 - Maine Street Station Apartments:** The Planning Board will review and take action on a **Sketch Plan Major Development Review** request submitted by authorized representatives from Sitelines, P.A. for Noble Street LLC to develop two (2), 3-story apartment buildings each with 12-units for lease at 16 Noble Street as part of the development of Maine Street Station (building Lot 5). The project is located within the **Town Center 1 (TC1) Zoning District, (Map U16, Lot 105)**.
3. **TO BE RESCHEDULED WITH NOTIFICATIONS PROVIDED. -Case #16-041-12 Bunganue Landing Road Shoreline Stabilization:** ~~The Planning Board will review and take action on a combination Sketch/Final Plan Major Development Review application submitted by authorized representatives from Walsh Engineering for Benjamin Carey's shoreline stabilization activity that results in excess of 100 cubic yards of filling and earthmoving on a mapped highly unstable bluff, and the 100-year floodplain adjacent to tidal waters (coastal wetlands) as designated on the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps within the **Natural Resource Protection Zone (NRPZ)**. The project is located in the **Coastal Protection Zone (CP1) Zoning District, (Map 29, Lot 35)**.~~
4. **ADDED ITEM. WORKSHOP** – Discuss removal of a condition of approval (residential sprinkler requirement) for the previously approved subdivision **#06-058, Lulwe Ridge Subdivision** located at Safari Drive and Nyasa Lane (**Map 5, Lots 4, 33, 42-51**). This workshop is scheduled at the request of a property owner within the subdivision.
5. **Other Business**
6. **Approval of Minutes**

This agenda is mailed to owners of property within 200 feet of proposed development sites. Please call the Brunswick Department of Planning and Development (725-6660) with questions or comments. Individuals needing auxiliary aids for effective communications please call 725-6659 or TDD 725-5521. This meeting will be televised.

PLANNING BOARD
Major Development Review
DRAFT Findings of Fact
September 14, 2016

Project Location: 123 Medical Center Drive
Tax Map: Map 45, Lot 32
Zoning District: Cooks Corner Zoning District (CC)
Case Number: 16-022
Applicant: Mid Coast Health Services

Authorized Representatives: Michael Pinkham
123 Medical Center Drive
Brunswick, ME 04011

Staff reviewed the application and has determined it is complete.

PROJECT SUMMARY

Staff review is based on the Major Development Review application for the, “Mid Coast Hospital Parking Expansion” dated August 2016. The Town of Brunswick’s Staff Review Committee (SRC) reviewed the development proposal on August 31, 2016. The SRC meeting notes are included in the Planning Board packet.

The proposed activity involves constructing three (3) new parking areas containing 115 new parking spaces at the site of the existing Mid-Coast Hospital. The development includes various site modifications including the construction of a new five-foot wide curbed pedestrian sidewalk, crosswalk paint, and creating new landscaped areas to match existing landscaping. As part of the development, the applicant submitted an amendment application to their Site Location of Development Act (Site Law) permit, and associated stormwater management plan to the Maine Department of Environmental Protection (DEP).

The application includes a project narrative, and a set of plans including: existing conditions, proposed site plans, grading plans, and a detail sheet. The plans for the proposed activity are listed below:

1. Drawing Sheet 1 of 6 entitled, “Existing Conditions Plan” prepared by Pine Tree Engineering, dated June 30, 2016, and revised on August 10, 2016;
2. Drawing Sheet 2 of 6 entitled, “Site Layout and Utility Plan” prepared by Pine Tree Engineering, dated June 30, 2016, and revised most recently on August 31, 2016;
3. Drawing Sheet 3 of 6 entitled “Grading and Drainage Plan” prepared by Pine Tree Engineering, dated June 30, 2016, and revised on August 10, 2016;

4. Drawing Sheet 4 of 6 entitled “Grading and Drainage Plan” prepared by Pine Tree Engineering, dated June 30, 2016, and revised on August 10, 2016;
5. Drawing Sheet 5 of 6 entitled “Underdrained Soil Filter Details” prepared by Pine Tree Engineering, dated June 30, 2016, and revised most recently on August 18, 2016;
6. Drawing Sheet 6 of 6 entitled “Details” prepared by Pine Tree Engineering, dated June 30, 2016, and revised on August 10, 2016.

The applicant requests the following waiver in accordance with Section 410 of the Brunswick Zoning Ordinance:

1. Section 412.2.B.17, Location of existing trees over ten (10”) inches in diameter – *The applicant depicted the areas with existing and proposed ‘treeline’ (forested area) on the site plan. The applicant indicates that the entire site is wooded. The applicant considered minimizing the proposed parking lot footprint and associated tree removal by constructing a parking garage but the associated cost was determined to be too high. Based on these supporting facts, the staff recommends approving the requested waiver in accordance with Section 410.*

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The property is located primarily within the CC (Cooks Corner Center) Zoning District. The parcel contains the Natural Resource Protection Zone (NRPZ), Medical Use Overlay Zone (MUZ), and a Wildlife Habitat Block that is part of the Rural Brunswick Smart Growth Overlay District. The proposed development proposed development complies with all applicable provisions and requirements of the Zoning Ordinance. *The Board finds that the provisions of Section 411.1 are satisfied.*

411.2 Preservation of Natural Features

The project site is an existing medical facility with several parking areas on-site. The applicant identified areas of existing forested land, protected natural resources including wetlands and streams, and natural ledge outcrops. Natural features that are proposed to be disturbed during construction are indicated on the site plan. The applicant considered avoiding ledge area that is proposed to be removed for the construction of parking areas but determined the proposed locations are the most practical. The applicant considered removing vegetation and supporting a proposed parking area with fill material at a gradual slope within the 75-foot Shoreland Area of a stream (NRPZ). After consulting with staff, the applicant determined that avoiding the removal of vegetation and installing a vertical retaining wall was the preferred alternative and therefore will avoid the 75-foot NRPZ associated with the stream. The proposed development maximizes the preservation of natural features of the landscape, and does not occur within or cause harm to any land which is not suitable for development. *The Board finds that the provisions of Section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands and Marine Resources

The proposed activity will avoid all Shoreland Area associated with Brunswick's NRPZ. Stormwater treatment is required to comply with the Stormwater Management Law as part of the applicants Site Law permit which is under review by the Maine DEP at the time of Final Site Plan submission to the Town of Brunswick. The proposed development will not adversely affect the water quality of Casco Bay or its estuaries. *The Board finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

The proposed development activity does not occur within a flood hazard area and therefore minimizes the risk of flooding. *The Board finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The proposed development is required to treat stormwater in accordance with the Stormwater Management Law as part of the applicants Site Law permit submission to the Maine DEP. The proposed development shall satisfy the recommended storm water quality standards described in Storm Water Management for Maine: Best Management Practices, published by the State of Maine Department of Environmental Protection, November, 1995 as amended. *The Board finds that the provisions of Section 411.5 are satisfied provided a copy of the Maine DEP approval for the stormwater management plan for the proposed parking lot development pursuant to the Stormwater Management Law is submitted to the Director of Planning and Development.*

411.6 Groundwater

Groundwater is not proposed to be affected by the proposed development. The proposed development will not, alone or in conjunction with existing activities adversely affect the quality or quantity of ground water. *The Board finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

The proposed development will be constructed in accordance with Best Management Practices for erosion and sedimentation control and will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The proposed parking areas do not propose facilities that require sewage disposal. *The Board finds that the provisions of Section 411.8 are not applicable.*

411.9 Water Supply

The proposed parking areas do not propose facilities that require water supply. *The Board finds that the provisions of Section 411.9 are not applicable.*

411.10 Aesthetic, Cultural and Natural Values

The application indicates that an archaeological survey was completed, which did not identify any historic sites on the property. Further, the existing natural areas are adjacent to existing developed areas and minimize the disturbance to aesthetic or natural values. The proposed development will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, significant wildlife habitats identified by the Maine Department of Environmental Protection or by the Town Of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. *The Board finds that the provisions of Section 411.10 are satisfied.*

411.11 Community Impact

Municipal resources are available to service the project, and no on-site or off-site impacts associated with the development of the project were identified. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

The proposed activity includes minor modifications to traffic movement from the private road within the facility and no disturbance to public roads. The proposed development will not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed. *The Board finds that the provisions of Section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The proposed development includes the construction of a five-foot wide curbed pedestrian sidewalk and associates road crosswalk. The staff recommends the applicant provide bicycle racks at a rate of two (2) bicycle spaces per 10 parking spaces but no more than 20 bicycle spaces. The proposal is designed to accommodate bicyclists and pedestrians, and addresses issues of bicycle and pedestrian access, safety and circulation both within the site and to points outside of the site. *The Board finds that the provisions of Section 411.13 are satisfied.*

411.14 Development Patterns

The proposed development is the expansion of an existing hospital facility located within the growth area. The proposed development is respectful of Brunswick's historic development patterns. The public was represented at the Staff Review Committee (SRC) meeting and indicated concerns for new outdoor lighting for the proposed parking areas. The applicant indicated the proposed outdoor lights would be cutoff luminaire as previously installed on-site to avoid light pollution in the sky. Further, the proposed lights would adhere to the height limitations of Brunswick's Zoning Ordinance (i.e. lights must be 35 feet tall or less within MUZ). As a result, the public concern for outdoor lighting was satisfied. The proposed non-residential development will have no adverse impact on areas which are primarily residential. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

No buildings are proposed as a result of the development; however, the proposed parking lots are proposed to be compatible with existing development by utilizing wooded buffers. The proposed development shall be compatible with its surroundings in terms of its size, scale, mass and design. *The Board finds that the provisions of Section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

The proposed development will not affect municipal solid waste disposal. *The Board finds that the provisions of Section 411.16 are not applicable.*

411.17 Recreation Needs

The proposed development is not residential and therefore will not cause an unreasonable burden on the municipality's ability to provide recreational services. *The Board finds that the provisions of Section 411.17 are not applicable.*

411.18 Access for Persons with Disabilities

The application indicates that the project design is in compliance with the Americans with Disabilities Act, and no buildings are proposed. *The Board finds that the provisions of Section 411.18 are satisfied*

411.19 Financial Capacity and Maintenance

The application indicates that the applicant budgeted adequate funds to complete and maintain the project through their normal operating budget. The applicant has adequate financial and technical capacity to complete the project, and once it is completed, the project is expected to have adequate resources to maintain itself. *The Board finds that the provisions of Section 411.19 are satisfied.*

411.20 Noise and Dust

The applicant indicates adverse impacts from noise and dust will be minimized during construction. The proposed development will not contribute to unreasonable noise and dust, both during construction and after the development has been completed. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

A copy of the right, title and interest documentation is included in the application. The applicant has sufficient right, title and interest in the subject property. *The Board finds that the provisions of Section 411.21 are satisfied.*

411.22 Payment of Application Fees

The applicant has paid applicable development review application fees for Major Development Review. *The Board finds that the provisions of Section 411.22 are satisfied.*

DRAFT MOTIONS
CASE #16-022

Motion 1: That the requested waiver of Section 412.2.B.17, locating existing trees over ten (10") inches in diameter is approved.

Motion 2: That the Final Plan is deemed complete.

Motion 3: That the Final Plan is approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to starting construction, a copy of the Maine Department of Environmental Protection's (DEP) approval for the stormwater management plan for the proposed parking lot development pursuant to the Stormwater Management Law is submitted to the Director of Planning and Development.

** Please note that Development Review Site Plan approvals by the Planning Board shall expire at the end of two years after the date of final approval unless all construction has been completed by that date (Section 407.4.B of the Brunswick Zoning Ordinance).*

August 31, 2016

STAFF REVIEW COMMITTEE NOTES

Staff present:

John Foster (Public Works Director/Town Engineer), Rob Pontau, (Brunswick Sewer District), Fred Douglas (Water District), T. C. Schofield, (Water District), Clinton Swett (Assistant Assessor), Jeff Hutchinson (CEO), Jeff Emerson (Deputy Chief), Linda Smith (Business Development Director), **Non-voting staff:** Jared Woolston (Planner), **Applicants Present:** Norm Chamberlain (Walsh Engineering), Robert Prue (Pine Tree Engineering), Michael Pinkham (Mid Coast Health Services), Curt Neufeld (Sitelines, PA) Public present: Yes

1. **Case #16-041 - 12 Bunganuc Landing Road Shoreline Stabilization:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a combination **Sketch/Final Plan Major Development Review** application submitted by authorized representatives from Walsh Engineering for Benjamin Carey's shoreline stabilization activity that results in excess of 100 cubic yards of filling and earthmoving on a mapped highly unstable bluff, and the 100-year floodplain adjacent to tidal waters (coastal wetlands) as designated on the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps within the **Natural Resource Protection Zone (NRPZ)**. The project is located in the **Coastal Protection Zone (CP1) Zoning District, (Map 29, Lot 35)**.

Norm Chamberlain (Walsh Engineering):

- This is a 40-foot high clay bluff that they've been studying for a little over a year, as there has been a history of slides in the area, and they were getting aggressively closer to the house. There was a significant failure in March of this year, in which half of the front yard was lost. They have plans to stabilize the embankment, along with a geotechnical engineer's recommendation of no greater than a 4:1 slope. They are planning a revetment wall at the bottom and a revegetation plan. They have submitted to DEP for the NRPA permit and are copying the U. S. Army Corps of Engineers on that. This project has significant impact to the wetlands – there is 3,500 sq. ft. of mudflat below the highest annual tide (HAT). A complicating factor is that when these lots were created there was a Conservation Easement that went up to elevation 10, and elevation 10 has moved over the last 20-30 years. They appeared before the Conservation Commission, and they have recommended to Council that they allow work within the Conservation Easement (CE). A big concern is working with the soft clays below the water table.

Jared Woolston:

- Jared drafted a letter for the Conservation Commission that has gone to Council, but Council has not yet provided approval to start

John Foster:

- No questions.

Jeff Emerson:

- No questions.

Linda Smith:

- No questions.

Jared Woolston:

- The town's scope of review is primarily focused on the shoreland zone (Natural Resource Protection Zone). In terms of development review, natural resource impacts may fall under

preservation of natural areas to some extent but the DEP and Army Corps reviews that are required will be primarily focused on direct resource impacts. The total square footage proposed in coastal wetlands is a concern. Why is that necessary and why couldn't it be shored up at the toe of slope a little better?

- Norm: Can't dig there (toe of slope) because it will destabilize the entire embankment. They had to build it out far enough that they could basically build a road there and then they can bring in some fill. They'd like to try and hold this line here, so they'll need to bring in some fill, and cut the slope, and use that to fill in behind the wall to create a 4:1 slope. You can't really work that clay at all. The high tide comes into the base and eats away at the clay, causing the slope to get up to 2:1/3:1 and it comes down.

Jared Woolston:

- Construction sequence?
 - Norm: Explained the geotechnical recommendations from Summit Geoenvironmental Services for slope stability, riprap reinforcement and pile reinforcement. The plan is to do this in the winter while there is less water moving around and the ground is frozen.

Jared Woolston:

- These underdrain ditches are about 10-feet wide each. If collecting the groundwater up in here (top of slope), why can't you just pipe water (to bottom of slope)? Are you trying to influence the groundwater there as well?
 - Norm: It's to provide access, for one thing. This underdrain here is at that layer between the stiff clay and the soft clay, so it will pick up the water and get it down to the bottom of the hill, and we wanted to get it down in 2 (two) spots. We originally had 4 (four), but have scaled that back.
- The underdrain through here (10-foot ditches) – is that perforated pipe?
 - Norm: That doesn't need to be perforated. These are kind of designed as channels – they're shallow but get the water down to the bottom of the hill.
- In terms of final product and access, what we usually look for is a meandering path, not two (2) 10-foot riprap ditches.
 - Norm: We want to get the water down to the bottom safely.
- Is there any way of making those vegetated underdrains by putting geotech fabric and then filling over and grassing in?
 - Norm: We can look at that.
 - Concerned that it will look like two (2) small roads coming down the hill when it's done, and if access is proposed, a pathway or alternative access should probably be shown on the plan.
 - Norm: Client was talking about possibly building a staircase across one of the drains
 - Jared: Then that needs to be shown on the plan. I see two (2) straight access paths to the mudflat which runs afoul with shoreland zoning. One point of access is allowed, and can be a 6-foot wide meandering path - it could be stairs – but not two (2) access paths. That is the reason for asking about the function of the underdrains. If you need them for groundwater and surface water, and you need it to be a ditch, can you minimize the

dimensions – does it really have to be that big – and if it has to be that big, can you make it grassed underdrain?

- Norm: We can talk about that with Geotech and see if we can come up with a plan.
- Planting plan – The town has some discretion to allow clearing, if necessary, but the rule of thumb is to replace what was lost.
 - Norm: We are planning two (2) for one (1). What's on here now is scrub. There's nothing big at all on the slope. In response to Jared's question about looking for saplings, he said they don't have time to get very big because of the (soil) movement. If you look at the photos of the slope, it's all shrubs.
- Called Shoreland Zoning DEP staff and asked what they usually look for in replanting plans for permitted use activities (shoreline stabilization) because ultimately, the town can't be less restrictive than the state guidelines. DEP indicated even the saplings would be a 1:1 replacement, and if you can't get trees on the slope because of instability, then they need to be someplace that the Geotech is more comfortable with – maybe at the top of the bluff.
 - Norm: Their expectation is that this will grow back like it is now. They are planting the shrubs, trees and other plantings along this area in the stiffer clay.

Jeff Hutchinson:

- Why are the plants in isolated clumps? Why aren't they more spread out?
 - Norm: We can disperse them
- That's what the shoreland zoning guidelines are looking for, rather than just highlighting different clumps
- Are we losing all those trees up here?
 - Norm: Yes, all those with an "X" are being taken
- What will these be replaced with?
 - Norm: We're looking to put all the trees down at the bottom. There are quite a few that will remain at the top. We just don't want to plant any more in there because of the danger of pulling the banking down.

Jared Woolston:

- One oak and 3 hawthorns going in, but some of the trees being cut are over 12". DEP advised that they usually look for trees that are over 12" to be replaced at 2:1
 - Norm: That was the plan. He didn't realize shadblows were shrubs. He will verify that trees are 2:1
 - Jeff H.: They should be native plants
 - Jeff H.: You'll need a minor flood hazard permit that you can apply for anytime. Please explain the effective flood zone and the preliminary flood zone.
 - Norm: The effective is what FEMA has mapped. The preliminary has not been approved for Brunswick yet. They like to know where it is and adjust the top of their wall based on that.
 - Jeff H.: Through the redevelopment of the bank, will the effective floodplain move?
 - Norm: Yes, it will, as far as FEMA's concerned. This is a B zone – they didn't feel the waves would get as high as FEMA said they would – it's just a few feet deep at high tide.
 - Jeff H.: he would just show the effective floodzone, not the preliminary, because it's still a year or so out and it will just confuse matters

Jared Woolston:

- Asked to quantify how much filling and earthmoving is proposed, and asked if they had looked at trying to control sediment that washed out (recent slope failure) with coir logs between marsh grass to reestablish and increase vegetation buffer.
 - Norm: Their environmental scientist said that the existing vegetation is not eel grass. When they met with DEP, there was some talk of the mud budget, and they were looking at this (slope failure) to supply that, but his experience has been that once the wall is in, we start to get eel grass coming back up to the base of the wall.
- Spartina fragments are shown on the plan and is pretty good buffer and pretty decent habitat,
 - Norm: It's below the tide, so what would the coir log do?
- The marsh plants are growing at a little bit higher elevation in the mud. The logs may control sediment and encourage new marsh growth by keeping sediments from the slope failure near shore

Jeff Hutchinson:

- The shoreline setback in Brunswick along the shore is actually 125, not 75.

Jared Woolston:

- This area that you are going to loam in at the top of the bluff -- is it going to be left alone or is your client going to maintain it as lawn area?
 - Norm: Below this line will be slope, so we're going to plant what we can on there and seed it with an erosion control mix, and then it will go wild
- Can you denote that on the plan in case it comes up again?
 - Norm: Yes, we can denote existing and proposed, then lawn
- Are these underdrains going to discharge right to the back of the rock?
 - They're going to discharge into the rock to get the water off the embankment
- This will be reviewed by a third party engineer.
- Need to get the counts right for the 1:1 for the sapling size (4 ½' tall, 2") if it hasn't yet been surveyed. Trees 12" or bigger is 2:1 replacement.
 - Norm: They will look at the embankment and make sure they have everything 2". They only reviewed >4" previously.

2. **Case #16-022 - Mid-Coast Health Services Final Plan:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a **Final Plan Major Development Review** application submitted by authorized representatives from Pine Tree Engineering for Mid-Coast Health Services to construct three (3) new parking areas containing one hundred fifteen (115) new parking spaces. The site is located at 123 Medical Center Drive within the **CC (Cooks Corner Center) Zoning District, the Medical Use Overlay Zone (MUZ)**. The parcel contains the **Natural Resource Protection Zone (NRPZ)**, and **Rural Brunswick Smart Growth Overlay District - Wildlife Habitat Block, (Map 45, Lot 32)**.

Robert Prue (Pine Tree Engineering):

- Three areas of expanded parking at Mid Coast Hospital, two of which are located at the Medical Center office building at 81 Medical Center Drive. An issue that came up at sketch plan was the need to stay out of the NRPZ 75 feet, so we've put a small retaining wall in the corner to reduce our fill extension into that zone. The purpose of the project is to provide more parking in order to move the employees away from the hospital parking. Employees

are encouraged to park away from the buildings, but there is a shortage of parking. There are no other future building plans.

- They have filed the stormwater permit application with DEP, and it is being drafted currently.
- Lighting and landscaping are following the same theme as what's there now

John Foster:

- No questions

Rob Pontau:

- No questions

Jeff Hutchinson:

- Are we concerned about having no lighting plan? It's not near neighbors.
 - Rob: Same fixtures as are there currently
- How high are the light poles?
 - Rob: 25' – same as the others

Jared Woolston:

- You're treating all the stormwater on site – no impact to the town's facility
 - Rob – correct
- Will the stormwater permit go through basic and general standards?
 - Rob: Both
 - Jared: the issues they raised about volume of water?
 - Rob: mostly notes on the plans – they have 2 (two) underdrain soil filters – will be grassed in when they're done
- Landscaping proposed?
 - Rob: Landscaping in the islands similar to what is there now

Jeff Hutchinson:

- The width of the spaces?
 - Rob: 9' wide – they will add to the plan
- For ADA compliance, how many total spaces in the medical office? Existing and proposed – they need to know exactly. If you have less than 200, 6 will be fine. If you have over 200, you will need 1 other handicap spot.
 - Rob: Looks like they're in the 190's, but they will check on that

Jared Woolston:

- Is Medical Center Drive public or private?
 - John F.: Private

Linda Smith:

- No questions

Public Comment:

Jim Crary, 4 Cranberry Road:

- Fixtures in the existing lot are hooded, with not a lot of light going up. He was hoping that the new parking lot could have the same fixtures?
 - Rob: Yes, they will be the same
 - Jeff H.: Our ordinance requires cut-off luminaire which prevents skyward light
- He gets several drivers a day going fast down Cranberry, then get to the end and discover it's a blocked-off emergency entrance, so they need to back up in his driveway and go back down. He's not sure if there's any way of resolving that.
 - Michael: should it have a dead end? He'll defer to John Foster.

- Rob: It's a gravel road coming off Adams Road. It is gated as emergency access. It was installed when the project was approved in case a tree came down.
- An idea is to have one of those hinged signs that says dead end, but can be opened up for emergency purposes to say hospital entrance.
 - Jeff H.: Is that a private drive, John?
 - John F.: Yes
 - Jeff H.: Could they install their own sign?
 - John F.: Absolutely
 - Jeff H.: Work with Mid Coast
 - Rob: Probably just a dead end sign would do

3. **Case #16-019 - Maine Street Station Apartments:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a **Sketch Plan Major Development Review** request submitted by authorized representatives from Sitelines, P.A. for Noble Street LLC to develop two (2), 3-story apartment buildings each with 12-units for lease at 16 Noble Street as part of the development of Maine Street Station (building Lot 5). The project is located within the **Town Center 1 (TC1) Zoning District, (Map U16, Lot 105)**.

Curt Neufeld (Sitelines, PA):

- Sitelines, on behalf of Noble Street LLC, has looked at a number of opportunities for this lot in the last 6-8 years, usually proposed as a combination of residential and commercial uses. They are now proposing two separate buildings, one with an entrance from Noble, the other with an entrances from Station Avenue. The original plan had some under the building parking, but now plans show an open parking lot on the west side with 22 spaces on the parcel. It would drain to the low end, where we would have a rain garden and/or high rate infiltration media bed to provide the water quality treatment from that parking area. The roof areas would be collected via gutters and conveyed either to a drip edge BMP adjacent to the building, similar to what is being used in the other buildings, and/or a centralized area between the buildings. They will provide all the details for final plan. The developer is still in conversations with the town about how much shared parking there would be. His attempt would be to provide 1 (one) parking space per bedroom, and in order to accomplish that he's proposing that parking on the town land be reworked to relocate the ADA spaces, which creates 10 (ten) spaces. His request would be to get 6 (six) reserved spaces in the corner against Noble Street. This is a negotiation with the town, with some prior agreements that may need to be modified, and they are currently meeting with the Town Manager and Planning staff. The town did bring up the fact of an access easement for pedestrians and utilities on this border, and there is an access easement to maintain some stormwater BMP's at the back side of the park. The utility easement is easy to accomplish; it's underneath the parking lot, and that's not uncommon. What they propose for the pedestrian easement, and will provide in a new narrative, is that the existing bituminous walk would be constructed at the developer's cost out to Noble Street, and let it run on this side and continue to be a 5-foot wide sidewalk. They would like to work with the Public Works Director to come up with a solution to provide access over here to these storm treats over the park. He has 2 (two) poles on town property; clearly that was a mistake. They will be relocated inside the parking lot of the developer.

Jared Woolston:

- The 10-foot easement?

- Curt: There's a storm drain easement that ran all the way across here. That was redirected when it was connected to provide a 15-foot wide total easement. There's 10 of it on Lot 5 and 5 feet on this parcel, for a total of 15 feet. There is 5 feet of pedestrian easement that was proposed on this side line to provide that access. When the Town Manager brought this up, he looked through some of the earlier drafts, and it looked like there was a 10-foot wide walk proposed out here as the pedestrian gateway. If the developer could construct and continue the 5 foot sidewalk instead of a 10 foot, it would allow for the parking and building arrangements they have to remain in place.
- John F.: It's putting the 5 feet on the town property versus their own property – it's what an easement is. Basically, he's extinguishing the pedestrian easement.
- Curt: That would be the request. We'd also like to extinguish this easement and determine what sort of access would be acceptable to Public Works to get over there. John, does Public Works maintain the storm treats or do you hire that?
 - John F.: Will check the records and get back to him. They're supposed to be cleaned. He talked to someone JHR was contracting to service them. There's also a whole series of infiltrators.
- Curt: Talked to a service company. They can go up to 200 feet with an extra truck and additional hose. They are trying to get the best use of the property and there is a demand for downtown living, which includes parking. With all the options they have looked at, they lost sight of the easements. The water stub is already in place off of Station Avenue.

John Foster:

- There's only access from Noble Street?
 - Curt: That's correct
- You are proposing parking right against your wood frame building with no protection? It's a very narrow parking lot when you've got an obstruction on one side, then the vehicles are going to overhang the sidewalk on the other side. Normally a 60-foot lot is great when the vehicles have nothing to prevent them from overhanging the edge of the space, but when you're parking at the building people are going to be shy 2-3 feet. It's going to be very tight. You've left no room for the last stall – there's no back out area. Now you're going to have to add your light structures into the parking lot.
 - Curt: They can be placed in between the stalls
 - John F.: They're going to be into the parking lot
- There's no room for snow storage. You're trying to get some of the Bowdoin spaces?
 - Curt: Correct
 - Jeff H.: Those corners are where the snow storage is until removed by Public Works. He agrees with John – it's really, really tight.

Jeff Hutchinson:

- What happened to the old parking scenario, underneath the building?
 - JHR: from a feasibility standpoint, it was not practical
- Feasibility or financial standpoint?
 - JHR: both

- Curt: They looked at a couple different options for the access in and out, including one that would take access off of this parking lot so you could try to flow through. If you think it was tight with an open space environment, try it with building columns and walls. You run out of room fast, trying to get a meaningful number of parking, so in order to make the most fiscal sense of that, you want to get as many units as you can. If you had 8 units and 8 parking spaces underneath, there's no way those numbers work.
- Certainly parking is premium in that whole development.
 - John F.: After you get that transformer in and your condensing units, how are you going to get to them?
 - Jeff H.: Not only that, but what about noise control?
 - JHR: They're residential grade, so they're not like big package roof top units
- Now experiencing complaints on the residential units on noise, so be aware of that
 - JHR: Might need fencing/screening
- If you've got over 26 parking spaces you'll need 2 accessibility spots instead of one
 - JHR: There are only 22 spaces
 - Curt: Might be more with the shared ones
- Technically, the ordinance requires 36 total spaces – one each for a one bedroom and 2 each for each 2-bedroom. What concerns me is even with your single bedroom apartments, you've got a couple that live there, and they each have a car. You have 22 here and you're trying to get 16 over on the town property, so that would put you at almost 40 spaces.
 - In the conversations they've been having with other constituents, such as Bowdoin, there's some desire for Bowdoin employees to utilize these apartments, whether they're one or two year professors or post grads, so there will be some synergy there.
- Landscaping planned, although this is just sketch. Not sure where they can put it.
 - Curt: Yes

John Foster:

- To verify – the existing sidewalk over here would be taken away?
 - Curt: No, it would go under – this drip edge would have to be installed and then the sidewalk go back over it
- So you're going to have a public sidewalk go by everyone's window within 6 inches?
 - Curt: The sidewalk's always been there. If you move the building back 3 feet, does it make a difference?
- It was going to be retail stores and parking on the original site plans, and the 16 units were above that level
 - Curt: the first floor units on Noble Street and Station Avenue are on the sidewalk level too
- Are there any building code setbacks, Jeff, for a building from a property line?
 - Jeff H.: for construction purposes, when you build that close you'll have to fire rate that wall – the closer you get to the property line, the more fire rated you would need. The building code does allow right up to the property line, but then you would have very few windows, if any windows at all, because it's going to have to be all fire rated.
- How about parking a car against the wall – is there no setback for cars?

- Jeff H.: There are no setbacks at all in TC-1. He's not sure if the building code has anything, but common sense says you certainly you have to have some bollards or something. He will check. Possibly even limit that row of parking to compact vehicles or ultra-compact vehicles. There's still the concern about the last 2 stalls.
- John F.: At the end is a disabled parking space
- John F.: CMP owns the transformer – they need access to it.
 - JHR: They are having conversations
- Curt: Got the note about transformer unit access – in the mechanical room between the 2 buildings, so it will be indoor

Rob Pontau:

- What is the existing building there now?
 - Single family frame - three (3) units
- Per unit impact fee applies
- Sewer will have capacity where proposed
 - Manhole is recommended but not required

John Foster

- Solid waste impact fee applies

Fred Douglas

- two (2) buildings need two separate water shutoffs at the edge of the ROW

Jeff Hutchinson – all contingent on lease agreements and parking

- Need additional spaces for the proposed units
- Bowdoin College may have the spaces
- Discussions with John Eldridge indicate town spaces would have time constraints
- Downtown areas have no max on

Jared Woolston – Recreation Impact fee applies per Tom Farrell

- Revise table on plan to indicate the actual number of required and proposed parking spaces

Public

- Marilyn Nelman – 9 Noble Street
 - Lilac bush may die during construction and that is objectionable
 - Prefer residences over commercial development
 - Traffic is a big deal on Noble Street
 - Lots of kids in neighborhood and do not want kids to get hurt by cars
 - Consider assisted living apartments to reduce car use
 - If parking is limited for apartments it will force parking onto Noble Street
 - Need room for people to make driving mistakes and avoid buildings
- Clara Howell letter – 9 Noble Street
 - Letter part of packet – construction traffic; and existing/proposed green space primary concerns



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
85 UNION STREET
BRUNSWICK, ME 04011

ANNA BREINICH, FAICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

MEMORANDUM

TO: The Planning Board
FROM: Jared Woolston, Planner
DATE: June 23, 2016
RE: Sketch Plan Review of Mid-Coast Health Services

PROJECT SUMMARY

Staff has reviewed the Sketch Plan application and determined that it is complete.

The proposed Sketch Plan Major Development Review application was submitted by authorized representatives from Pine Tree Engineering for Mid-Coast Health Services to construct three (3) new parking areas containing one hundred fifteen (115) new parking spaces. The proposed parking lots are intended to serve the existing on-site parking need for the Mid-Coast campus located at 123 Medical Center Drive (Map 45, Lot 16). The proposed parking lots are located outside of the Natural Resources Protection Zone (NRPZ), and the mapped Wildlife Habitat Block at the subject parcel. The applicant's agent was advised by staff that the 75-foot NRPZ that is depicted on the site plan must be depicted from the edge of the stream as defined by Brunswick's Zoning Ordinance. The applicant's agent indicated that the stream setback is depicted on the plan at the thread of the channel (the middle of the stream) rather than the edge of the stream but the stream would be field verified to determine the edge of the stream, including all adjacent wetlands that are influenced by floodplain hydrology from the stream as defined prior to the Final Plan submission. The applicant's agent further indicated that the proposed parking lot fill extension would be minimized to avoid the 75-foot stream setback based on the findings of the field determination with a retaining wall if necessary.

The Staff Review Committee (SRC) reviewed the Sketch Plan application on June 22, 2016. During the SRC meeting, the applicant indicated that the proposed parking lot is not intended to provide additional spaces for a future development, rather, that the proposed lots are required to serve the existing on-site facilities. At the SRC meeting, the applicant was asked by a member of the public (Marcus Headley at 256 Bath Road, Brunswick, ME) if the applicant considered

constructing a multi-level parking garage to minimize expanding the footprint of the development. The applicant responded that a parking garage was considered as a development alternative but due to the estimated cost of \$10,000 per parking space the parking garage was considered cost prohibitive and the preferred alternative is the proposed three (3) parking lots.

The staff recapitulated an inquiry from the public that requested clarification for the proximity of the proposed development to a mapped wetland that contains waterfowl habitat as shown on Brunswick's zoning map. The staff advised that the proposed development is located more than 250 feet from the mapped wetland and therefore is outside of the associated jurisdiction of that area of the NRPZ. The applicant indicated that the 250-foot NRPZ area associated with the mapped wetland area was known to the applicant and its agent, and the development is oriented to avoid all activities within that area. Additionally, the applicant indicated that the proposed parking lots were designed to minimize the area of disturbance to natural features on-site including bedrock outcrops, wetlands, water bodies, and existing vegetation to the extent practical. The applicant noted that added costs to the construction of the proposed parking lots from having to blast ledge (bedrock) were considered unavoidable.

A Sketch Plan of the proposed development was prepared by Pine Tree Engineering and is referenced as Sheet 1 of 1, entitled "Parking Expansion Sketch Plan", and dated May 20, 2016 with a most recent revision date of June 13, 2016.

APPROVED MOTIONS
SKETCH PLAN MAJOR REVIEW – MID-COAST HEALTH SERVICES
Case # 16-022

Motion 1. That the Board deems the Sketch Plan to be complete.

Motion 2. That the Board approves the Sketch Plan.

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

**Mid Coast Hospital
Parking Expansion
Brunswick, Maine**

prepared for:

Mid Coast Health Services
123 Medical Center Drive
Brunswick, Maine 04011

prepared by:

Pine Tree Engineering, Inc.
53 Front Street
Bath, Maine 04530
(207) 443-1508

August 2016
Project No. 95041.17

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*Major Development Review Final Plan Application
Executive Summary of Review Standards*

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Sheet 4 of 6	Grading and Drainage Plan
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Sheet 6 of 6	Details

**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: Mid Coast Hospital Parking Expansion
2. Project Applicant
Name: Mid Coast Health Services
Address: 123 Medical Center Drive
Brunswick, ME 04011
Phone Number: (207) 373-6701
3. Authorized Representative
Name: Michael Pinkham
Address: 123 Medical Center Drive
Brunswick, ME 04011
Phone Number: (207) 373-6701
4. List of Design Consultants. Indicate the registration number, address and phone number Of any engineer, surveyor, architect, landscape architect or planner used:
1. Pine Tree Engineering, Inc., Robert L. Prue, P.E., Lic. 6092, 53 Front St., Bath, ME 04530
2. _____
3. _____
5. Physical location of property being affected: 81 and 123 Medical Center Drive, Brunswick, ME
6. Lot Size: 113 acres
7. Zoning District: Medical Use Zone, FF3, and CC
8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? _____
Mid Coast Health Services is the owner of the subject property.

9. Assessor's Tax Map 45 Lot Number 32 of subject property.
10. Brief Description of proposed: Parking

11. Describe Specific Physical Improvements to be Done: Expansion of existing parking lots to include new paved areas, drainage systems, lighting, and landscaping.

Owner Signature: _____

Applicant Signature (if different): Michael J. Pinkham

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Name of Development		X				
Scale, date, north point, area, number of lots (if subdivision)		X				
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.			X			
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.		X				
Existing zoning district and overlay designation.		X				
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.		X				
Names of current owner(s) of subject parcel and abutting parcels.		X				
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.			X			
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.			X			
Existing and proposed easements associated with the development.			X			
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.		X				
Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings.		X				

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.		X			
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.			X		
Topography with counter intervals of not more than 2 feet.		X			
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.		X			
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.				X	
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.		X			
Existing locations and proposed locations, widths and profiles of sidewalks.		X			
Location map.		X			
Approximate locations and dimensions of proposed parking areas.		X			
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.			X		
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.		X			
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.			X		
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.		X			
Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.			X		

For Open Space Development, a note indicating the total permitted lot count of the entire land tract based upon the destiny standards in this Ordinance, the number of lots created by the Plan, and the number of lots permitted to be subdivided in the future, as well as a table showing setback requirements and impervious surface coverage limits for each lot.			X			
Building envelopes showing acceptable locations for principal and accessory structures.			X			

FINAL PLAN/SUPPORTING DOCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.		X				
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.			X			
Draft performance guarantee or conditional agreement.			X			
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.		X				
Any additional studies required by the Planning Board, which are deemed necessary in accordance with this Ordinance.			X			
Storm water management program for the proposed project prepared by a professional engineer.		X				
A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District made available at the Brunswick Department of Planning and Development.			X			

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.			X			
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.			X			
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.			X			
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.			X			
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.			X			
Where a septic system is to be used, evidence of soil suitability.			X			
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.		X				
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.			X			
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.			X			
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.		X				
The size and proposed location of water supply and sewage disposal systems.			X			
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.		X				

EXECUTIVE SUMMARY OF REVIEW STANDARDS

411.1 Ordinance Provisions

The sites for the proposed parking lots are located within the Cook's Corner Center Zone, Medical Use Zone, and Farm Forest 3. The project has been designed to comply with the applicable provisions and requirements of the Brunswick Zoning Ordinance. The project meets use, density, and dimensional requirements of the zoning districts. Development of this project does not require a special permit, zoning variance, or special exception.

411.2 Preservation of Natural Features

The Natural Resource Protection Zone (NRPZ) located around the stream near the Medical Office Building has been preserved. As an alternative to a fill extension into the NRPZ, a retaining wall will be constructed. The proposed development of the site will preserve all of the numerous forested wetlands located throughout the site. The project does not include development of land areas within the flood hazard. The development avoids the numerous bedrock outcrops located on this site with the exception of the need to blast the face of the bedrock to expand the parking area closest to the hospital. This is required in order to connect to the existing parking lot and sidewalk, and keep the location within walking distance for the employees. A parking garage alternative has been investigated, but the cost is prohibitive.

411.3 Surface Waters, Wetlands, and Marine Resources

The proposed development will not adversely affect any water body or its shoreline. The project does not require wastewater disposal or public water supply, therefore impacts from groundwater extraction and sewage disposal are eliminated. The stormwater management plan has been designed in accordance with the DEP Stormwater Regulations. The stormwater run-off will discharge into underdrained soil filters (vegetated) to provide the treatment to meet the quality standard. The drainage system has been designed to provide for two smaller sub-areas to avoid discharge of large quantities of stormwater run-off to a single point.

411.4 Flood Hazard Area

The proposed development activity does not occur within a flood hazard area.

411.5 Stormwater Management

As discussed in paragraph 411.3, the proposed development satisfies the recommended stormwater quality standards described in *Stormwater Management for Maine*, published by the State of Maine Department of Environmental Protection, January 2006.

411.6 Groundwater

Due to the lack of need for wastewater disposal or water supply, the proposed development will not adversely affect the quality or quantity of groundwater.

411.7 Erosion and Sedimentation

The proposed development will be constructed in accordance with Best Management Practices. It will not cause unreasonable soil erosion on the site. The Erosion Control Plan is attached to this application. In addition, the large wooded buffers around the site will remain intact.

411.8 Sewage Disposal

Not applicable.

411.9 Water

Not applicable.

411.10 Aesthetic, Cultural and Natural Values

The site of the proposed development is not located on a historic site. An archaeological survey was completed, which did not identify any historic sites on the property. Through the development of the building area, the majority of the site will remain in its natural state, therefore, preserving the scenic and natural beauty of the area.

411.11 Community Impact

No Town services are required or impacted as a result of this development.

411.12 Traffic

This development will serve existing buildings, so no impact to traffic will result from this project.

411.13 Pedestrian and Bicycle Access and Safety

The site has been designed to accommodate bicycles and pedestrians, as well as providing safe access and circulation for passenger vehicles, delivery vehicles, and emergency vehicles. This development will connect to the existing facilities on site.

411.14 Development Patterns

This development is an expansion of an existing facility for off-street parking only, thus, it will not have an adverse impact on abutting properties or the neighborhood

411.15 Architectural Compatibility

In terms of size, scale, mass, and design, the elements of the development are compatible with the surroundings. The campus has been designed to blend into the wooded site and to take advantage of the large wooded buffers which shall remain on the site as part of the landscape design.

411.16 Municipal Solid Waste Disposal

Not applicable.

411.17 Recreational Needs

Not applicable.

411.18 Access for Persons with Disabilities

The project design is in compliance with the Americans With Disabilities Act in order to provide access for persons with disabilities.

411.19 Financial Capacity and Maintenance

Mid Coast Health Services shall finance the construction of this project through their normal operating budget as detailed in the attached Financial Capacity section of this application.

411.20 Noise and Dust

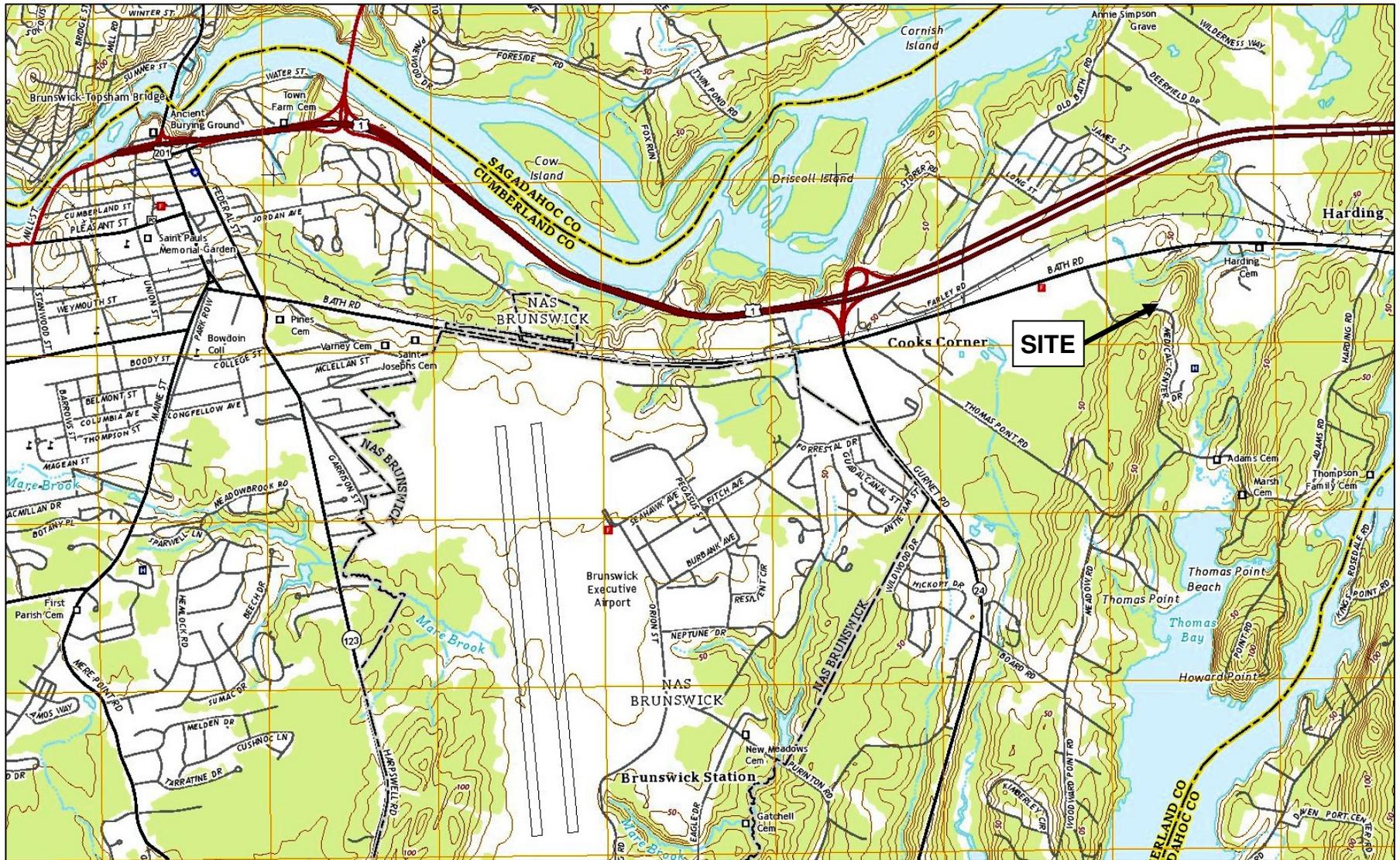
The operation of the medical office building will not create any unreasonable noise and dust. To minimize dust during construction, the erosion and sedimentation control plan addresses items such as mud tracking onto existing roadways and the need to cover bare soil in a timely manner. The rural nature of the site will also assist in minimizing adverse impacts from noise and dust during the construction phase.

411.21 Title, Right and Interest

Mid Coast Health Services owns the property as shown on Map 45, Lot 32. See the deeds contained in Section 2.

411.22 Finding of Payment of Application Fee

The applicable development review fees have been paid.



[-]

<p>Pine Tree Engineering</p> <p>53 Front Street Bath, Maine 04530 Tel: (207) 443-1508 Fax: (207) 442-7029</p> <p>Civil/Environmental Engineering ♦ Surveying</p>	<p>MID COAST HOSPITAL PARKING EXPANSION</p> <p>SITE LOCATION MAP</p>		<p>DATE</p> <p>JANUARY 18, 2016</p>
	<p>PLACE: 81 MEDICAL CENTER DRIVE</p> <p>TOWN: BRUNSWICK</p> <p>COUNTY: CUMBERLAND</p> <p>STATE: MAINE</p>	<p>APPLICATION BY:</p> <p>MID COAST HEALTH SERVICES</p> <p>123 MEDICAL CENTER DRIVE</p> <p>BRUNSWICK, MAINE 04011</p>	

002450

Know All Men By These Presents,

That I, JOSEPH A. FOOTER, of Brunswick, in the County of Cumberland,
and State of Maine,

in consideration of One Dollar and other good and valuable considerations,

paid by MID COAST HEALTH SERVICES CORPORATION, a corporation organized and
existing under the laws of the State of Maine, with a place of business in
Brunswick, in the County of Cumberland, and State of Maine,

the receipt whereof I do hereby acknowledge, do hereby

give, grant, bargain, sell and convey unto the said MID COAST HEALTH SERVICES
CORPORATION, 58 Baribeau Drive, Brunswick, Maine, 04011,
its successors ~~and~~ and assigns forever,

~~and to have and to hold unto the said~~

A certain lot or parcel of land, situated in Brunswick, in
the County of Cumberland and State of Maine, on the
northwesterly side of the Adams Road, so-called, and being more
specifically bounded and described as follows:

Beginning at a point in the northeast line of land now or
formerly of Alvin B. Allen, Arthur Altschuler and David
Altschuler and being the southerly corner of land now or
formerly of H. William Sowles, John W. Sowles and Peter P.
Sowles, recorded in the Cumberland County Registry of Deeds
Book 6493, Page 111, and being the northwesterly corner of land
herein conveyed by Joseph A. Footer, recorded in the Cumberland
County Registry of Deeds Book 4609, Page 268; thence south
eighty-nine degrees, five minutes, forty-four seconds east (S
89° 05' 44" E) along the southerly line of the said H. William
Sowles et al. and along the southerly line of land now or
formerly of Marian B. Washburn, recorded in the Cumberland
County Registry of Deeds Book 2935, Page 528, and along the
northerly line of land herein conveyed by the said Joseph A.
Footer a distance of seven hundred forty-eight and twenty-nine
hundredths feet (748.29') to a point being the southeasterly
corner of land now or formerly of Earnest Washburn, recorded in
the Cumberland County Registry of Deeds Book 1976, Page 277,
and being the westerly corner of land now or formerly of Felton
Pervier and Rita Pervier, recorded in the Cumberland County
Registry of Deeds Book 2991, Page 178, and being the
northeasterly corner of land herein conveyed by the said Joseph
A. Footer; thence forty-one degrees, zero minutes, thirty-four
seconds east (S 41° 00' 34" E) along the southwesterly line of
the said Felton Pervier and Rita Pervier and the northeasterly
line of land herein conveyed by the said Joseph A. Footer a
distance of seven hundred sixteen and seventeen hundredths feet
(716.17') to a point marked by an iron rod; thence continuing
south forty-one degrees, zero minutes, thirty-four seconds east
(S 41° 00' 34" E) along the southwesterly line of the said
Felton Pervier and Rita Pervier and the northeasterly line of
land herein conveyed by the said Joseph A. Footer a distance of
approximately one hundred forty feet (140') more or less to the
centerline of the brook; thence southwesterly by the centerline
of said brook a distance of twenty-one hundred forty feet
(2140') more or less to a point in the easterly property line
of land now or formerly of Charles Warren Ring, recorded in the
Cumberland County Registry of Deeds Book 2660, Page 135; thence

0X862 JFG0148

MAINE REAL ESTATE TRANSFER TAX PRNC.

EX8628PG0149

north forty-one degrees, thirty minutes, twenty-six seconds west (N 41° 30' 26" W) along the easterly line of the said Charles Warren Ring and the westerly line of land herein conveyed by the said Joseph A. Footer a distance of approximately twenty-three hundred forty feet (2340') more or less to a point marked by a 1 1/4" diameter iron pipe being the northeasterly corner of the said Charles Warren Ring and being the southeasterly line of said Alvin B. Allen et. al. and being the northwesterly corner of land herein conveyed by the said Joseph A. Footer; thence north forty-seven degrees, thirty-two minutes, thirty-eight seconds east (N 47° 32' 38" E) along the southeasterly line of said Alvin B. Allen et. al. and the northwesterly line of land herein conveyed by the said Joseph A. Footer a distance of five hundred twenty-nine and ninety-one hundredths feet (529.91') to a point marked by a 1 1/2" diameter iron pipe being the southwesterly corner of the said Alvin B. Allen et. al.; thence north forty-one degrees, thirty-seven minutes, fifty-three seconds west (N 41° 37' 53" W) along the northeasterly line of the said Alvin B. Allen et. al. and the southwesterly line of the said Joseph A. Footer a distance of four hundred sixty-five and eighty-four hundredths feet (465.84') to the point of beginning. Containing forty-three acres (43 ac.).

Subject, however, to the rights held by New England Telephone and Telegraph Company, by virtue of Easement dated January 21, 1911, and recorded in the Cumberland County Registry of Deeds in Book 868, Page 491.

For source of title reference may be had to the following instruments: Mary D. Footer to Joseph A. Footer, dated December 21, 1973, and recorded in the Cumberland County Registry of Deeds in Book 3498, Page 69; Mary D. Footer to Joseph A. Footer, dated February 1, 1974, and recorded in the Cumberland County Registry of Deeds in Book 3508, Page 150; and Mary A. Farnham to Joseph A. Footer, dated August 30, 1974, and recorded in the Cumberland County Registry of Deeds in Book 3594, Page 165. Reference may also be had to Judgment entered in the matter of Joseph A. Footer v. Nancy W. Footer, dated May 6, 1980, and recorded in the Cumberland County Registry of Deeds in Book 4598, Page 261; and Release Deed of Nancy Waterman f/k/a Nancy W. Footer to Joseph A. Footer, dated May 7, 1980, and recorded in the Cumberland County Registry of Deeds in Book 4609, Page 268.

EX8620PG0150

To Have and to Hold the aforegranted and bargained premises with all the privileges and appurtenances thereof to the said

MID COAST HEALTH SERVICES CORPORATION, its successors ~~and assigns~~, to them and their use and behoof forever.

And I do COVENANT with the said Grantee, its successors ~~and assigns~~, that I am lawfully seized in fee of the premises that they are free of all encumbrances:

that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will WARRANT and DEFEND the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I, the said JOSEPH A. FOOTER,

RECEIVED
REGISTRY OF DEEDS
1989 JUN 17 AM 11:10
CURTIS COUNTY
James J. ...

~~Joseph A. Footer~~
~~of the County of Sagadahoc~~
~~State of Maine~~
~~do hereby certify that the within and foregoing~~
~~is a true and correct copy of the original as the same appears~~
~~in the records of the Registry of Deeds for the County of Sagadahoc~~
my hand and seal this 13th day of January in the year of our Lord one thousand nine hundred and eighty-nine.

Signed, Sealed and Delivered,
in presence of
Roger R. Therrault

Joseph A. Footer
Joseph A. Footer

State of Maine, } ss. January 13, 1989
SAGADAHOC

Personally appeared the above named

JOSEPH A. FOOTER

and acknowledged the above

instrument to be his free act and deed.

Before me,
Roger R. Therrault

Roger R. Therrault, Attorney At Law

EK8660PG0183

007393

MATTHEW B. ALLEN of Brookline, Massachusetts, DOUGLAS ALLEN of Brookline, Massachusetts, ELIZABETH ALLEN of New York, New York, EMILY ALLEN of New York, New York, MILTON ALTSCHULER of Houston, Texas, and GEORGE S. ABRAMS AS TRUSTEE OF THE ARTHUR ALTSCHULER IRREVOCABLE TRUST of Boston, Massachusetts

For consideration paid, grant(s) to MID COAST HEALTH SERVICES, a Maine corporation, with a principal place of business at 58 Baribeau Drive, Brunswick, Maine, the land in Brunswick, in the County of Cumberland and State of Maine, as follows:

A certain lot or parcel of land situated in the Town of Brunswick, County of Cumberland and State of Maine, lying on the southerly side of U.S. Route One, also known as the Bath Road, said lot or parcel of land being more particularly bounded and described as follows:

Beginning at a point in the southerly right of way of the Bath Road fifty and zero hundredths feet (50.00') southwesterly from the northwesterly corner of land now or formerly of Douglas Schmidt, et als. (by deed recorded in the Cumberland County Registry of Deeds, Book 4352, Page 66); thence south two degrees, three minutes, forty, five seconds east (S 02° 03' 45" E) by and along remaining land of the Grantors a distance of two hundred forty one and zero hundredths feet (241.00') to a point of curve; thence by a curve concave to the northeast having a radius of six hundred fifty and zero hundredths feet (650.00') a delta angle of thirty nine degrees, twenty eight minutes, twenty four seconds (39° 28' 24") with a distance of four hundred forty seven and eighty one hundredths feet (447.81') by and along said remaining land of the Grantors to a

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point; thence south forty one degrees, thirty two minutes, nine seconds east (S 41° 32' 09" E) by and along said remaining land of the Grantors a distance of five hundred twenty and ninety five hundredths feet (520.95') to a point in the northwesterly line of land now or formerly of Joseph A. Footer (by deed recorded in the Cumberland County Registry of Deeds, Book 4609, Page 268); thence south forty seven degrees, thirty two minutes, thirty eight seconds west (S 47° 32' 38" W) along land of said Footer a distance of fifty and one hundredths feet (50.01') to a point marked by a 1-1/4" diameter iron pipe marking the northwesterly corner of land of said Footer and being the northeast corner of land now or formerly of Charles Warren Ring (by deed recorded in the Cumberland County Registry of Deeds, Book 2660, Page 135); thence south forty seven degrees, thirty one minutes, thirteen seconds west (S 47° 31' 13" W) along the northerly line of land of said Ring a distance of one thousand, one hundred twenty nine and thirty five hundredths feet (1129.35') to a point marked by a granite monument in the northeasterly line of land of James T. Redding (by deed recorded in the Cumberland County Registry of Deeds, Book 3264, Page 322); thence north thirty seven degrees, twenty eight minutes, four seconds west (N 37° 28' 04" W) by and along land of said Redding and land now or formerly of William S. Dodge a distance of five hundred twenty and sixty nine hundredths feet (520.69') to a point; thence north forty seven degrees, thirty one minutes, thirteen seconds east (N 47° 31' 13" E) by and along said remaining land of the Grantors a distance of one thousand forty and seventeen hundredths feet (1040.17') to a point; thence north forty two degrees, twenty eight minutes, forty seven seconds west (N 42° 28' 47" W) by and along said remaining land of the Grantors a distance of five and ninety one hundredths feet (5.91') to a point of curve; thence by a curve concave to the northeast having a radius of seven hundred fifty and zero hundredths feet (750.00') a delta angle of thirty nine degrees nineteen minutes, fifty seconds (39° 19' 50") and a distance of five hundred fourteen and eighty four hundredths feet (514.84') by and along said remaining land of the Grantors to a point; Thence north two degrees, three minutes, forty five seconds west (N 02° 03' 45" W) along land of the said Grantors a distance of two hundred forty and twenty eight hundredths feet (240.28') to a point in the southerly right of way line of the Bath Road; Thence along a curve concave to the south having a radius of thirteen thousand, one hundred eighty nine and ten hundredths feet (13,189.10') a delta angle of zero degrees, twenty six minutes, four seconds (0° 26' 04") and a distance of one hundred and zero hundredths feet (100.00) by and along the southerly right of way of the Bath Road to the point of beginning.

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The above described and conveyed premises contain fifteen and forty nine hundredths (15.49) acres and are more particularly shown on plan entitled "Proposed Property Acquisition, Mid Coast Health Services" by Kimball Chase Company, Inc. dated December 15, 1988 and to be recorded in the Cumberland County Registry of Deeds.

Grantors herein, for themselves and their heirs and assigns, in common with the Grantees, their successors, assigns and others, except and reserve a perpetual easement over, under and across a portion of the above described and conveyed parcel, said easement area being more particularly bounded and described as follows:

Beginning at a point in the southerly right of way of the Bath Road fifty and zero hundredths feet (50.00') southwesterly from the north westerly corner of land now or formerly of Douglas Schmidt, Robert Molesan, Elmer Saltzman and Leo Loiselle (by deed recorded in the Cumberland County Registry of Deeds, Book 4352, Page 66); Thence south two degrees, three minutes, forty five seconds east (S 02° 03' 45" E) by and along remaining land of the Grantors a distance of two hundred forty one and zero hundredths feet (241.00') to a point of curve; Thence by a curve concave to the northeast having a radius of six hundred fifty and zero hundredths feet (650.00'); a delta angle of thirty nine degrees, twenty eight minutes, twenty four seconds (39° 28' 24") with a distance of four hundred forty seven and eighty one hundredths feet (447.81') along said remaining land of the Grantors to a point; Thence south forty one degrees, thirty two minutes, nine seconds east (S 41° 32' 09" E) along land of said remaining land of the Grantors a distance of five hundred twenty and ninety five hundredths feet (520.95') to a point in the north westerly line of land now or formerly of Joseph A. Footer (by deed recorded in the Cumberland County Registry of Deeds, Book 4609, Page 268); Thence south forty seven degrees, thirty two minutes, thirty eight seconds west (S 47° 32' 38" W) along land of said Footer a distance of fifty and one hundredths feet (50.01') to a point marked by a 1-1/4" diameter iron pipe marking the northwesterly corner of land of said Footer and being the north east corner of land now or formerly of Charles Warren Ring (by deed recorded in the Cumberland County Registry of Deeds, Book 2660, Page 1350); thence South 47° 31' 13" West by and along said land of Ring fifty (50) feet, more or less, to a point; thence North 41° 32' 09" West across the property hereinabove described and conveyed five hundred twenty (520) feet, more or less, to a point at remaining land of the Grantors herein; Thence north forty two degrees, twenty eight minutes, forty seven seconds west (N 42° 28' 47" W) along land of the said Alvin B. Allen et. al. a distance of five and ninety one hundredths feet (5.91') to a point of curve; Thence by a curve concave to the north east

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having a radius of seven hundred fifty and zero hundredths (750.00') a delta angle of thirty nine degrees nineteen minutes, fifty seconds (39° 19' 50") and a distance of five hundred fourteen and eighty four hundredths feet (514.84') along land of the said Grantors to a point; Thence north two degrees, three minutes, forty five seconds west (N 02° 03' 45" W) along land of the said Grantors a distance of two hundred forty and twenty eight hundredths feet (240.28') to a point in the southerly right of way line of the Bath Road; Thence along a curve concave to the south having a radius of thirteen thousand, one hundred eighty nine and ten hundredths feet (13,189.10') a delta angle of zero degrees, twenty six minutes, four seconds (0° 26' 04") and a distance of one hundred and zero hundredths feet (100.00) along the southerly right of way of the Bath Road to the point of beginning.

The above perpetual easement shall be for all purposes of an easement to benefit remaining land of the Grantors herein, including the following purposes: (A) as a roadway and means of ingress to and egress from other land of the Grantors herein by vehicular, pedestrian and all other modes of passage including the right to use any such roadway constructed and installed by the Grantee herein or its successors and assigns; and (B) to use and to connect to sewer and water lines, overhead and underground utility lines, wires and pipes, and any appurtenances to any of the foregoing, which are now, or may hereafter be installed in said easement area by the Grantee herein, or its successors and assigns, and the right of the Grantors herein, their heirs, personal representatives, successors and assigns, to construct, install, lay, maintain, repair and replace sewer and water lines, overhead and underground utility lines, wires, and pipes, and appurtenances to any of the foregoing.

The above described and conveyed premises are a portion only of the premises conveyed to the Grantors herein by Alvin B. Allen and David Altschuler, as Trustees of the Brunswick Shopping Plaza Trust by deed dated February 2, 1989 and recorded in the Cumberland County Registry of Deeds, in Book Page N.D.M.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all privileges and appurtenances thereof to the said MID COAST HEALTH SERVICES, its successors and assigns, forever, to them and their use and behoof forever.

AND we do hereby covenant with the said Grantee, its successors and assigns, that we are lawfully seized in fee of the premises; that they are free of all encumbrances, except as aforesaid; that we have good right to sell and convey the same to the said Grantee to hold as aforesaid, and that we and our heirs and assigns, shall and will WARRANT AND DEFEND the same

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to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said MATTHEW B. ALLEN, DOUGLAS ALLEN, ELIZABETH ALLEN, EMILY ALLEN, MILTON ALTSCHULER, and GEORGE S. ABRAMS AS TRUSTEE OF THE ARTHUR ALTSCHULER IRREVOCABLE TRUST have hereunto set our hands and seals this 3rd day of February, 1989

[Handwritten signatures]

Matthew B. Allen
MATTHEW B. ALLEN

Douglas Allen
DOUGLAS ALLEN
Elizabeth Allen
ELIZABETH ALLEN

Matthew B. Allen atty. in fact
ELIZABETH ALLEN
EMILY ALLEN

Matthew B. Allen atty. in fact
EMILY ALLEN

David Altschuler
MILTON ALTSCHULER BY HIS ATTORNEY-
IN-FACT DAVID ALTSCHULER

THE ARTHUR ALTSCHULER
IRREVOCABLE TRUST

By George S. Abrams, Trustee
GEORGE S. ABRAMS, TRUSTEE

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF MIDDLESEX

February 3, 1989

Then personally appeared the above named David Altschuler, attorney for Milton Altschuler and acknowledged the foregoing instrument to be his/her/their free act and deed, before me

Barbara Mansford SEAL
NOTARY PUBLIC

RECEIVED
REGISTRY OF DEEDS
1989 FEB 16 PH 2:40
COMMERCE COUNTY
James S. Walsh

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006513

SHORT FORM WARRANTY DEED

CHARLES WARREN RING, whose mailing address is RR#5, Adams Road, Brunswick, Maine 04011, FOR CONSIDERATION PAID, grants to MID COAST HEALTH SERVICES, a Maine corporation whose mailing address is 58 Baribeau Drive, Brunswick, Maine 04011, with WARRANTY COVENANTS, certain real property, located in Brunswick, Cumberland County, Maine, more particularly described on Exhibit A attached hereto and made a part hereof.

WITNESS my hand and seal this 10th day of February, 1989.

WITNESS:

Philip H. Elison
Name: PHILIP H. ELISON

Charles Warren Ring
Charles Warren Ring

State of Maine
County of Cumberland, ss.

February 10, 1989

PERSONALLY APPEARED the above-named Charles Warren Ring and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Philip H. Elison
Name: PHILIP H. ELISON
Title: ATTORNEY AT LAW

19047002.021
205.286

EXHIBIT A

A CERTAIN LOT OR PARCEL OF LAND LOCATED SOUTHERLY OF THE BATH ROAD (OLD U.S. ROUTE ONE), BOUNDED AND DESCRIBED AS FOLLOWS:

Beginning at a point marked by granite being the southerly corner of land now or formerly Alvin B. Allen, Arthur Altschuler and David Altschuler and being the north westerly corner of land now or formerly Charles Warren Ring recorded in the Cumberland County Registry of Deeds Book 2660, Page 135;

thence north forty seven degrees, thirty one minutes, thirteen seconds east (N 47° 31' 13" E) along the south easterly line of the said Alvin B. Allen and the north westerly line of the said Charles Warren Ring a distance of one thousand, one hundred twenty nine and thirty five hundredths feet (1129.35') to a point marked by a 1 1/4" dia. iron pipe being the northerly corner of the said Charles Warren Ring and a north Westerly corner of land now or formerly Joseph A. Footer recorded in the Cumberland County Registry of Deeds Book 4609, Page 268;

thence south forty one degrees, thirty minutes, twenty six seconds east (S 41° 30' 26" E) along the south westerly line of the said Joseph A. Footer and the north easterly line of the said Charles Warren Ring a distance of approximately two thousand three hundred forty feet (2340'±) to the center line of Thompson's Brook; thence south westerly by the centerline of the

EXHIBIT A

said Thompson's Brook a distance of fifteen hundred fifty feet (1550'±) to a point in the south westerly line of the said Charles Warren Ring;

thence north forty one degrees, thirty minutes, twenty six seconds west (N 41° 30' 26" W) along land of the said Charles W. Ring a distance approximately eight hundred feet (800'±) to a point being a north easterly corner of the said Charles W. Ring;

thence south twenty-one degrees, twenty three minutes, two seconds west (S 21° 23' 02" W) along a northerly line of the said Charles W. Ring a distance of one hundred sixty eight and fifty one hundredths feet (168.51') to a point being a south westerly corner of land of the said Charles W. Ring;

thence north forty one degrees, thirty minutes, twenty six seconds west (N 41° 30' 26" W) along the south westerly line of the said Charles Warren Ring a distance of one thousand, five hundred and thirteen hundredths (1500.13'±) to the point of beginning containing approximately fifty four and seven tenths acres (54.7± ac).

The grantor, Charles W. Ring, reserves the right to an access easement to a point of land on the northerly side of Thompson's Brook. The location of said easement to be determined by Mid Coast Health Services in conjunction with the facilities to be constructed on the property being conveyed herein.

EXHIBIT A

TOGETHER WITH THE PERPETUAL RIGHT AND EASEMENT, IN COMMON WITH THE GRANTOR, HIS HEIRS AND ASSIGNS, TO PASS AND REPASS ON FOOT AND WITH VEHICLES AT ANY AND ALL TIMES AND TO CARRY THEREON ANY REPAIR, MAINTAIN, REPLACE AND REMOVE UTILITY PIPES AND MAINS, AND POLES AND WIRES WITH ALL NECESSARY APPURTENANCES UPON, UNDER OR OVER ADJACENT LAND OF GRANTOR, BOUNDED AND DESCRIBED AS FOLLOWS:

EASEMENT ONE:

Beginning at a point marked by an iron pipe, being the south easterly corner of land now or formerly of James T. Reding, recorded in the Cumberland County Registry of Deeds, Book 3264, Page 322;

thence south thirty six degrees, twenty four minutes, fourteen seconds west (S 36° 24' 14" W) along the southerly line of the said James T. Reding parcel a distance of two hundred sixty four and eighty five hundredths feet (264.85'), to a point being the south westerly corner of the said James T. Reding parcel, also being the south easterly corner of land now or formerly of Charles W. Ring and recorded in the Cumberland County Registry of Deeds, Book 2473, Page 457;

thence south nineteen degrees, fifty four minutes, thirty four seconds west (S 19° 54' 34" W) along the southerly line of the said Charles W. Ring a distance of three hundred eight and eight hundredths feet (308.08') a point being the south westerly corner of the said Charles W. Ring and being in the easterly line of land now or formerly of Konover Family Limited recorded in the Cumberland County Registry of Deeds, Book 6812, Page 312 and being the north westerly corner of other land of Charles W. Ring recorded in the Cumberland County Registry of Deeds, Book 2660, Page 135;

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EXHIBIT A

thence south forty one degrees six minutes, forty nine seconds east (S 41° 06' 49" E) along the easterly line of the said Konover Family Limited a distance of fifty seven and fifteen hundredths feet (57.15') to a point in the easterly line of the said Konover Family Limited;

thence north nineteen degrees, fifty four minutes, thirty four east (N 19° 54' 34" E) a distance of three hundred twenty eight and fifty two hundredths feet (328.52') to a point;

thence north thirty six degrees, twenty four minutes, fourteen seconds east (N 36° 24' 14" E) a distance of two hundred forty six and eighty nine hundredths feet (246.89') to a point in the easterly line of other land of the said Charles W. Ring;

thence north forty one degrees, thirty minutes, twenty six seconds west (N 41° 30' 26" W) along the easterly line of other land of the said Charles W. Ring, a distance of fifty one and thirteen hundredths feet (51.13') to the point of beginning.

EXHIBIT A

EASEMENT TWO:

Beginning at a point in the northerly right-of-way of the Adams Road at the south easterly corner of land now or formerly of William M. Greene and Judith A. Greene and recorded in the Cumberland County Registry of Deeds, Book 3828, Page 246;

thence north twenty seven degrees, seventeen minutes, ten seconds east (N 27° 17' 10" E) along the easterly line of the said William M. Greene and Judith A. Greene a distance of twenty nine and seventy five hundredths feet (29.75') to an angle point in the easterly line of the said William M. Greene and Judith A. Greene;

thence north forty one degrees, zero minutes, five seconds west (N 41° 00' 05" W) along the easterly line of the said William M. Greene and Judith A. Greene a distance of four hundred ten and twenty seven hundredths feet (410.27') to the north easterly corner of the said William M. Greene and Judith A. Greene;

thence along land now or formerly Charles W. Ring and recorded in the Cumberland County Registry of Deeds, Book 2660, Page 135 by a curve concave to the east having a radius of three hundred and zero hundredths feet (300.00'), a delta angle of twenty seven degrees,

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EXHIBIT A

twenty five minutes, seven seconds (27' 25' 07") a distance of one hundred forty three and fifty six hundredths feet (143.56') to a point;

thence north thirteen degrees, thirty four minutes, fifty nine seconds west (N 13' 34' 59" W) along land of the said Charles W. Ring a distance of forty two and five hundredths feet (42.05') to a point;

thence along land of the said Charles W. Ring by a curve concave south easterly having a radius of three hundred and zero hundredths feet (300.00'), a delta angle of thirty four degrees, fifty eight minutes, one second (34' 58' 01"), a distance of one hundred eighty three and nine hundredths feet (183.09') to a point;

thence north twenty one degrees, twenty three minutes, two seconds east (N 21' 23' 02" E) along land of the said Charles W. Ring a distance of four hundred thirty five and seventy five hundredths feet (435.75') to a point in the easterly line of land of the said Charles W. Ring;

thence south forty one degrees, thirty minutes, twenty six seconds east (S 41' 30' 26" E) along the easterly line of land of the said Charles W. Ring a distance of fifty six and seventeen hundredths feet (56.17') to a point in the easterly line of land of the said Charles W. Ring;

EXHIBIT A

thence south twenty one degrees, twenty three minutes, two seconds west (S 21° 23' 02" W) along land of the said Charles W. Ring a distance of four hundred ten and sixteen hundredths feet (410.16') to a point;

thence along land of the said Charles W. Ring by a curve concave south easterly having a radius of two hundred fifty and zero hundredths feet (250.00'), a delta angle of thirty four degrees, fifty eight minutes, one second (34° 58' 01"), a distance of one hundred fifty two and fifty seven hundredths feet (152.57') to a point;

thence south thirteen degrees, thirty four minutes, fifty nine seconds east (S 13° 34' 59" E) along land of the said Charles W. Ring a distance of forty and five hundredths feet (42.05') to point;

thence along land of the said Charles W. Ring by a curve concave to the east having a radius of two hundred fifty and zero hundredths feet (250.00'), a delta angle of twenty seven degrees, twenty five minutes, seven seconds (27° 25' 07"), a distance of one hundred nineteen and sixty four hundredths feet (119.64') to a point;

thence south forty one degrees, zero minutes, five seconds east (54° 00' 05" E) along land of the said Charles W. Ring also being parallel and fifty and zero hundredths feet (50.00') from the

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EXHIBIT A

easterly line of the said William M. Greene and Judith A. Greene a distance of four hundred forty four and seventeen hundredths feet (444.17') to a point;

thence south twenty seven degrees, seventeen minutes, ten seconds west along land of said Charles W. Ring a distance of sixty four and eighty six hundredths feet (64.86') to a point in the northerly right-of-way line of the said Adams Road;

thence north sixty one degrees, twenty minutes, eleven seconds west (N 61° 20' 11" W) along the northerly right-of-way of the said Adams Road and southerly line of land of the said Charles W. Ring a distance of fifty and one hundredths feet (50.01') to the point of beginning.

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1989 FEB 10 PM 3:38

CUMBERLAND COUNTY

James J. Walsh

Section 3

Financial Capacity

Estimated Cost and Financing

The parking lot expansions at Mid Coast Hospital are estimated to cost \$670,000. Mid Coast Hospital will fund the project through their Fiscal Year 2017 Capital Budget. Please see the letter from Mid Coast Hospital on the following page.

For a lifetime of caring



MID COAST HOSPITAL

123 Medical Center Drive
Brunswick, Maine 04011
(207) 729-0181
www.midcoasthealth.com

June 22, 2016

Ms. Chrstine Woodruff
Maine Department of Environmental Protection
312 Canco Road
Portland, Maine 04103

Dear Ms. Woodruff:

Mid Coast Hospital is submitting an application to the Department of Environmental Protection to construct parking facilities at our Medical Center Drive campus located in Brunswick, Maine. These facilities will increase our parking by 115 spaces at a cost of \$670,000. Mid Coast Hospital intends to finance this project through our Fiscal Year 2017 Capital Budget.

If you have any questions, please feel free to call me at 207-373-6701.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michael S. Pinkham".

Michael S. Pinkham, CHFM
Director of Facilities Management

Section 4

Construction Schedule and Costs

Schedule

Construction is scheduled to begin in October 2016, with final completion expected in June 2017.

Costs

The project is estimated to cost \$670,000.

Section 5

Disclosure of Permits

In addition to Site Plan approval from the Town of Brunswick, this project will require:

1. Minor Amendment to the existing Site Location of Development permit from the Department of Environmental Protection.

Section 6

List of Waivers

The only waiver requested is the requirement to locate all trees with a diameter of 10" or greater, since this site is entirely wooded.

Section 7

High Intensity Soils Report

The full soils report is on file with the Planning Department from the original site application. The High Intensity Soils Map was submitted with the Sketch Plan application, and is on file in the Planning Department.

Section 8
Wetlands Report

The full report is on file with the Planning Department from the original site application.

Section 9

Stormwater Management

A. Narrative

The location of the new medical office building is on the northern side of Medical Center Drive to the south of Bath Road. The existing site is wooded, with several bedrock outcrops. Surface water from the site is discharged through the forested wetlands and the perennial streams discharging into the coastal wetland along Thompson Brook. Thompson Brook is a tributary within the watershed of the tidal segment of the New Meadows River. A slope serves as the transition between the building area and Thompson Brook. Flooding is limited to the wetlands associated with Thompson Brook, which is the east boundary of the site. The alignment and channel geometry of the natural drainageways will not be altered due to the development of this site. The alterations to the existing land cover shall consist of clearing and grading for the new parking areas.

Permitting History of this Site

Since the stormwater runoff discharges to the ocean, this project received a variance from structural measures for water quantity control. Due to the project's location within the watershed of a coastal wetland most at risk from new development, the Sliding Scale TSS Standards were met on the site to reduce the impacts of site runoff on downstream water quality under regulations in effect at that time. The original project and subsequent amendments for parking expansions currently provide stormwater treatment through the use of buffers and manufactured stormwater treatment systems. The minimum TSS removal was 40%, and the site is operating at a TSS removal rate of 43.26% per the last amendment in 2004. The hospital expanded the emergency room in 2008, and the medical office building was constructed at 81 Medical Center Drive in 2008. The intent of the Stormwater Management Plan is to mitigate the development's impact on receiving waters and adjacent properties.

Proposed Amendment

The stormwater runoff from this additional area of development is designed to provide channel protection as well as stormwater treatment through the use of two vegetated underdrained soil filters. These filters will treat runoff from 96.4% of the impervious areas, and 84.6% of the developed area. The two underdrained soil filters drain into forested wetlands through level spreaders to disburse the flow.

B. Pre-Development Drainage Plan

The Existing Conditions Plan, sheet C-1, shows pre-development contours, land cover types and boundaries, existing roads and drives, natural and man-made drainage ways, wetlands, and survey benchmarks. The site is currently wooded, consisting of areas of exposed bedrock.

A 15" culvert drains the area to the south of Medical Center Drive to the east of this site to Thompson Brook at 123 Medical Center Drive. The parking expansions at 81 Medical Center Drive will drain into the perennial stream, which drains across the northeast property boundary.

C. Post-Development Drainage Plan

1. The proposed parking lot expansions will be constructed on the campus of Mid Coast Health Services. This project will involve development of approximately 1.4 acres, of which 0.9 acres will be comprised of impervious surfaces of the parking areas. In order to provide quality control and channel protection of the receiving waters, two vegetated underdrained soil filters will be installed. These underdrained soil filters will provide for slow release of runoff as well as cooling to reduce thermal impacts to the receiving waters.

The two underdrained soil filters are sized to detain a runoff volume equal to 1-inch times the impervious area and 0.4-inch times the landscaped developed area draining to each filter. The details of the two vegetated underdrained soil filters are shown on Sheet C-6. Test pits were excavated at the site of each soil filter, see the letter report on the next page.

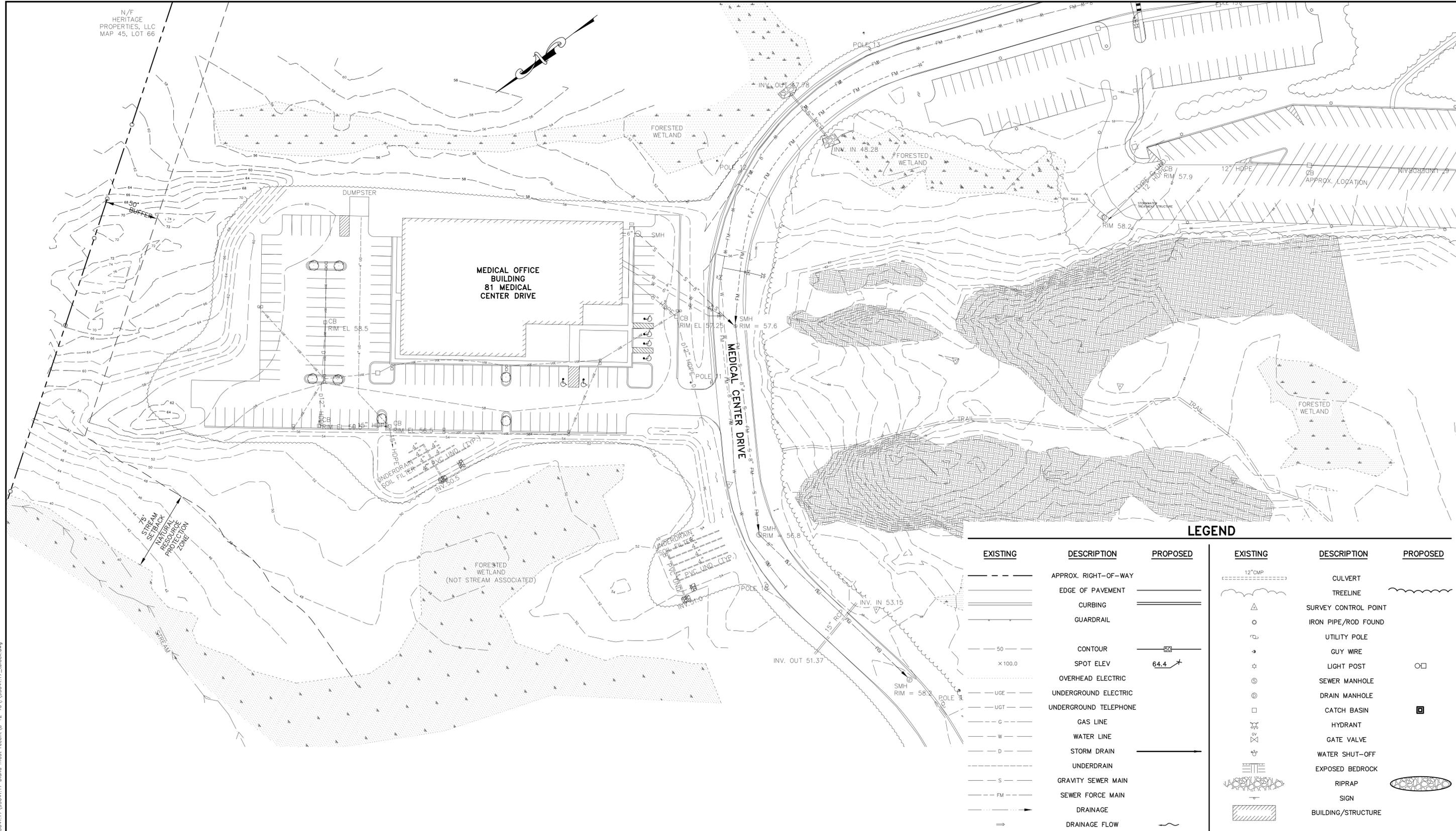
2. The sizing of the two vegetated underdrained soil filters is summarized below:

STORMWATER TREATMENT SUMMARY TABLE

IMPERVIOUS AREA			DEVELOPED AREA		
Total Area (sf)	Treated Area		Total Area (sf)	Treated Area	
	sf	%		sf	%
38,935	37,531	96.4	61,112	51,703	84.6
		>95%✓			>80%✓

UNDERDRAINED SOIL FILTER SIZING TABLE

SOIL FILTER NO. 1				SOIL FILTER NO. 2			
Impervious Area		Developed Area		Impervious Area		Developed Area	
5%	1" rain	2%	0.4" rain	5%	1" rain	2%	0.4" rain
1,127 sf	1,878 cf	86 sf	143 cf	750 sf	1,250 cf	198 sf	330 cf
Design: 1,350 sf	>1,213 sf✓			1,054 sf	>948 sf✓		

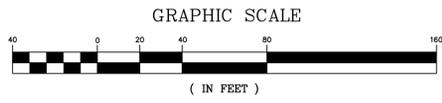


EXISTING CONDITIONS PLAN

SCALE: 1" = 40'

EXISTING		DESCRIPTION	PROPOSED	EXISTING		DESCRIPTION	PROPOSED
---	---	APPROX. RIGHT-OF-WAY	---	---	---	CULVERT	---
---	---	EDGE OF PAVEMENT	---	---	---	TREELINE	---
---	---	CURBING	---	---	---	SURVEY CONTROL POINT	---
---	---	GUARDRAIL	---	---	---	IRON PIPE/ROD FOUND	---
---	---	CONTOUR	---	---	---	UTILITY POLE	---
X 100.0	---	SPOT ELEV	64.4	---	---	GUY WIRE	---
---	---	OVERHEAD ELECTRIC	---	---	---	LIGHT POST	---
---	---	UNDERGROUND ELECTRIC	---	---	---	SEWER MANHOLE	---
---	---	UNDERGROUND TELEPHONE	---	---	---	DRAIN MANHOLE	---
---	---	GAS LINE	---	---	---	CATCH BASIN	---
---	---	WATER LINE	---	---	---	HYDRANT	---
---	---	STORM DRAIN	---	---	---	GATE VALVE	---
---	---	UNDERDRAIN	---	---	---	WATER SHUT-OFF	---
---	---	GRAVITY SEWER MAIN	---	---	---	EXPOSED BEDROCK	---
---	---	SEWER FORCE MAIN	---	---	---	RIPRAP	---
---	---	DRAINAGE	---	---	---	SIGN	---
---	---	DRAINAGE FLOW	---	---	---	BUILDING/STRUCTURE	---
---	---	WETLAND	---	---	---		

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REV	DATE	STATUS	BY	CHKD	APPD
1	8/10/2016	DEP REVIEW COMMENTS	DB	RLP	RLP



DESIGNED BY: RLP
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 CHECKED BY: RLP
 APPROVED BY: RLP
 DATE: 6/30/2016

Pine Tree Engineering
 Civil/Environmental Engineering • Surveying
 53 Front Street
 Bath, Maine 04530
 Tel: (207) 443-1508
 Fax: (207) 442-7029

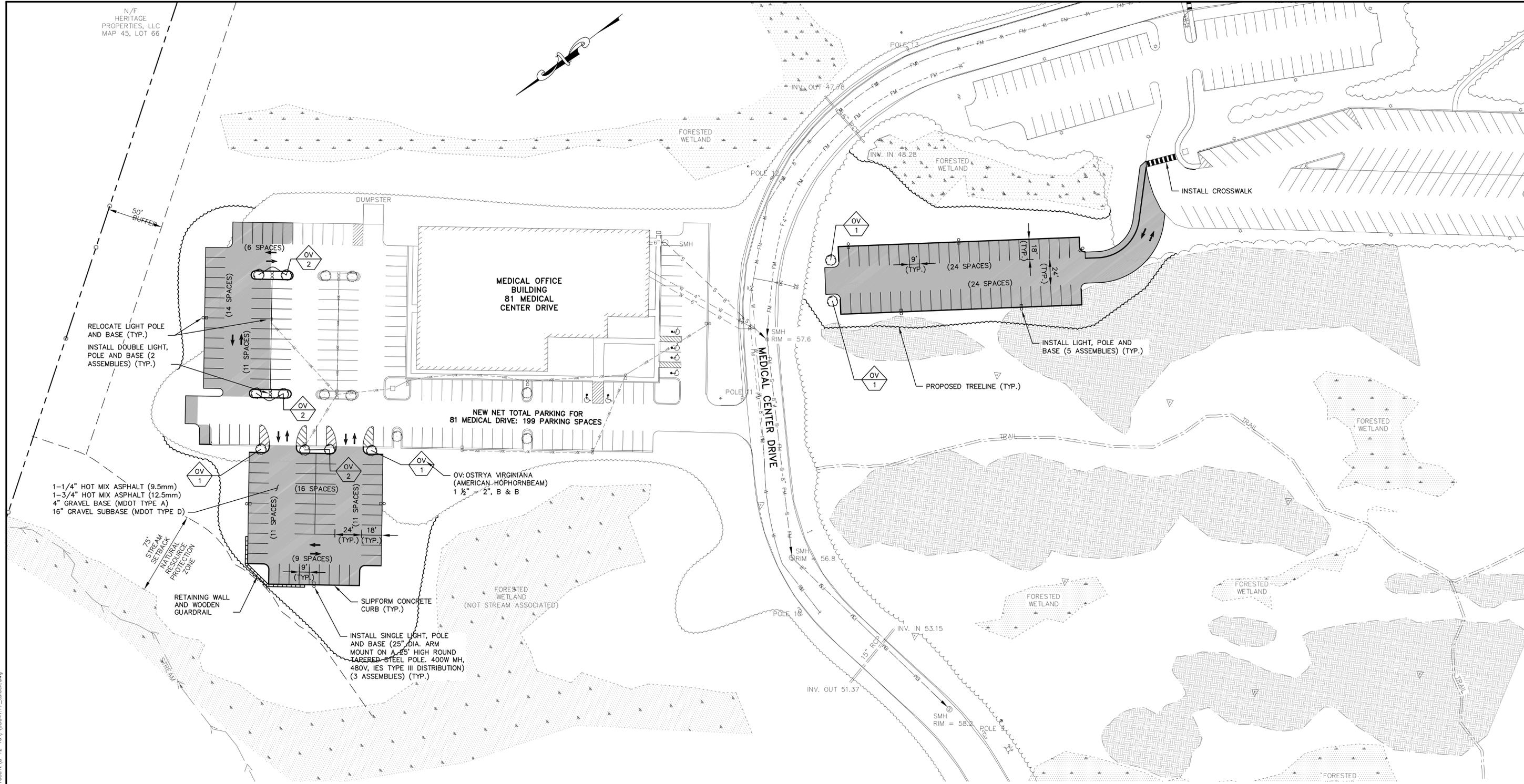
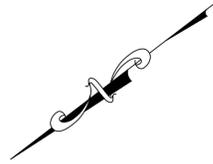
CLIENT
MID COAST HEALTH SERVICES
 123 MEDICAL CENTER DRIVE
 BRUNSWICK, MAINE 04011

PROJECT
**MID COAST HOSPITAL
 PARKING EXPANSION**

TITLE
EXISTING CONDITIONS PLAN

SCALE 1" = 40'
 PROJECT NO. 95041.17
 DRAWING NO. 95041.17_EXCOND.dwg
 SHT. 1 of 6 REV. 1

N/F
HERITAGE
PROPERTIES, LLC
MAP 45, LOT 66



1-1/4" HOT MIX ASPHALT (9.5mm)
1-3/4" HOT MIX ASPHALT (12.5mm)
4" GRAVEL BASE (MDOT TYPE A)
16" GRAVEL SUBBASE (MDOT TYPE D)

20'
STREAM
SEPARATION
NATURAL
RESOURCE
PROTECTION
ZONE

RETAINING WALL
AND WOODEN
GUARDRAIL

INSTALL SINGLE LIGHT, POLE
AND BASE (25" DIA. ARM
MOUNT ON A 25' HIGH ROUND
TAPERED STEEL POLE, 400W MH,
480V, IES TYPE III DISTRIBUTION)
(3 ASSEMBLIES) (TYP.)

OV: OSTRYA VIRGINIANA
(AMERICAN HOPHORNBEAM)
1 1/2" x 2", B & B

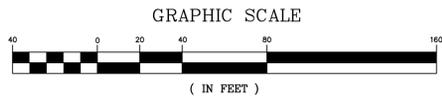
FORESTED WETLAND
(NOT STREAM ASSOCIATED)

PERFORMANCE STANDARDS		
	REQUIRED	PROPOSED
MIN. LOT SIZE	30,000 SF	113 AC
NET SITE AREA	-	84.4 AC
MAX. BUILDING HEIGHT	40 FT	N/A
MAX. FOOTPRINT FACTOR	25%	2.4%
MAX. GROSS DENSITY FACTOR	50%	20.1%
RESIDENTIAL BUFFER ZONE	50 FT	93 FT

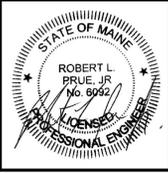
- NOTES:**
- OWNER: MID COAST HEALTH SERVICES (MAP 45, LOT 32).
 - ZONE: MEDICAL USE ZONE (OVERLAY)
COOKS CORNER CENTER
RURAL BRUNSWICK SMART GROWTH -
WILDLIFE HABITAT BLOCK (OVERLAY)
 - WETLAND DELINEATION BY WOODLOT ALTERNATIVES AND STATEWIDE
SURVEYS. SOILS MAPPED BY ALBERT FRICK ASSOCIATES.
 - STREAM LOCATED BY PINE TREE ENGINEERING.
 - PARKING: EXISTING 701 SPACES, PROPOSED 816 SPACES.

SITE PLAN
SCALE: 1" = 40'

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REV	DATE	STATUS	BY	CHKD	APPD
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1	8/10/2016	DEP REVIEW COMMENTS	DB	RLP	RLP



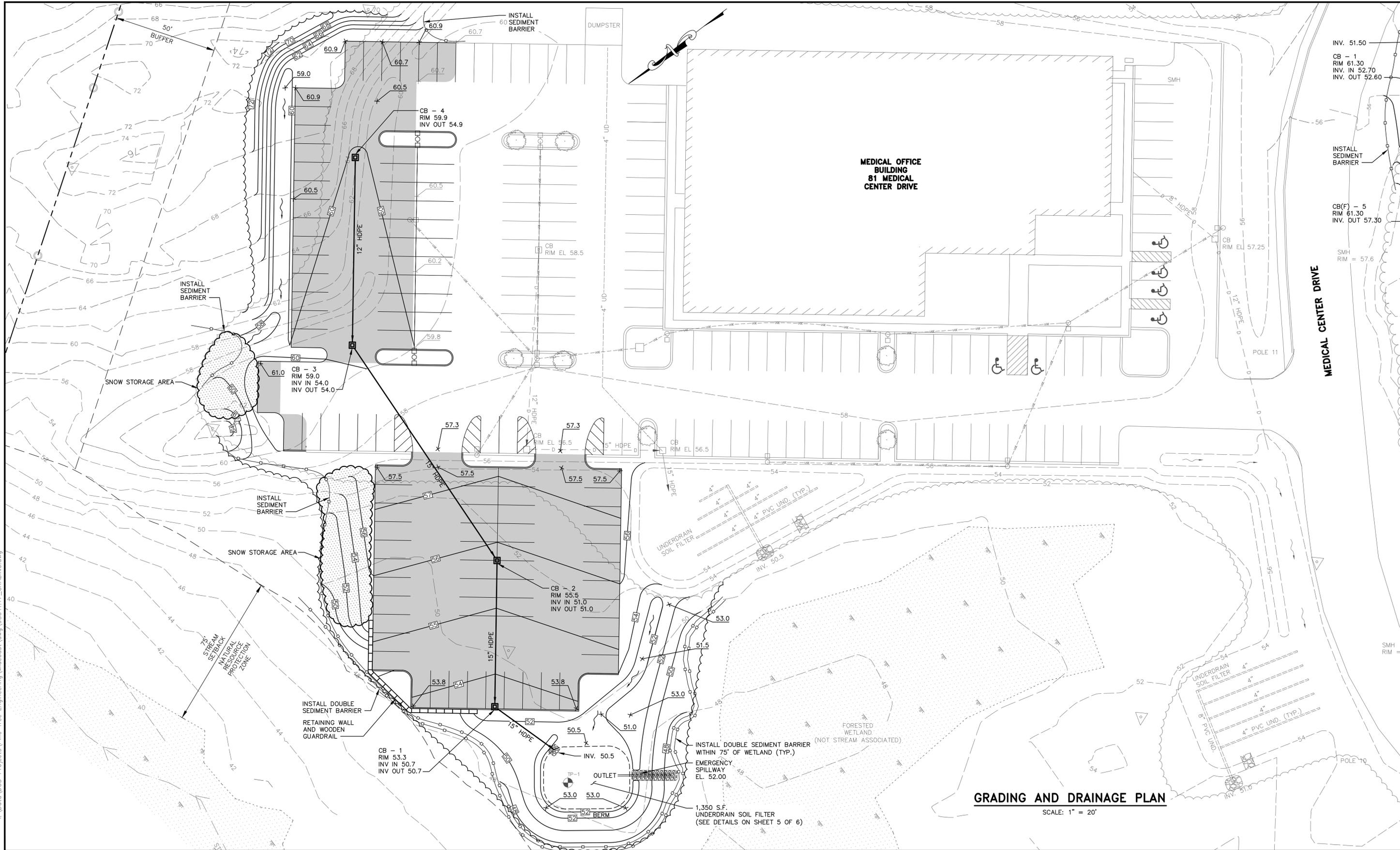
DESIGNED BY: RLP
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DATE: 6/30/2016

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Civil/Environmental Engineering • Surveying
53 Front Street
Bath, Maine 04530
Tel: (207) 443-1508
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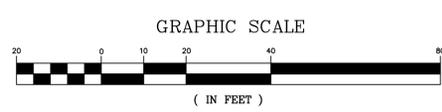
CLIENT
MID COAST HEALTH SERVICES
123 MEDICAL CENTER DRIVE
BRUNSWICK, MAINE 04011

PROJECT
**MID COAST HOSPITAL
PARKING EXPANSION**
TITLE
SITE LAYOUT AND UTILITY PLAN

SCALE 1" = 40'
PROJECT NO. 95041.17
DRAWING NO.
SHT. 2 of 6 REV. 2



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REV	DATE	STATUS	BY	CHKD	APPD
1	8/10/2016	DEP REVIEW COMMENTS	DB	RLP	RLP

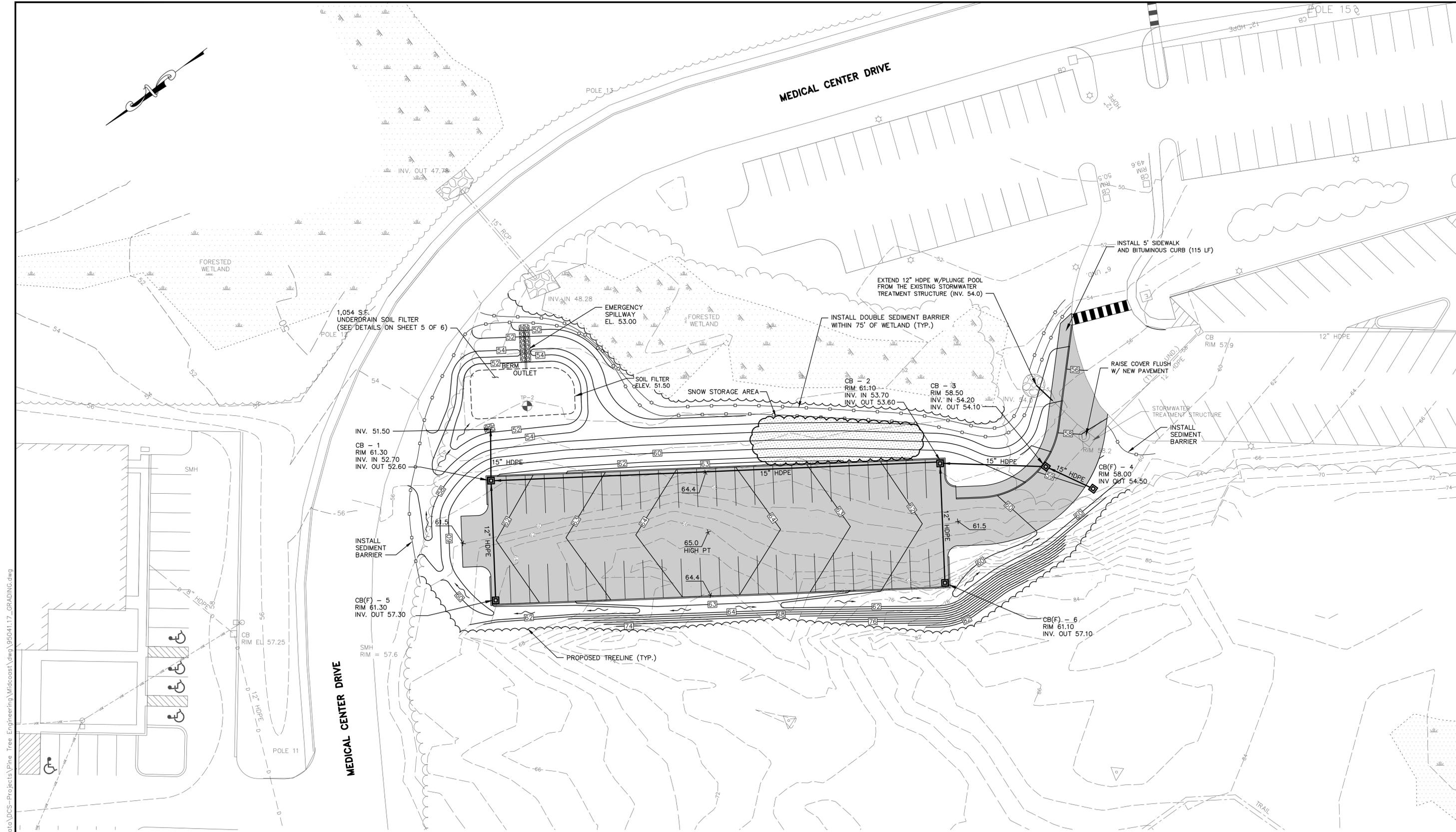


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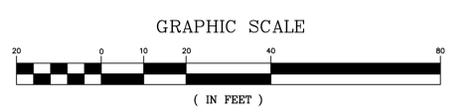
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TITLE	GRADING AND DRAINAGE PLAN	PROJECT NO.	95041.17
		DRAWING NO.	95041.17_GRADING
		SHT.	3 of 6
		REV.	1



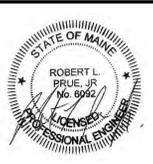
GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

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REV	DATE	STATUS	BY	CHKD	APPD
1	8/10/2016	DEP REVIEW COMMENTS	DB	RLP	RLP



DESIGNED BY:	RLP
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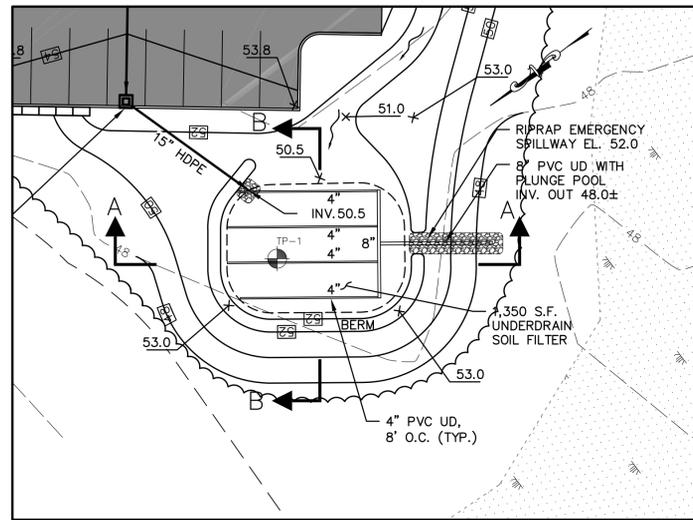
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123 MEDICAL CENTER DRIVE
BRUNSWICK, MAINE 04011

PROJECT
**MID COAST HOSPITAL
PARKING EXPANSION**

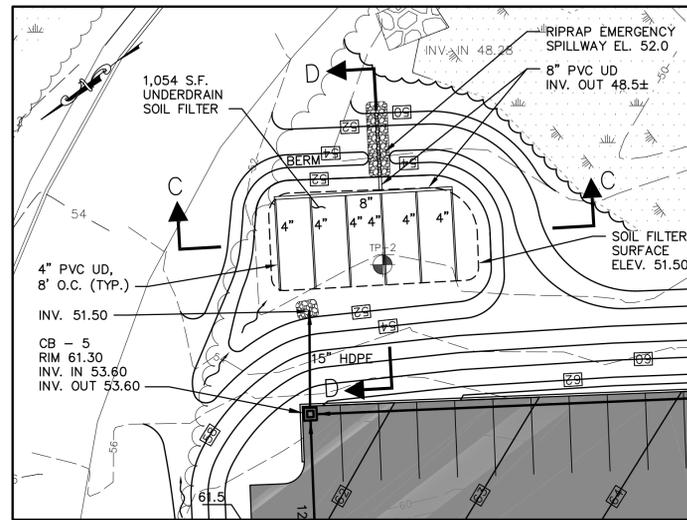
TITLE
GRADING AND DRAINAGE PLAN

SCALE	1" = 20'
PROJECT NO.	95041.17
DRAWING NO.	95041.17_GRADING
SHT.	4 of 6
REV.	1



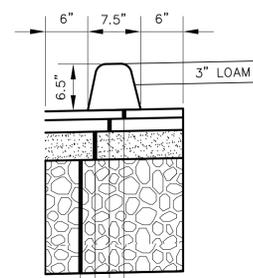
UNDERDRAIN SOIL FILTER NO. 1

SCALE: 1" = 20'



UNDERDRAIN SOIL FILTER NO. 2

SCALE: 1" = 20'



TYPICAL PAVEMENT MATERIAL

- 1 1/4" HOT MIX ASPHALT (9.5 mm)
- 1 3/4" HOT MIX ASPHALT (12.5 mm)
- 4" GRAVEL BASE (MDOT TYPE A)
- 16" GRAVEL SUBBASE (MDOT TYPE D)

PAVED PARKING AREA

SCALE: 1" = 1'-0"

CONSTRUCTION OVERSIGHT

THE APPLICANT WILL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE POND'S CONSTRUCTION PLAN FOR THE CONTRACTOR. ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 30 DAYS TO STATE THAT THE POND HAS BEEN COMPLETED. ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT, AND INCLUDE ANY TESTING DATA OR SIEVE ANALYSIS DATA OF EVERY MINERAL SOIL AND SOIL MEDIA SPECIFIED IN THE PLANS AND USED ON SITE.

UNDERDRAINED FILTER BASINS
CONSTRUCTION SEQUENCE: THE SOIL FILTER MEDIA AND VEGETATION MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE FILTER HAS BEEN PERMANENTLY STABILIZED WITH PAVEMENT OR OTHER STRUCTURE, 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION UNLESS THE RUNOFF FROM THE CONTRIBUTING DRAINAGE AREA IS DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.

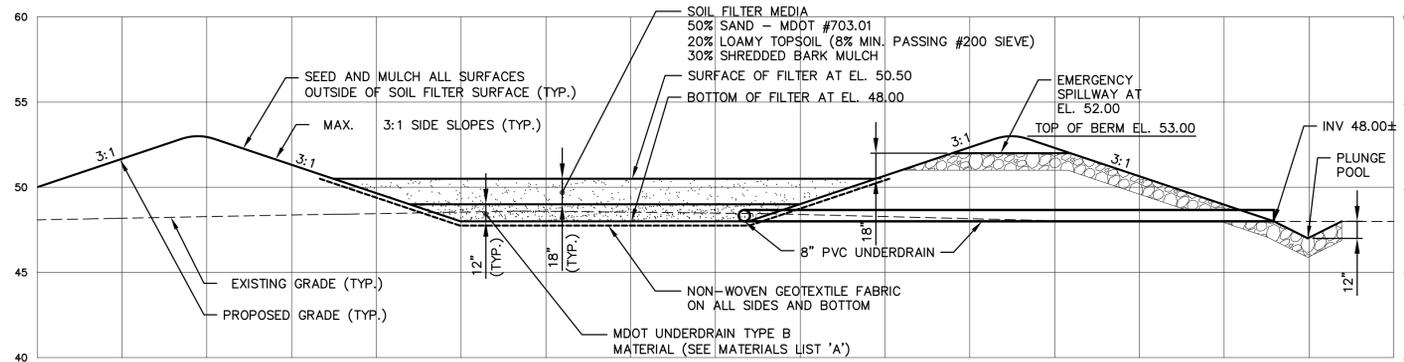
COMPACTION OF SOIL FILTER: FILTER SOIL MEDIA AND UNDERDRAIN BEDDING MATERIAL MUST BE COMPACTED TO BETWEEN 90% AND 92% STANDARD PROCTOR. THE BED SHOULD BE INSTALLED IN AT LEAST 2 LIFTS OF 9 INCHES TO PREVENT POCKETS OF LOOSE MEDIA.

CONSTRUCTION OVERSIGHT: INSPECTION BY A PROFESSIONAL ENGINEER WILL OCCUR AT A MINIMUM:

- AFTER THE PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED,
- AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA,
- AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDED, BIO-RETENTION CELLS MUST BE STABILIZED PER THE PROVIDED PLANTING SCHEME AND DENSITY FOR THE CANOPY COVERAGE OF 30 AND 50%.
- AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS, AND
- ALL THE MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN MUST BE CONFIRMED AS SUITABLE BY THE DESIGN ENGINEER. TESTING MUST BE DONE BY A CERTIFIED LABORATORY TO SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS.

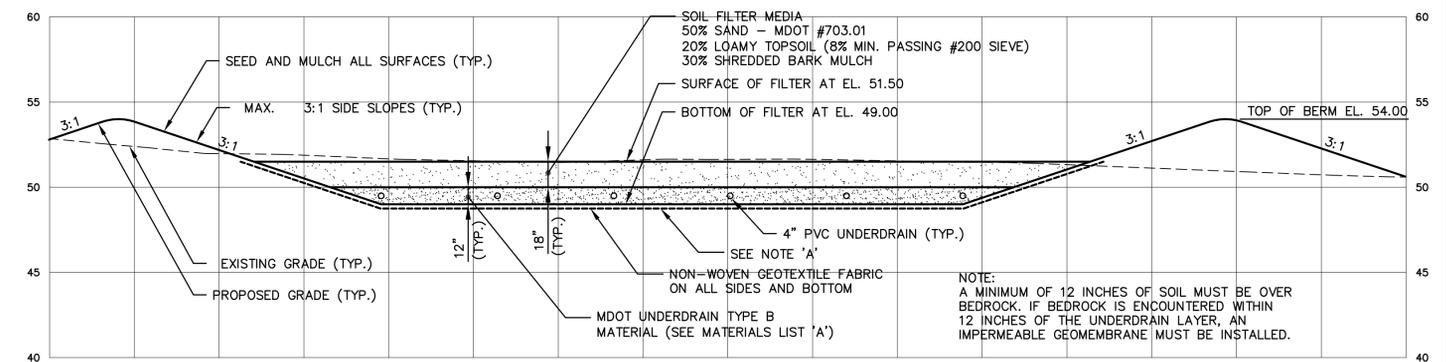
TESTING AND SUBMITTALS: THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF THE SOURCE OF EACH COMPONENT OF THE FILTER MEDIA. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR CONFIRMATION. THE CONTRACTOR SHALL:

- SELECT SAMPLES FOR SAMPLING OF EACH TYPE OF MATERIAL TO BE BLENDED FOR THE MIXED FILTER MEDIA AND SAMPLES OF THE UNDERDRAIN BEDDING MATERIAL. SAMPLES MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE OR PIT FACE. SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY.
- PERFORM A SIEVE ANALYSIS CONFORMING TO STM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COURSE AGGREGATES 1996A) ON EACH TYPE OF THE SAMPLE MATERIAL. THE RESULTING SOIL FILTER MEDIA MIXTURE MUST HAVE 8% TO 12% BY WEIGHT PASSING THE #200 SIEVE, A CLAY CONTENT OF LESS THAN 2% (DETERMINED HYDROMETER GRAIN SIZE ANALYSIS) AND HAVE 10% DRY WEIGHT OF ORGANIC MATTER.
- PERFORM A PERMEABILITY TEST ON THE SOIL FILTER MEDIA MIXTURE CONFORMING TO ASTM D2434 WITH THE MIXTURE COMPACTED TO 90-92% OF MAXIMUM DRY DENSITY BASED ON ASTM D698.



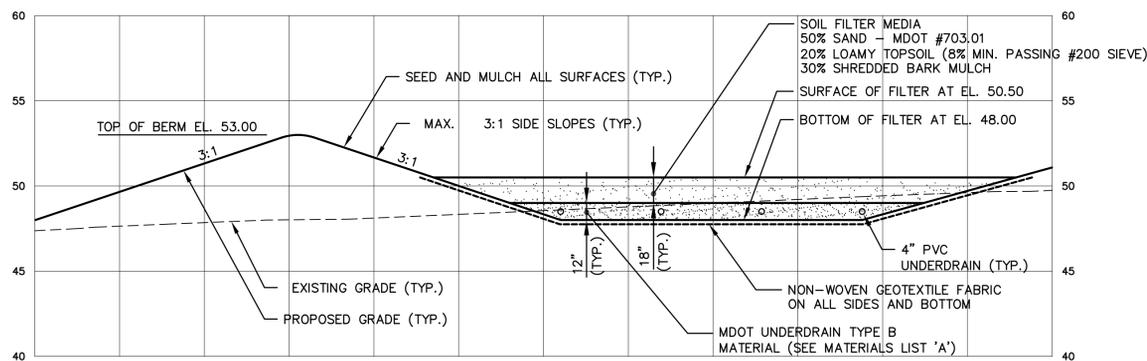
SECTION A-A

SCALE: 1" = 5'



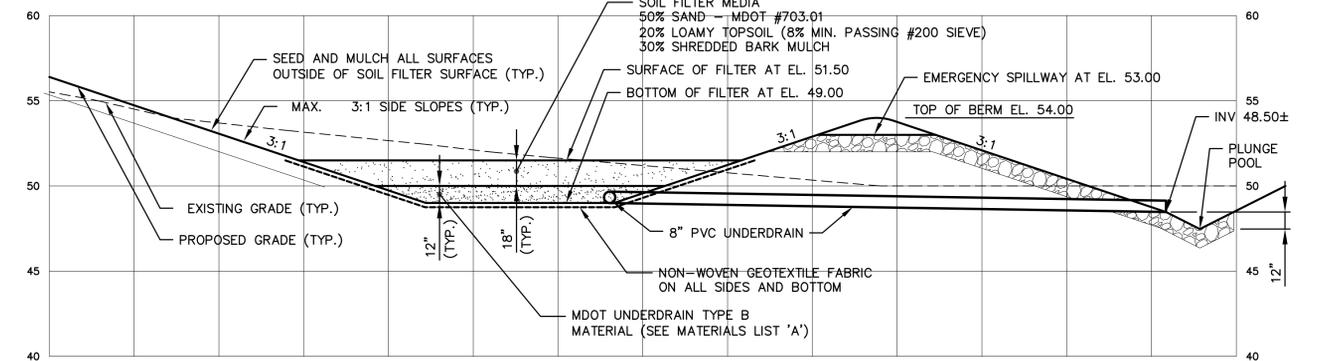
SECTION C-C

SCALE: 1" = 5'



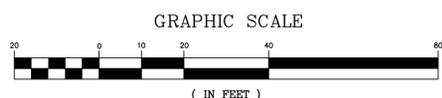
SECTION B-B

SCALE: 1" = 5'

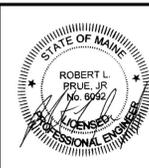


SECTION D-D

SCALE: 1" = 5'



REV	DATE	STATUS	BY	CHKD	APPD
2	8/18/2016	DEP REVIEW COMMENTS	JCD	RLP	RLP
1	8/10/2016	DEP REVIEW COMMENTS	DB	RLP	RLP



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Pine Tree Engineering

53 Front Street
 Bath, Maine 04530
 Tel: (207) 443-1508
 Fax: (207) 442-7029

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CLIENT

MID COAST HEALTH SERVICES
 123 MEDICAL CENTER DRIVE
 BRUNSWICK, MAINE 04011

PROJECT

**MID COAST HOSPITAL
 PARKING EXPANSION**

TITLE

UNDERDRAINED SOIL FILTER DETAILS

SCALE AS SHOWN

PROJECT NO. 95041.17

DRAWING NO. 95045.17_SOIL FILTER

SHT. 5 of 6 REV. 2

CONSTRUCTION NOTES

A. EROSION AND SEDIMENTATION CONTROL

A PERSON WHO CONDUCTS, OR CAUSES TO BE CONDUCTED, AN ACTIVITY THAT INVOLVES FILLING, DISPLACING OR EXPOSING SOIL OR OTHER EARTHEN MATERIALS SHALL TAKE MEASURES TO PREVENT UNREASONABLE EROSION OF SOIL OR SEDIMENT BEYOND THE PROJECT SITE OR INTO A PROTECTED NATURAL RESOURCE AS DEFINED IN 38 M.R.S. §480-B. EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE THE ACTIVITY BEGINS. MEASURES MUST REMAIN IN PLACE AND BE FUNCTIONAL UNTIL THE SITE IS PERMANENTLY STABILIZED. ADEQUATE AND TIMELY TEMPORARY AND PERMANENT STABILIZATION MEASURES MUST BE TAKEN. THE DEPARTMENT HAS PREPARED PROTOCOLS FOR THE CONTROL OF EROSION AND SEDIMENTATION. SEE "MAINE EROSION AND SEDIMENTATION CONTROL BMP'S MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION."

1. POLLUTION PREVENTION. MINIMIZE DISTURBED AREAS AND PROTECT NATURAL DOWNGRADE BUFFER AREAS TO THE EXTENT PRACTICABLE. CONTROL STORMWATER VOLUME AND VELOCITY WITH THE SITE TO MINIMIZE SOIL EROSION. MINIMIZE THE DISTURBANCE OF STEEP SLOPES. CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND VOLUME, TO MINIMIZE EROSION AT OUTLETS. THE DISCHARGE MAY NOT RESULT IN EROSION OF OPEN DRAINAGE CHANNELS, SWALES, STREAM CHANNELS OR STREAM BANKS, UPLAND, OR COASTAL OR FRESHWATER WETLANDS OFF THE PROJECT SITE.

WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY PROTECTED NATURAL RESOURCE. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERMETER EROSION CONTROLS MUST BE INSTALLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.

2. SEDIMENT BARRIERS. PRIOR TO CONSTRUCTION, PROPERLY INSTALL SEDIMENT BARRIERS AT THE DOWNGRADE EDGE OF ANY AREA TO BE DISTURBED AND ADJACENT TO ANY DRAINAGE CHANNELS WITHIN THE DISTURBED AREA. SEDIMENT BARRIERS SHOULD BE INSTALLED DOWNGRADE OF SOIL OR SEDIMENT STOCKPILES AND STORMWATER PREVENTED FROM RUNNING ONTO THE STOCKPILE. MAINTAIN THE SEDIMENT BARRIERS BY REMOVING ACCUMULATED SEDIMENT, OR REMOVING AND REPLACING THE BARRIER, UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. WHERE A DISCHARGE TO A STORM DRAIN INLET OCCURS, IF THE STORM DRAIN CARRIES WATER DIRECTLY TO A SURFACE WATER AND YOU HAVE AUTHORITY TO ACCESS THE STORM DRAIN INLET, YOU MUST INSTALL AND MAINTAIN PROTECTION MEASURES THAT REMOVE SEDIMENT FROM THE DISCHARGE.

3. STABILIZED CONSTRUCTION ENTRANCE. PRIOR TO CONSTRUCTION, PROPERLY INSTALL A STABILIZED CONSTRUCTION ENTRANCE (SCE) AT ALL POINTS OF EGRESS FROM THE SITE. THE SCE IS A STABILIZED PAD OF AGGREGATE, UNDERLAIN BY A GEOTEXTILE FILTER FABRIC, USED TO PREVENT TRAFFIC FROM TRACKING MATERIAL AWAY FROM THE SITE ONTO PUBLIC ROWS. MAINTAIN THE SCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.

4. TEMPORARY STABILIZATION. WITHIN 7 DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES IN AN AREA THAT WILL NOT BE WORKED FOR MORE THAN 7 DAYS, STABILIZE ANY EXPOSED SOIL WITH MULCH, OR OTHER NON-ERODIBLE COVER. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.

5. REMOVAL OF TEMPORARY MEASURES. REMOVE ANY TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED. REMOVE ANY ACCUMULATED SEDIMENTS AND SOILS. IT IS RECOMMENDED THAT SILT FENCES BE REMOVED BY CUTTING THE FENCE MATERIALS AT GROUND LEVEL TO AVOID ADDITIONAL SOIL DISTURBANCE.

6. PERMANENT STABILIZATION. IF THE AREA WILL NOT BE WORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO FINAL GRADE, THEN PERMANENTLY STABILIZE THE AREA WITHIN 7 DAYS BY PLANTING VEGETATION, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH, OR RIPRAP, OR ROAD SUB-BASE. IF USING VEGETATION FOR STABILIZATION, SELECT THE PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS. AMEND AREAS OF DISTURBED SUBSOILS WITH TOPSOIL, COMPOST, OR FERTILIZERS; PROTECT SEEDING AREAS WITH MULCH OR, IF NECESSARY, EROSION CONTROL BLANKETS; AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEEDING OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE. PLANT SURVIVAL IS SPOTTY OR TOPSOIL EROSION IS EVIDENT. ONE OR MORE OF THE FOLLOWING MAY APPLY TO A PARTICULAR SITE.

(g) SEEDING AREAS. FOR SEEDING AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.

(h) SODDED AREAS. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.

(i) PERMANENT MULCH. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.

(j) RIPRAP. FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.

(k) AGRICULTURAL USE. FOR CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL PURPOSES (E.G., PIPELINES ACROSS CROP LAND), PERMANENT STABILIZATION MAY BE ACCOMPLISHED BY RETURNING THE DISTURBED LAND TO AGRICULTURAL USE.

(l) PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.

(m) DITCHES, CHANNELS, AND SWALES. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS CHANNELS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION WITH A WELL-GRADED RIPRAP LINING, TURF REINFORCEMENT MAT, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

7. WINTER CONSTRUCTION. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF DISTURBED AREAS ARE NOT STABILIZED WITH PERMANENT MEASURES BY NOVEMBER 1 OR NEW SOIL DISTURBANCE OCCURS AFTER NOVEMBER 1, BUT BEFORE APRIL 15, THEN THESE AREAS MUST BE PROTECTED AND RUNOFF FROM THEM MUST BE CONTROLLED BY ADDITIONAL MEASURES AND RESTRICTIONS.

(a) SITE STABILIZATION. FOR WINTER STABILIZATION, MULCH IS APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.

(b) SEDIMENT BARRIERS. ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.

(c) DITCH. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE DEPARTMENT.

(d) SLOPES. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

8. STORMWATER CHANNELS, DITCHES, SWALES, AND OTHER OPEN STORMWATER CHANNELS MUST BE DESIGNED, CONSTRUCTED, AND STABILIZED USING MEASURES THAT INCLUDE LONG-TERM EROSION CONTROL. DITCHES, SWALES AND OTHER OPEN STORMWATER CHANNELS MUST BE SIZED TO HANDLE, AT A MINIMUM, THE EXPECTED VOLUME RUN-OFF. EACH CHANNEL SHOULD BE CONSTRUCTED IN SECTIONS SO THAT THE SECTION'S GRADING, SHAPING, AND INSTALLATION OF THE PERMANENT LINING CAN BE COMPLETED THE SAME DAY. IF A CHANNEL'S FINAL GRADING OR LINING INSTALLATION MUST BE DELAYED, THEN DIVERSION BERMS MUST BE USED TO DIVERT STORMWATER AWAY FROM THE CHANNEL. PROPERLY-SPACED CHECK DAMS MUST BE INSTALLED IN THE CHANNEL TO SLOW THE WATER VELOCITY, AND A TEMPORARY LINING INSTALLED ALONG THE CHANNEL TO PREVENT SCOURING. PERMANENT STABILIZATION FOR CHANNELS IS ADDRESSED UNDER APPENDIX A(5)(C) ABOVE.

(a) THE CHANNEL SHOULD RECEIVE ADEQUATE ROUTINE MAINTENANCE TO MAINTAIN CAPACITY AND PREVENT OR CORRECT ANY EROSION OF THE CHANNEL'S BOTTOM OR SIDE SLOPES.

(b) WHEN THE WATERSHED DRAINING TO A DITCH OR SWALE IS LESS THAN 1 ACRE OF TOTAL DRAINAGE AND LESS THAN ¼ ACRE OF IMPERVIOUS AREA, DIVERSION OF RUNOFF TO ADJACENT WOODED OR OTHERWISE VEGETATED BUFFER AREAS IS ENCOURAGED WHERE THE OPPORTUNITY EXISTS.

9. ROADS GRAVEL AND PAVED ROADS MUST BE DESIGNED AND CONSTRUCTED WITH CROWNS OR OTHER MEASURES, SUCH AS WATER BARS, TO ENSURE THE STORMWATER IS DELIVERED IMMEDIATELY TO ADJACENT STABLE DITCHES, VEGETATED BUFFER AREAS, CATCH BASIN INLETS, OR STREET GUTTERS.

10. CULVERTS. CULVERTS MUST BE SIZED TO AVOID UNINTENDED FLOODING OF UPSTREAM AREAS OR FREQUENT OVERTOPPING OF ROADWAYS. CULVERT INLETS MUST BE PROTECTED WITH APPROPRIATE MATERIALS FOR THE EXPECTED ENTRANCE VELOCITY, AND PROTECTION MUST EXTEND AT LEAST AS HIGH AS THE EXPECTED MAXIMUM VELOCITY OR STORAGE BEHIND THE CULVERT. CULVERT OUTLET DESIGN MUST INCORPORATE MEASURES, SUCH AS APRONS, TO PREVENT SCOUR OF THE STREAM CHANNEL. OUTLET PROTECTION MEASURES MUST BE DESIGNED TO STAY WITHIN THE CHANNEL LIMITS. THE DESIGN MUST TAKE ACCOUNT OF TAILWATER DEPTH.

11. PARKING AREAS. PARKING AREAS MUST BE CONSTRUCTED TO ENSURE RUNOFF IS DELIVERED TO ADJACENT SWALES, CATCH BASINS, CURB GUTTERS, OR BUFFER AREAS WITHOUT ERODING AREAS DOWNSLOPE. THE PARABOLIC COMPACTION AND GRADING MUST BE DONE TO ENSURE RUNOFF IS EVENLY DISTRIBUTED TO ADJACENT BUFFERS OR SIDE SLOPES. CATCH BASINS MUST BE LOCATED AND SET TO PROVIDE ENOUGH STORAGE DEPTH AT THE INLET TO ALLOW INFLOW OF PEAK RUNOFF RATES WITHOUT BY-PASS OF RUNOFF TO OTHER AREAS.

B. INSPECTION AND MAINTENANCE

1. DURING CONSTRUCTION. THE FOLLOWING STANDARDS MUST BE MET DURING CONSTRUCTION.

(a) INSPECTION AND CORRECTIVE ACTION. INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION CONTROL MEASURES, MATERIALS STORAGE AREAS THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. INSPECT THESE AREAS AT LEAST ONCE A WEEK AS WELL AS BEFORE AND WITHIN 24 HOURS AFTER A STORM EVENT (RAINFALL), AND PRIOR TO COMPLETING PERMANENT STABILIZATION MEASURES. A PERSON WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL, INCLUDING STANDARDS AND CONDITIONS IN THE PERMIT, SHALL CONDUCT THE INSPECTIONS.

(b) MAINTENANCE. IF BEST MANAGEMENT PRACTICES (BMPs) NEED TO BE REPAIRED, THE REPAIR WORK SHOULD BE INITIATED UPON DISCOVERY OF THE PROBLEM BUT NO LATER THAN THE END OF THE NEXT WORKDAY. IF ADDITIONAL BMPs OR SIGNIFICANT REPAIR OF BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.

(c) DOCUMENTATION. KEEP A LOG (REPORT) SUMMARIZING THE INSPECTIONS AND ANY CORRECTIVE ACTION TAKEN. THE LOG MUST INCLUDE THE NAME(S) AND QUALIFICATION(S) OF THE PERSON MAKING THE INSPECTIONS, THE DATE(S) OF THE INSPECTIONS, AND MAJOR OBSERVATIONS ABOUT THE OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS, MATERIALS STORAGE AREAS, AND VEHICLES ACCESS POINTS TO THE PARCEL. MAJOR OBSERVATIONS MUST INCLUDE BMPs THAT NEED MAINTENANCE, BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED. FOR EACH BMP REQUIRING MAINTENANCE, BMP NEEDING REPLACEMENT, AND LOCATION NEEDING ADDITIONAL BMPs, NOTE IN THE LOG THE CORRECTIVE ACTION TAKEN AND WHEN IT WAS TAKEN.

THE LOG MUST BE MADE ACCESSIBLE TO DEPARTMENT STAFF AND A COPY MUST BE PROVIDED UPON REQUEST. THE PERMITTEE SHALL RETAIN A COPY OF THE LOG FOR A PERIOD OF AT LEAST THREE YEARS FROM THE COMPLETION OF PERMANENT STABILIZATION.

2. POST-CONSTRUCTION. THE FOLLOWING STANDARDS MUST BE MET AFTER CONSTRUCTION.

(a) PLAN. CARRY OUT AN APPROVED INSPECTION AND MAINTENANCE PLAN THAT IS CONSISTENT WITH THE MINIMUM REQUIREMENTS OF THIS SECTION. THE PLAN MUST ADDRESS INSPECTION AND MAINTENANCE OF THE PROJECT'S PERMANENT EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT SYSTEM. THIS PLAN MAY BE COMBINED WITH THE PLAN LISTED IN SECTION 2(A) OF THIS APPENDIX. SEE SECTION 7(C)(2) FOR SUBMISSION REQUIREMENTS.

(b) INSPECTION AND MAINTENANCE. ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. A PERSON WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL, INCLUDING THE STANDARDS AND CONDITIONS IN THE PERMIT, SHALL CONDUCT THE INSPECTIONS. THE FOLLOWING AREAS, FACILITIES, AND MEASURES MUST BE INSPECTED AND IDENTIFIED DEFICIENCIES MUST BE CORRECTED. AREAS, FACILITIES, AND MEASURES OTHER THAN THOSE LISTED BELOW MAY ALSO REQUIRE INSPECTION ON A SPECIFIC SITE. INSPECTION OR MAINTENANCE TASKS OTHER THAN THOSE DISCUSSED BELOW MUST BE INCLUDED IN THE MAINTENANCE PLAN DEVELOPED FOR A SPECIFIC SITE.

(i) INSPECT VEGETATED AREAS, PARTICULARLY SLOPES AND EMBANKMENTS, EARLY IN THE GROWING SEASON OR AFTER HEAVY RAINS TO IDENTIFY ACTIVE OR POTENTIAL EROSION PROBLEMS. REPLANT BARE AREAS OR LAY DOWN COVER OF HEALTHY VEGETATION. WHERE APPROPRIATE, STONE OR THE AREA WITH AN APPROPRIATE LINING OR DIVERT THE EROSION FLOWS TO ON-SITE AREAS ABLE TO WITHSTAND THE CONCENTRATED FLOWS. SEE PERMANENT STABILIZATION STANDARDS IN APPENDIX A(5).

(ii) INSPECT DITCHES, SWALES AND OTHER OPEN STORMWATER CHANNELS IN THE SPRING, IN LATE FALL, AND AFTER HEAVY RAINS TO REMOVE ANY OBSTRUCTIONS TO FLOW, REMOVE ACCUMULATED SEDIMENTS AND DEBRIS, TO CONTROL VEGETATED GROWTH THAT COULD OBSTRUCT FLOW, AND TO REPAIR ANY EROSION OF THE DITCH LINING. VEGETATED DITCHES MUST BE MOWED AT LEAST ANNUALLY OR OTHERWISE MAINTAINED TO CONTROL THE GROWTH OF WOODY VEGETATION AND MAINTAIN FLOW CAPACITY. ANY WOODY VEGETATION GROWING THROUGH RIPRAP LININGS MUST ALSO BE REMOVED. REPAIR ANY SLUMPING SIDE SLOPES AS SOON AS PRACTICABLE. IF THE DITCH HAS A RIPRAP LINING, REPLACE RIPRAP ON AREAS WHERE ANY UNDERLYING FILTER FABRIC OR UNDERDRAIN GRAVEL IS SHOWING THROUGH THE STONE OR WHERE STONES HAVE DISLODGED. THE CHANNEL MUST RECEIVE ADEQUATE ROUTINE MAINTENANCE TO MAINTAIN CAPACITY AND PREVENT OR CORRECT ANY EROSION OF THE CHANNEL'S BOTTOM OR SIDESLOPES.

(iii) INSPECT CULVERTS IN THE SPRING, IN LATE FALL, AND AFTER HEAVY RAINS TO REMOVE ANY OBSTRUCTIONS TO FLOW, REMOVE ACCUMULATED SEDIMENTS AND DEBRIS AT THE INLET, AT THE OUTLET, AND WITHIN THE CONDUIT; AND TO REPAIR ANY EROSION DAMAGE AT THE CULVERT'S INLET AND OUTLET.

(iv) INSPECT AND CLEAN OUT CATCH BASINS. CLEAN-OUT MUST INCLUDE THE REMOVAL AND LEGAL DISPOSAL OF ANY ACCUMULATED SEDIMENTS AND DEBRIS AT THE BOTTOM OF THE BASIN, AT ANY INLET GRATES, AT ANY INFLOW CHANNELS TO THE BASIN, AND AT ANY PIPES BETWEEN BASINS. IF THE BASIN OUTLET IS DESIGNED TO TRAP FLOATING MATERIALS, THEN REMOVE THE FLOATING DEBRIS AND ANY FLOATING OILS (USING OIL-ABSORPTIVE PADS).

(v) INSPECT RESOURCE AND TREATMENT BUFFERS ONCE A YEAR FOR EVIDENCE OF EROSION, CONCENTRATING FLOW, AND ENCRUSTATION BY DEVELOPMENT. IF FLOWS ARE CONCENTRATING WITHIN A BUFFER, SITE GRADING, LEVEL SPREADERS, OR DITCH TURN-OUTS MUST BE USED TO ENSURE A MORE EVEN DISTRIBUTION OF FLOW INTO A BUFFER. CHECK DOWN SLOPE OF ALL SPREADERS AND TURN-OUTS FOR EROSION. IF EROSION IS PRESENT, ADJUST OR MODIFY THE SPREADER'S OR TURN-OUT'S LIP TO ENSURE A BETTER DISTRIBUTION OF FLOW INTO A BUFFER. CLEAN-OUT ANY ACCUMULATION OF SEDIMENT WITHIN THE SPREADER BAYS OR TURN-OUT POOLS.

(vi) INSPECT AT LEAST ONCE PER YEAR, EACH STORMWATER MANAGEMENT POND OR BASIN, INCLUDING THE POND'S EMBANKMENTS, OUTLET STRUCTURE, AND EMERGENCY SPILLWAY. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENTS IN THE POND. CONTROL WOODY VEGETATION ON THE POND'S EMBANKMENTS.

(vii) INSPECT AT LEAST ONE PER YEAR, EACH UNDERDRAINED FILTER, INCLUDING THE FILTER EMBANKMENTS, VEGETATION, UNDERDRAIN PIPING, AND OVERFLOW SPILLWAY. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENTS IN THE FILTER. IF NEEDED, REHABILITATE ANY CLOGGED SURFACE LININGS, AND FLUSH UNDERDRAIN PIPING.

(viii) INSPECT EACH MANUFACTURED SYSTEM INSTALLED ON THE SITE, INCLUDING THE SYSTEM'S INLET, TREATMENT CHAMBER(S), AND OUTLET AT LEAST ONCE PER YEAR, OR IN ACCORDANCE WITH THE MAINTENANCE GUIDELINES RECOMMENDED BY THE MANUFACTURER BASED ON THE ESTIMATED RUNOFF AND POLLUTANT LOAD EXPECTED TO THE SYSTEM FROM THE PROJECT. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENTS, DEBRIS, AND CONTAMINATED WATERS FROM THE SYSTEM AND, IF APPLICABLE, REMOVE AND REPLACE ANY CLOGGED OR SPENT FILTER MEDIA.

(c) REGULAR MAINTENANCE

(i) CLEAR ACCUMULATIONS OF WINTER SAND IN PARKING LOTS AND ALONG ROADWAYS AT LEAST ONCE A YEAR. PREFERABLY IN THE SPRING. ACCUMULATIONS ON PAVEMENT MAY BE REMOVED BY PAVEMENT SWEEPING. ACCUMULATIONS OF SAND ALONG ROAD SHOULDERS MAY BE REMOVED BY GRADING EXCESS SAND TO THE PAVEMENT EDGE AND REMOVING IT MANUALLY OR BY A FRONT-END LOADER. GRADING OF GRAVEL ROADS, OR GRADING OF THE GRAVEL SHOULDERS OF GRAVEL OR PAVED ROADS, MUST BE ROUTINELY PERFORMED TO ENSURE THAT STORMWATER DRAINS IMMEDIATELY OFF THE ROAD SURFACE TO ADJACENT WOODED AREAS OR STABLE DITCHES, AND IS NOT IMPEDED BY ACCUMULATIONS OF GRADED MATERIAL ON THE ROAD SHOULDER OR BY EXCAVATION OF FALSE DITCHES IN THE SHOULDER. IF WATER BARS OR OPEN-TOP CULVERTS ARE USED TO DIVERT RUNOFF FROM ROAD SURFACES, CLEAN-OUT ANY SEDIMENTS WITHIN OR AT THE OUTLET OF THESE STRUCTURES TO RESTORE THEIR FUNCTION.

(ii) MANAGE EACH BUFFER'S VEGETATION CONSISTENTLY WITH THE REQUIREMENTS IN ANY DEED RESTRICTIONS FOR THE BUFFER. WOODED BUFFERS MUST REMAIN FULLY WOODED AND HAVE NO DISTURBANCE TO THE DUFF LAYER. VEGETATION IN NON-WOODED BUFFERS MAY NOT BE CUT MORE THAN THREE TIMES PER YEAR, AND MAY NOT BE CUT SHORTER THAN SIX INCHES.

(d) DOCUMENTATION. KEEP A LOG (REPORT) SUMMARIZING INSPECTIONS, MAINTENANCE, AND ANY CORRECTIVE ACTIONS TAKEN. THE LOG MUST INCLUDE THE DATE ON WHICH EACH INSPECTION OR MAINTENANCE TASK WAS PERFORMED, A DESCRIPTION OF THE INSPECTION FINDINGS OR MAINTENANCE COMPLETED, AND THE NAME OF THE INSPECTOR OR MAINTENANCE PERSONNEL PERFORMING THE TASK. IF A MAINTENANCE TASK REQUIRES THE CLEAN-OUT OF ANY SEDIMENTS OR DEBRIS, INDICATE WHERE THE SEDIMENT AND DEBRIS WAS COLLECTED. AFTER REMOVAL, THE LOG MUST BE MADE ACCESSIBLE TO DEPARTMENT STAFF AND A COPY PROVIDED TO THE DEPARTMENT UPON REQUEST. THE PERMITTEE SHALL RETAIN A COPY OF THE LOG FOR A PERIOD OF AT LEAST FIVE YEARS FROM THE COMPLETION OF PERMANENT STABILIZATION.

C. HOUSEKEEPING

THESE PERFORMANCE STANDARDS APPLY TO ALL PROJECTS EXCEPT FOR STORMWATER PBR PROJECTS.

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

NOTE: ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-482-0777 WHICH IS AVAILABLE 24 HOURS A DAY. FOR SPILLS OF TOXIC OR HAZARDOUS MATERIAL, CALL 1-800-452-6446 WHICH IS AVAILABLE 24 HOURS A DAY. FOR MORE INFORMATION, VISIT THE DEPARTMENT'S WEBSITE AT: [HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGSPILLSRESP/](http://www.maine.gov/dep/spills/emergspillsresp/)

2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSED TO STORE OR HANDLE MATERIALS MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

NOTE: LACK OF APPROPRIATE POLLUTANT REMOVAL BEST MANAGEMENT PRACTICES (BMPs) MAY RESULT IN VIOLATIONS OF THE GROUNDWATER QUALITY STANDARD ESTABLISHED BY 38 M.R.S.A. §465-C(1).

3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. DUST CONTROL MEASURES MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OBTAINING FUGITIVE DUST PROBLEMS, THAT REQUIRE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

NOTE: DEWATERING A STREAM WITHOUT A PERMIT FROM THE DEPARTMENT MAY VIOLATE STATE WATER QUALITY STANDARDS AND THE NATURAL RESOURCES PROTECTION ACT.

4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND DRAINING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

NOTE: TO PREVENT THESE MATERIALS FROM BECOMING A SOURCE OF POLLUTANTS, CONSTRUCTION AND POST-CONSTRUCTION ACTIVITIES RELATED TO A PROJECT MAY BE REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF RULES RELATED TO SOLID, UNIVERSAL, AND HAZARDOUS WASTE, INCLUDING, BUT NOT LIMITED TO, THE MAINE SOLID WASTE AND HAZARDOUS WASTE MANAGEMENT RULES; MAINE HAZARDOUS WASTE MANAGEMENT RULES; MAINE OIL CONVEYANCE AND STORAGE RULES; AND MAINE PESTICIDE REQUIREMENTS.

5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

NOTE: DEWATERING CONTROLS ARE DISCUSSED IN THE "MAINE EROSION AND SEDIMENT CONTROL BMPs, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION."

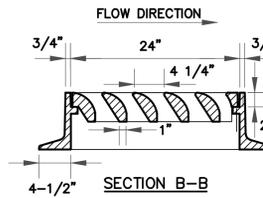
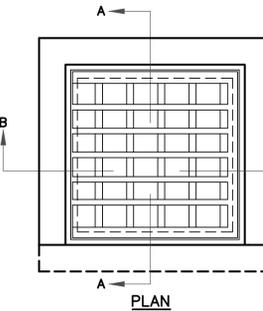
6. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES, WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST. THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- (a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
- (b) FIRE HYDRANT FLUSHINGS;
- (c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- (d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
- (e) ROUTINE EXTERNAL BUILDING WASH-DOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
- (f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
- (g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- (h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
- (i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- (j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX (C)(5));
- (k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- (l) LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX (C) (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

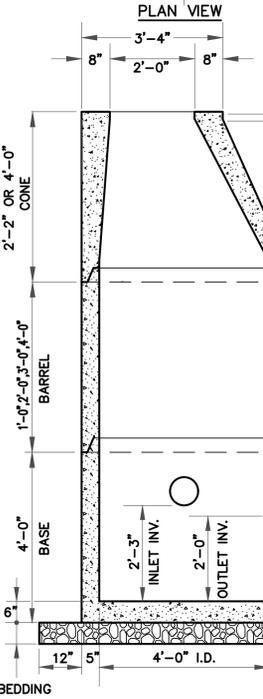
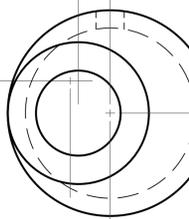
- (a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- (b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- (c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- (d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

8. ADDITIONAL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY BE APPLIED ON A SITE-SPECIFIC BASIS.



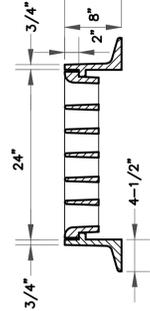
CATCH BASIN FRAME WITH CASCADE TYPE GRATE

NOT TO SCALE



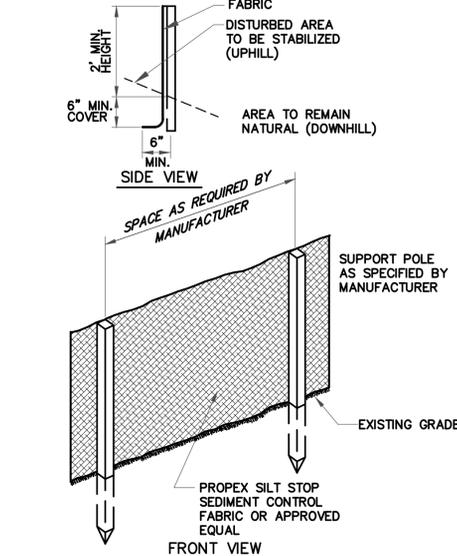
CATCH BASIN - ECCENTRIC

NOT TO SCALE



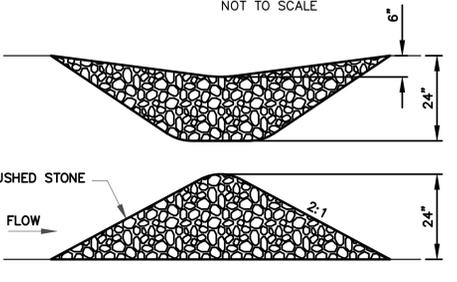
NOTES:

1. THE GRATE IS ONLY SHOWN SCHEMATICALLY.
2. A THREE FLANGE FRAME IS TO BE USED WHEN A CURB INLET IS REQUIRED.
3. THE GRATE AS SHOWN IS FOR WATER COMING FROM THE LEFT. TURN THE GRATE 180° FOR A WATER FLOW FROM THE RIGHT.



SILT FENCE DETAIL

NOT TO SCALE

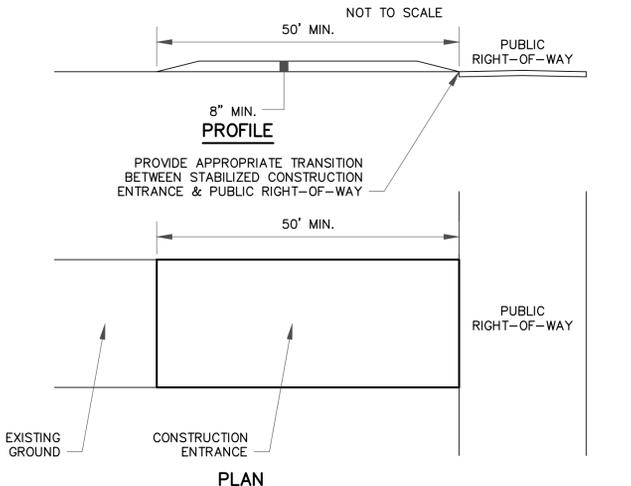


STONE CHECK DAM

NOT TO SCALE

NOTES:

1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
2. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
5. EACH SECTION TO BE LABELED AS NOTED.
6. PIPE OPENINGS CAST IN AS REQUIRED.



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE -- AASHTO DESIGNATION M 43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
2. LENGTH -- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS -- NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH -- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING -- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE -- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION ENTRANCE

NOT TO SCALE

DESIGNED BY:	RLP				
DRAWN BY:	DB				
CHECKED BY:					



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
85 UNION STREET
BRUNSWICK, ME 04011

ANNA BREINICH, FAICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

MEMORANDUM

TO: Planning Board
FROM: Anna Breinich, FAICP
DATE: September 9, 2016
RE: Sketch Plan Review of Maine Street Station Apartments, Case #16-019

PROJECT SUMMARY

Staff has reviewed the Sketch Plan application and determined that it is complete.

The proposed Sketch Plan Major Development Review application, Maine Street Station Apartments, was submitted by authorized representatives, Sitelines, P.A. on behalf of Noble Street LLC, a limited liability company of JHR Development. As submitted, the application request is to develop two (2), 3-story apartment buildings each with 12 units for lease at 16 Noble Street, Lot 5 of the 2008-approved Maine Street Station development, now known as Brunswick Station. The approved plan as amended in 2009 and the original Findings of Fact/Conditions of Approval are attached. The project is located within the **Town Center 1 (TC1) Zoning District, (Map U16, Lot 105)**.

The original approval of the mixed-use development, Lot 5, proposed one 31,300 square foot two-story building with underground parking (16 spaces) to house mixed retail and 16 residential condominiums. The developer is now proposing two 3-story structures, totaling 22,469 square feet, for 24 rental apartments and 22 on-site surface parking spaces. As proposed, the development satisfies use and dimensional standards as required for the Town Center 1 Zoning District.

STAFF REVIEW COMMENTS

The Staff Review Committee (SRC) reviewed the Sketch Plan application on August 31, 2016, meeting summary attached. Key areas to be addressed by the developer during the preparation of the Final Plan are as follows:

- 1. Parking:** The original 16 residential condominium units were approved with 16 dedicated parking spaces (one parking space per unit) with additional parking available per the shared parking arrangement. It is highly likely that this same scenario, one reserved parking space per

unit with overflow using the existing shared parking of the Maine Street Station development is workable, further supported by the results of the recently Town-completed parking audit, attached. Staff recommends the applicant secure an additional two parking spaces off-site for reserved use and address residential parking standards contained in Section 512.1. This Zoning Ordinance provision provides for parking reductions if part of a mixed use development or shared parking arrangement, or for single-bedroom dwelling units. Additional reserved parking spaces may also be needed to address staff comments relative to internal circulation and proximity of parking spaces to the proposed structures.

2. Infrastructure and Related Easements: The originally approved plan dedicated to the Town a ten (10') foot pedestrian and storm drain maintenance easement along the west side of the lot which is not shown on the sketch plan. As the building design has significantly changed, the applicant shall work with the Town Engineer to either relocate the proposed structures to accommodate the existing easement or determine an acceptable alternative.

The proposed locations for on-site lighting need to be relocated out of the public right-of-way.

The locating of ground-mounted condensing units over the existing subsurface stormwater treatment area will need to be further reviewed by the Town Engineer as to any potential operational impact and be adjusted as needed.

3. Recreation Impact Fees: As originally approved in 2008, it was determined by the Recreation Commission that a recreation impact fee was not warranted based on the type and value of the public improvements for open space or recreational land. The Planning Board concurred with their determination (see attached 2008 Findings of Fact). A new determination by the Recreation Commission may be needed to consider the increased number of units (8).

4. Buffering of Ground-Mounted Condensing Units: The proposed location for the ground-mounted condensing units is adjacent to existing Noble Street residences. Visual and noise buffering is recommended.

A Sketch Plan of the proposed development prepared by Sitelines, P.A., as well as architectural drawings and renderings prepared by Ryan Senatore Architecture, are attached.

**DRAFT MOTIONS
SKETCH PLAN MAJOR DEVELOPMENT REVIEW – MAINE STREET STATION
APARTMENTS
CASE # 16-042**

Motion 1. That the Board deems the Sketch Plan to be complete.

Motion 2. That the Board approves the Sketch Plan.

August 31, 2016

STAFF REVIEW COMMITTEE NOTES

Staff present:

John Foster (Public Works Director/Town Engineer), Rob Pontau, (Brunswick Sewer District), Fred Douglas (Water District), T. C. Schofield, (Water District), Clinton Swett (Assistant Assessor), Jeff Hutchinson (CEO), Jeff Emerson (Deputy Chief), Linda Smith (Business Development Director), **Non-voting staff:** Jared Woolston (Planner), **Applicants Present:** Norm Chamberlain (Walsh Engineering), Robert Prue (Pine Tree Engineering), Michael Pinkham (Mid Coast Health Services), Curt Neufeld (Sitelines, PA) Public present: Yes

1. **Case #16-041 - 12 Bunganuc Landing Road Shoreline Stabilization:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a combination **Sketch/Final Plan Major Development Review** application submitted by authorized representatives from Walsh Engineering for Benjamin Carey's shoreline stabilization activity that results in excess of 100 cubic yards of filling and earthmoving on a mapped highly unstable bluff, and the 100-year floodplain adjacent to tidal waters (coastal wetlands) as designated on the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps within the **Natural Resource Protection Zone (NRPZ)**. The project is located in the **Coastal Protection Zone (CP1) Zoning District, (Map 29, Lot 35)**.

Norm Chamberlain (Walsh Engineering):

- This is a 40-foot high clay bluff that they've been studying for a little over a year, as there has been a history of slides in the area, and they were getting aggressively closer to the house. There was a significant failure in March of this year, in which half of the front yard was lost. They have plans to stabilize the embankment, along with a geotechnical engineer's recommendation of no greater than a 4:1 slope. They are planning a revetment wall at the bottom and a revegetation plan. They have submitted to DEP for the NRPA permit and are copying the U. S. Army Corps of Engineers on that. This project has significant impact to the wetlands – there is 3,500 sq. ft. of mudflat below the highest annual tide (HAT). A complicating factor is that when these lots were created there was a Conservation Easement that went up to elevation 10, and elevation 10 has moved over the last 20-30 years. They appeared before the Conservation Commission, and they have recommended to Council that they allow work within the Conservation Easement (CE). A big concern is working with the soft clays below the water table.

Jared Woolston:

- Jared drafted a letter for the Conservation Commission that has gone to Council, but Council has not yet provided approval to start

John Foster:

- No questions.

Jeff Emerson:

- No questions.

Linda Smith:

- No questions.

Jared Woolston:

- The town's scope of review is primarily focused on the shoreland zone (Natural Resource Protection Zone). In terms of development review, natural resource impacts may fall under

preservation of natural areas to some extent but the DEP and Army Corps reviews that are required will be primarily focused on direct resource impacts. The total square footage proposed in coastal wetlands is a concern. Why is that necessary and why couldn't it be shored up at the toe of slope a little better?

- Norm: Can't dig there (toe of slope) because it will destabilize the entire embankment. They had to build it out far enough that they could basically build a road there and then they can bring in some fill. They'd like to try and hold this line here, so they'll need to bring in some fill, and cut the slope, and use that to fill in behind the wall to create a 4:1 slope. You can't really work that clay at all. The high tide comes into the base and eats away at the clay, causing the slope to get up to 2:1/3:1 and it comes down.

Jared Woolston:

- Construction sequence?
 - Norm: Explained the geotechnical recommendations from Summit Geoenvironmental Services for slope stability, riprap reinforcement and pile reinforcement. The plan is to do this in the winter while there is less water moving around and the ground is frozen.

Jared Woolston:

- These underdrain ditches are about 10-feet wide each. If collecting the groundwater up in here (top of slope), why can't you just pipe water (to bottom of slope)? Are you trying to influence the groundwater there as well?
 - Norm: It's to provide access, for one thing. This underdrain here is at that layer between the stiff clay and the soft clay, so it will pick up the water and get it down to the bottom of the hill, and we wanted to get it down in 2 (two) spots. We originally had 4 (four), but have scaled that back.
- The underdrain through here (10-foot ditches) – is that perforated pipe?
 - Norm: That doesn't need to be perforated. These are kind of designed as channels – they're shallow but get the water down to the bottom of the hill.
- In terms of final product and access, what we usually look for is a meandering path, not two (2) 10-foot riprap ditches.
 - Norm: We want to get the water down to the bottom safely.
- Is there any way of making those vegetated underdrains by putting geotech fabric and then filling over and grassing in?
 - Norm: We can look at that.
 - Concerned that it will look like two (2) small roads coming down the hill when it's done, and if access is proposed, a pathway or alternative access should probably be shown on the plan.
 - Norm: Client was talking about possibly building a staircase across one of the drains
 - Jared: Then that needs to be shown on the plan. I see two (2) straight access paths to the mudflat which runs afoul with shoreland zoning. One point of access is allowed, and can be a 6-foot wide meandering path - it could be stairs – but not two (2) access paths. That is the reason for asking about the function of the underdrains. If you need them for groundwater and surface water, and you need it to be a ditch, can you minimize the

dimensions – does it really have to be that big – and if it has to be that big, can you make it grassed underdrain?

- Norm: We can talk about that with Geotech and see if we can come up with a plan.
- Planting plan – The town has some discretion to allow clearing, if necessary, but the rule of thumb is to replace what was lost.
 - Norm: We are planning two (2) for one (1). What's on here now is scrub. There's nothing big at all on the slope. In response to Jared's question about looking for saplings, he said they don't have time to get very big because of the (soil) movement. If you look at the photos of the slope, it's all shrubs.
- Called Shoreland Zoning DEP staff and asked what they usually look for in replanting plans for permitted use activities (shoreline stabilization) because ultimately, the town can't be less restrictive than the state guidelines. DEP indicated even the saplings would be a 1:1 replacement, and if you can't get trees on the slope because of instability, then they need to be someplace that the Geotech is more comfortable with – maybe at the top of the bluff.
 - Norm: Their expectation is that this will grow back like it is now. They are planting the shrubs, trees and other plantings along this area in the stiffer clay.

Jeff Hutchinson:

- Why are the plants in isolated clumps? Why aren't they more spread out?
 - Norm: We can disperse them
- That's what the shoreland zoning guidelines are looking for, rather than just highlighting different clumps
- Are we losing all those trees up here?
 - Norm: Yes, all those with an "X" are being taken
- What will these be replaced with?
 - Norm: We're looking to put all the trees down at the bottom. There are quite a few that will remain at the top. We just don't want to plant any more in there because of the danger of pulling the banking down.

Jared Woolston:

- One oak and 3 hawthorns going in, but some of the trees being cut are over 12". DEP advised that they usually look for trees that are over 12" to be replaced at 2:1
 - Norm: That was the plan. He didn't realize shadblows were shrubs. He will verify that trees are 2:1
 - Jeff H.: They should be native plants
 - Jeff H.: You'll need a minor flood hazard permit that you can apply for anytime. Please explain the effective flood zone and the preliminary flood zone.
 - Norm: The effective is what FEMA has mapped. The preliminary has not been approved for Brunswick yet. They like to know where it is and adjust the top of their wall based on that.
 - Jeff H.: Through the redevelopment of the bank, will the effective floodplain move?
 - Norm: Yes, it will, as far as FEMA's concerned. This is a B zone – they didn't feel the waves would get as high as FEMA said they would – it's just a few feet deep at high tide.
 - Jeff H.: he would just show the effective floodzone, not the preliminary, because it's still a year or so out and it will just confuse matters

Jared Woolston:

- Asked to quantify how much filling and earthmoving is proposed, and asked if they had looked at trying to control sediment that washed out (recent slope failure) with coir logs between marsh grass to reestablish and increase vegetation buffer.
 - Norm: Their environmental scientist said that the existing vegetation is not eel grass. When they met with DEP, there was some talk of the mud budget, and they were looking at this (slope failure) to supply that, but his experience has been that once the wall is in, we start to get eel grass coming back up to the base of the wall.
- Spartina fragments are shown on the plan and is pretty good buffer and pretty decent habitat,
 - Norm: It's below the tide, so what would the coir log do?
- The marsh plants are growing at a little bit higher elevation in the mud. The logs may control sediment and encourage new marsh growth by keeping sediments from the slope failure near shore

Jeff Hutchinson:

- The shoreline setback in Brunswick along the shore is actually 125, not 75.

Jared Woolston:

- This area that you are going to loam in at the top of the bluff -- is it going to be left alone or is your client going to maintain it as lawn area?
 - Norm: Below this line will be slope, so we're going to plant what we can on there and seed it with an erosion control mix, and then it will go wild
- Can you denote that on the plan in case it comes up again?
 - Norm: Yes, we can denote existing and proposed, then lawn
- Are these underdrains going to discharge right to the back of the rock?
 - They're going to discharge into the rock to get the water off the embankment
- This will be reviewed by a third party engineer.
- Need to get the counts right for the 1:1 for the sapling size (4 ½' tall, 2") if it hasn't yet been surveyed. Trees 12" or bigger is 2:1 replacement.
 - Norm: They will look at the embankment and make sure they have everything 2". They only reviewed >4" previously.

2. **Case #16-022 - Mid-Coast Health Services Final Plan:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a **Final Plan Major Development Review** application submitted by authorized representatives from Pine Tree Engineering for Mid-Coast Health Services to construct three (3) new parking areas containing one hundred fifteen (115) new parking spaces. The site is located at 123 Medical Center Drive within the **CC (Cooks Corner Center) Zoning District, the Medical Use Overlay Zone (MUZ)**. The parcel contains the **Natural Resource Protection Zone (NRPZ)**, and **Rural Brunswick Smart Growth Overlay District - Wildlife Habitat Block, (Map 45, Lot 32)**.

Robert Prue (Pine Tree Engineering):

- Three areas of expanded parking at Mid Coast Hospital, two of which are located at the Medical Center office building at 81 Medical Center Drive. An issue that came up at sketch plan was the need to stay out of the NRPZ 75 feet, so we've put a small retaining wall in the corner to reduce our fill extension into that zone. The purpose of the project is to provide more parking in order to move the employees away from the hospital parking. Employees

are encouraged to park away from the buildings, but there is a shortage of parking. There are no other future building plans.

- They have filed the stormwater permit application with DEP, and it is being drafted currently.
- Lighting and landscaping are following the same theme as what's there now

John Foster:

- No questions

Rob Pontau:

- No questions

Jeff Hutchinson:

- Are we concerned about having no lighting plan? It's not near neighbors.
 - Rob: Same fixtures as are there currently
- How high are the light poles?
 - Rob: 25' – same as the others

Jared Woolston:

- You're treating all the stormwater on site – no impact to the town's facility
 - Rob – correct
- Will the stormwater permit go through basic and general standards?
 - Rob: Both
 - Jared: the issues they raised about volume of water?
 - Rob: mostly notes on the plans – they have 2 (two) underdrain soil filters – will be grassed in when they're done
- Landscaping proposed?
 - Rob: Landscaping in the islands similar to what is there now

Jeff Hutchinson:

- The width of the spaces?
 - Rob: 9' wide – they will add to the plan
- For ADA compliance, how many total spaces in the medical office? Existing and proposed – they need to know exactly. If you have less than 200, 6 will be fine. If you have over 200, you will need 1 other handicap spot.
 - Rob: Looks like they're in the 190's, but they will check on that

Jared Woolston:

- Is Medical Center Drive public or private?
 - John F.: Private

Linda Smith:

- No questions

Public Comment:

Jim Crary, 4 Cranberry Road:

- Fixtures in the existing lot are hooded, with not a lot of light going up. He was hoping that the new parking lot could have the same fixtures?
 - Rob: Yes, they will be the same
 - Jeff H.: Our ordinance requires cut-off luminaire which prevents skyward light
- He gets several drivers a day going fast down Cranberry, then get to the end and discover it's a blocked-off emergency entrance, so they need to back up in his driveway and go back down. He's not sure if there's any way of resolving that.
 - Michael: should it have a dead end? He'll defer to John Foster.

- Rob: It's a gravel road coming off Adams Road. It is gated as emergency access. It was installed when the project was approved in case a tree came down.
- An idea is to have one of those hinged signs that says dead end, but can be opened up for emergency purposes to say hospital entrance.
 - Jeff H.: Is that a private drive, John?
 - John F.: Yes
 - Jeff H.: Could they install their own sign?
 - John F.: Absolutely
 - Jeff H.: Work with Mid Coast
 - Rob: Probably just a dead end sign would do

3. **Case #16-019 - Maine Street Station Apartments:** The Staff Review Committee (SRC) will review and provide a recommendation to the Planning Board on a **Sketch Plan Major Development Review** request submitted by authorized representatives from Sitelines, P.A. for Noble Street LLC to develop two (2), 3-story apartment buildings each with 12-units for lease at 16 Noble Street as part of the development of Maine Street Station (building Lot 5). The project is located within the **Town Center 1 (TC1) Zoning District, (Map U16, Lot 105)**.

Curt Neufeld (Sitelines, PA):

- Sitelines, on behalf of Noble Street LLC, has looked at a number of opportunities for this lot in the last 6-8 years, usually proposed as a combination of residential and commercial uses. They are now proposing two separate buildings, one with an entrance from Noble, the other with an entrances from Station Avenue. The original plan had some under the building parking, but now plans show an open parking lot on the west side with 22 spaces on the parcel. It would drain to the low end, where we would have a rain garden and/or high rate infiltration media bed to provide the water quality treatment from that parking area. The roof areas would be collected via gutters and conveyed either to a drip edge BMP adjacent to the building, similar to what is being used in the other buildings, and/or a centralized area between the buildings. They will provide all the details for final plan. The developer is still in conversations with the town about how much shared parking there would be. His attempt would be to provide 1 (one) parking space per bedroom, and in order to accomplish that he's proposing that parking on the town land be reworked to relocate the ADA spaces, which creates 10 (ten) spaces. His request would be to get 6 (six) reserved spaces in the corner against Noble Street. This is a negotiation with the town, with some prior agreements that may need to be modified, and they are currently meeting with the Town Manager and Planning staff. The town did bring up the fact of an access easement for pedestrians and utilities on this border, and there is an access easement to maintain some stormwater BMP's at the back side of the park. The utility easement is easy to accomplish; it's underneath the parking lot, and that's not uncommon. What they propose for the pedestrian easement, and will provide in a new narrative, is that the existing bituminous walk would be constructed at the developer's cost out to Noble Street, and let it run on this side and continue to be a 5-foot wide sidewalk. They would like to work with the Public Works Director to come up with a solution to provide access over here to these storm treats over the park. He has 2 (two) poles on town property; clearly that was a mistake. They will be relocated inside the parking lot of the developer.

Jared Woolston:

- The 10-foot easement?

- Curt: There's a storm drain easement that ran all the way across here. That was redirected when it was connected to provide a 15-foot wide total easement. There's 10 of it on Lot 5 and 5 feet on this parcel, for a total of 15 feet. There is 5 feet of pedestrian easement that was proposed on this side line to provide that access. When the Town Manager brought this up, he looked through some of the earlier drafts, and it looked like there was a 10-foot wide walk proposed out here as the pedestrian gateway. If the developer could construct and continue the 5 foot sidewalk instead of a 10 foot, it would allow for the parking and building arrangements they have to remain in place.
- John F.: It's putting the 5 feet on the town property versus their own property – it's what an easement is. Basically, he's extinguishing the pedestrian easement.
- Curt: That would be the request. We'd also like to extinguish this easement and determine what sort of access would be acceptable to Public Works to get over there. John, does Public Works maintain the storm treats or do you hire that?
 - John F.: Will check the records and get back to him. They're supposed to be cleaned. He talked to someone JHR was contracting to service them. There's also a whole series of infiltrators.
- Curt: Talked to a service company. They can go up to 200 feet with an extra truck and additional hose. They are trying to get the best use of the property and there is a demand for downtown living, which includes parking. With all the options they have looked at, they lost sight of the easements. The water stub is already in place off of Station Avenue.

John Foster:

- There's only access from Noble Street?
 - Curt: That's correct
- You are proposing parking right against your wood frame building with no protection? It's a very narrow parking lot when you've got an obstruction on one side, then the vehicles are going to overhang the sidewalk on the other side. Normally a 60-foot lot is great when the vehicles have nothing to prevent them from overhanging the edge of the space, but when you're parking at the building people are going to be shy 2-3 feet. It's going to be very tight. You've left no room for the last stall – there's no back out area. Now you're going to have to add your light structures into the parking lot.
 - Curt: They can be placed in between the stalls
 - John F.: They're going to be into the parking lot
- There's no room for snow storage. You're trying to get some of the Bowdoin spaces?
 - Curt: Correct
 - Jeff H.: Those corners are where the snow storage is until removed by Public Works. He agrees with John – it's really, really tight.

Jeff Hutchinson:

- What happened to the old parking scenario, underneath the building?
 - JHR: from a feasibility standpoint, it was not practical
- Feasibility or financial standpoint?
 - JHR: both

- Curt: They looked at a couple different options for the access in and out, including one that would take access off of this parking lot so you could try to flow through. If you think it was tight with an open space environment, try it with building columns and walls. You run out of room fast, trying to get a meaningful number of parking, so in order to make the most fiscal sense of that, you want to get as many units as you can. If you had 8 units and 8 parking spaces underneath, there's no way those numbers work.
- Certainly parking is premium in that whole development.
 - John F.: After you get that transformer in and your condensing units, how are you going to get to them?
 - Jeff H.: Not only that, but what about noise control?
 - JHR: They're residential grade, so they're not like big package roof top units
- Now experiencing complaints on the residential units on noise, so be aware of that
 - JHR: Might need fencing/screening
- If you've got over 26 parking spaces you'll need 2 accessibility spots instead of one
 - JHR: There are only 22 spaces
 - Curt: Might be more with the shared ones
- Technically, the ordinance requires 36 total spaces – one each for a one bedroom and 2 each for each 2-bedroom. What concerns me is even with your single bedroom apartments, you've got a couple that live there, and they each have a car. You have 22 here and you're trying to get 16 over on the town property, so that would put you at almost 40 spaces.
 - In the conversations they've been having with other constituents, such as Bowdoin, there's some desire for Bowdoin employees to utilize these apartments, whether they're one or two year professors or post grads, so there will be some synergy there.
- Landscaping planned, although this is just sketch. Not sure where they can put it.
 - Curt: Yes

John Foster:

- To verify – the existing sidewalk over here would be taken away?
 - Curt: No, it would go under – this drip edge would have to be installed and then the sidewalk go back over it
- So you're going to have a public sidewalk go by everyone's window within 6 inches?
 - Curt: The sidewalk's always been there. If you move the building back 3 feet, does it make a difference?
- It was going to be retail stores and parking on the original site plans, and the 16 units were above that level
 - Curt: the first floor units on Noble Street and Station Avenue are on the sidewalk level too
- Are there any building code setbacks, Jeff, for a building from a property line?
 - Jeff H.: for construction purposes, when you build that close you'll have to fire rate that wall – the closer you get to the property line, the more fire rated you would need. The building code does allow right up to the property line, but then you would have very few windows, if any windows at all, because it's going to have to be all fire rated.
- How about parking a car against the wall – is there no setback for cars?

- Jeff H.: There are no setbacks at all in TC-1. He's not sure if the building code has anything, but common sense says you certainly you have to have some bollards or something. He will check. Possibly even limit that row of parking to compact vehicles or ultra-compact vehicles. There's still the concern about the last 2 stalls.
- John F.: At the end is a disabled parking space
- John F.: CMP owns the transformer – they need access to it.
 - JHR: They are having conversations
- Curt: Got the note about transformer unit access – in the mechanical room between the 2 buildings, so it will be indoor

Rob Pontau:

- What is the existing building there now?
 - Single family frame - three (3) units
- Per unit impact fee applies
- Sewer will have capacity where proposed
 - Manhole is recommended but not required

John Foster

- Solid waste impact fee applies

Fred Douglas

- two (2) buildings need two separate water shutoffs at the edge of the ROW

Jeff Hutchinson – all contingent on lease agreements and parking

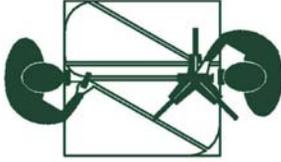
- Need additional spaces for the proposed units
- Bowdoin College may have the spaces
- Discussions with John Eldridge indicate town spaces would have time constraints
- Downtown areas have no max on

Jared Woolston – Recreation Impact fee applies per Tom Farrell

- Revise table on plan to indicate the actual number of required and proposed parking spaces

Public

- Marilyn Nelman – 9 Noble Street
 - Lilac bush may die during construction and that is objectionable
 - Prefer residences over commercial development
 - Traffic is a big deal on Noble Street
 - Lots of kids in neighborhood and do not want kids to get hurt by cars
 - Consider assisted living apartments to reduce car use
 - If parking is limited for apartments it will force parking onto Noble Street
 - Need room for people to make driving mistakes and avoid buildings
- Clara Howell letter – 9 Noble Street
 - Letter part of packet – construction traffic; and existing/proposed green space primary concerns



August 23, 2016

1646.01

Mr. Jared Woolston, Town Planner
Town of Brunswick
28 Federal Street
Brunswick, Maine 04011

Re: Sketch Plan Application
NOBLE STREET APARTMENTS
16 NOBLE STREET
Tax Map U16, Lots 105

Dear Jared:

On behalf of *NOBLE STREET LLC*, Sitelines, PA is pleased to submit the enclosed Sketch Plan Application and supporting materials for the construction of 24 apartment units and associated parking located northerly of Noble Street in the Maine Street Station campus. This letter is intended to summarize the project in order to facilitate the review process.

PROPERTY

NOBLE STREET LLC owns the parcel of land located between Noble Street and Station Avenue (Tax Map U16, Lot 105). The parcel contains 0.43 acres and is currently developed, with a two-story residential building with access from Noble Street, and a small parking lot on the westerly side. The parcel was proposed as a residential use when the main Street station master plan was originally proposed. The property is located in the Town Center/Main Street (TC1) Zoning districts. The parcel was conceptually depicted as being completely occupied by a residential building having underground parking for 16 vehicles when the Maine Street Station project was originally approved.

SITE DESIGN

The proposed development will consist of two (2) 3-story buildings, each having 12 apartments for lease. The buildings will be joined by a common mechanical and trash room. Two (2) parking spaces will be provided for each apartment through a combination of dedicated parking on the lot adjacent to the building and shared parking in the adjacent parking lot for the McLellan building. The apartments will be serviced by public water, sewer and natural gas utilizing stubs extended to the parcel from Station Avenue. Electrical service will extend from overhead utilities in Noble Street. Access to the parking lot will be from an existing curb cut on Noble Street. Both buildings will have fire suppression sprinkler systems.

Treatment for stormwater runoff from the site and building will be provided. The building will be collected via gutters and conveyed to a subsurface treatment system. The parking lot will drain via sheet flow to a rain garden/bio retention cell at the northerly end.

BUILDING LOCATION

The buildings are oriented such that one has its primary access from Noble Avenue, while the other has its access from Station Avenue. Parking is located to the side of the building consistent with other buildings in the Maine Street Station campus. Access to both buildings will be ADA compliant. Architectural elevations and a rendering prepared by Ryan Senatore Architecture is provided for reference to help visualize the intended scale and appearance of the buildings. Building materials and architectural elements have been designed to match the existing architecture within the Maine Street Station area.

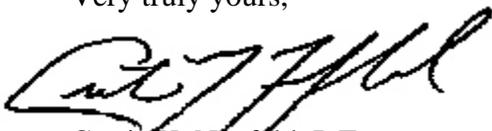
The proposed building has a maximum height of 39'10", which complies with the maximum allowed for the zone of 40'. The building height is measured between the eave and the peak, which allows for the maximum height to be greater on peaked roofs, such as the inn, train station and town offices. This is compatible with the station building directly across Station Avenue from the lot and the McLellan Building at the end of Station Avenue, which both have peaked roof element greater than 40 feet. The building is also lower than the inn at the easterly end of Noble Street.

SUMMARY

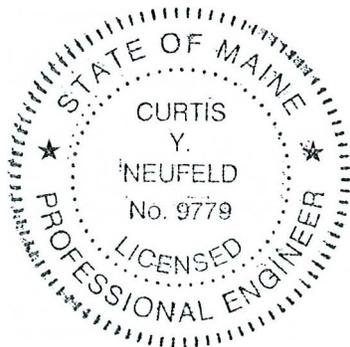
We trust that this information satisfactorily addresses the requirements for Sketch Plan Review and we look forward to meeting with you and the Planning Board at the September 13, 2016 meeting to obtain their feedback.

We look forward to the opportunity to meet with the Board. With your initial review of this request, we will forward 18 copies for Planning Board purposes. If you have any questions or require additional information, please do not hesitate to call. Thank you for your assistance with this project.

Very truly yours,

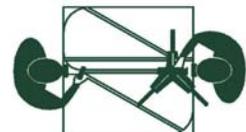


Curtis Y. Neufeld, P.E.
Vice President



Enclosure

cc: J. Hilary Rocket, Noble Street LLC



**MAJOR DEVELOPMENT REVIEW
SKETCH PLAN APPLICATION**

1. Project Name: _____

2. Project Applicant

Name: _____

Address: _____

Phone Number: _____

3. Authorized Representative

Name: _____

Address: _____

Phone Number: _____

3. List of Design Consultants. Indicate the registration number, address and phone number Of any engineer, surveyor, architect, landscape architect or planner used:

1. _____

2. _____

3. _____

5. Physical location of property being affected: _____

6. Lot Size: _____

7. Zoning District: _____

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? _____

9. Assessor's Tax Map _____ Lot Number _____ of subject property.

10. Brief description of proposed use: _____

11. Describe specific physical improvements to be done: _____

Owner Signature: _____

Applicant Signature (if different): _____

Required Attachments (by Applicant):

- Sketch Plan Check List
- Sketch Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Sketch Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

SKETCH PLAN REQUIREMENTS

Key: “O”= omit; “S”=submit; “NA”=not applicable; “W” = waiver; “P”=pending

Item	O	S	NA	W	P	Comments
Indicate Variances Granted						
Indicate Special Permits						
Indicate Special Exceptions						
Date, north point, scale						
Land area, existing use of the property, location of proposed development, locations reserved for future development						
Tentative rights-of-way locations, lot lines, lot numbers, lot areas						
Estimated soil boundary locations from the Soil Conservation Service Medium Intensity Soil Survey noting areas of severe and very severe soil limitations						
Existing natural, topographical, and cultural features including areas of steep slopes, bedrock outcrops, ponds, streams, aquifers, and other water bodies, wetlands, groundwater recharge areas, slumps, flood hazard areas, trees, and other vegetation, excavation sites, stone walls, net site area, historic and archeological sites, structures, or districts, and any other pertinent features.						
Tentative locations of proposed structures, owners of existing structures, and neighboring land uses						
Special conservation and recreation areas						
Location map						
Zoning information, including the zoning district(s) in which the property is located and the location of any overlay zones depicted on the plan.						
Any conditions imposed by previous development on the site.						
Other information Planning Board/Staff Review Committee deems necessary to conduct an informed review.						
Letter of consent signed by property owner authorizing the development review application in cases where applicant is not the owner of the property.						
Application Fee						
For Open Space Developments, sketch plan design review requirements indicated in Section 308.1						
Open Space Development: Request for Bonus Density						

State of Maine



Department of the Secretary of State

I, the Secretary of State of Maine, certify that according to the provisions of the Constitution and Laws of the State of Maine, the Department of the Secretary of State is the legal custodian of the Great Seal of the State of Maine which is hereunto affixed and that the paper to which this is attached is a true copy from the records of this Department.

In testimony whereof, I have caused the Great Seal of the State of Maine to be hereunto affixed. Given under my hand at Augusta, Maine, this eighteenth day of August 2016.

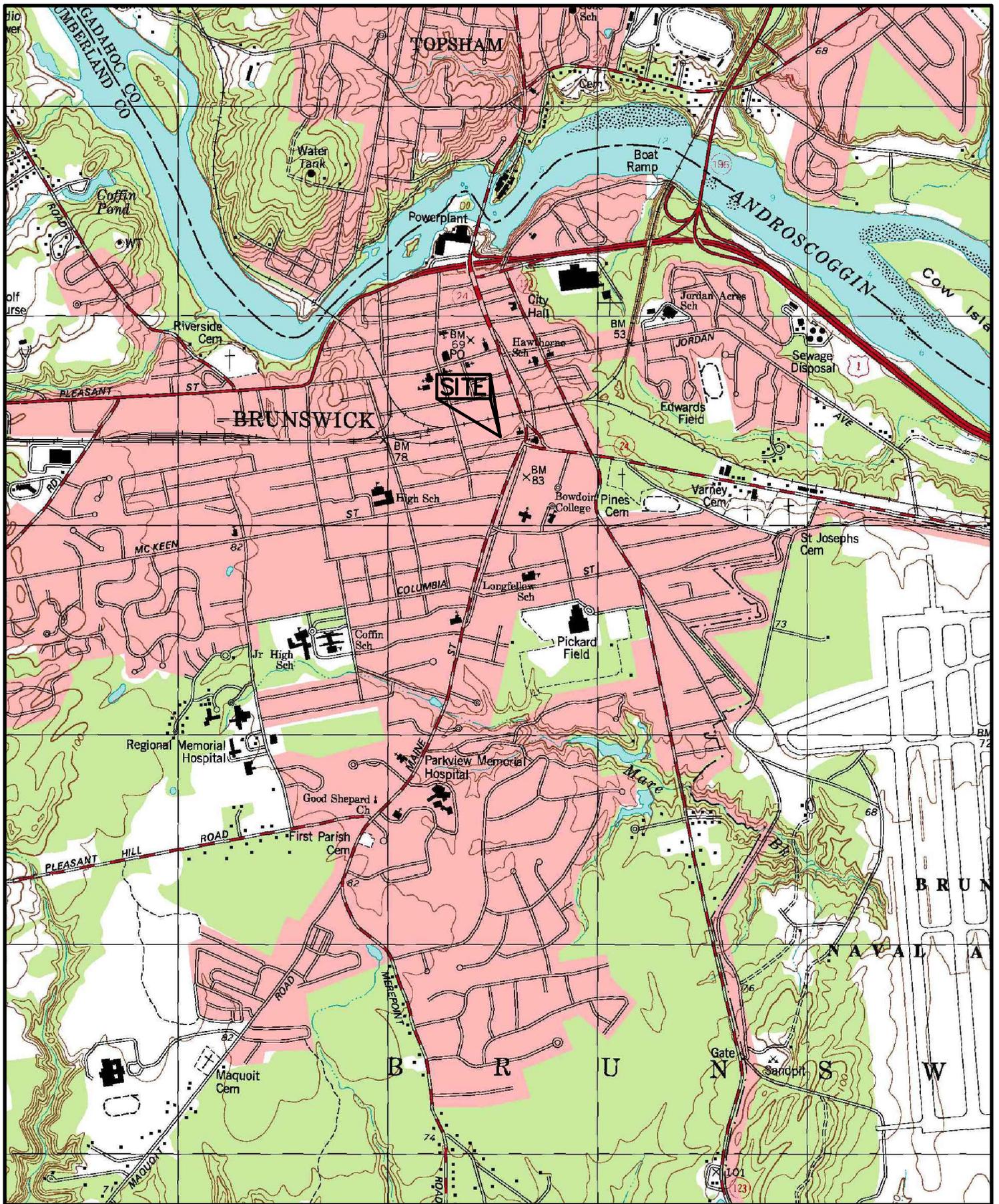


A handwritten signature in black ink, appearing to read 'Matthew Dunlap', written over a horizontal line.

Matthew Dunlap
Secretary of State

Additional Addresses

Legal Name	Title	Name	Charter #	Status
NOBLE STREET, LLC	Registered Agent		20080218DC	GOOD STANDING
Home Office Address (of foreign entity)		Other Mailing Address		



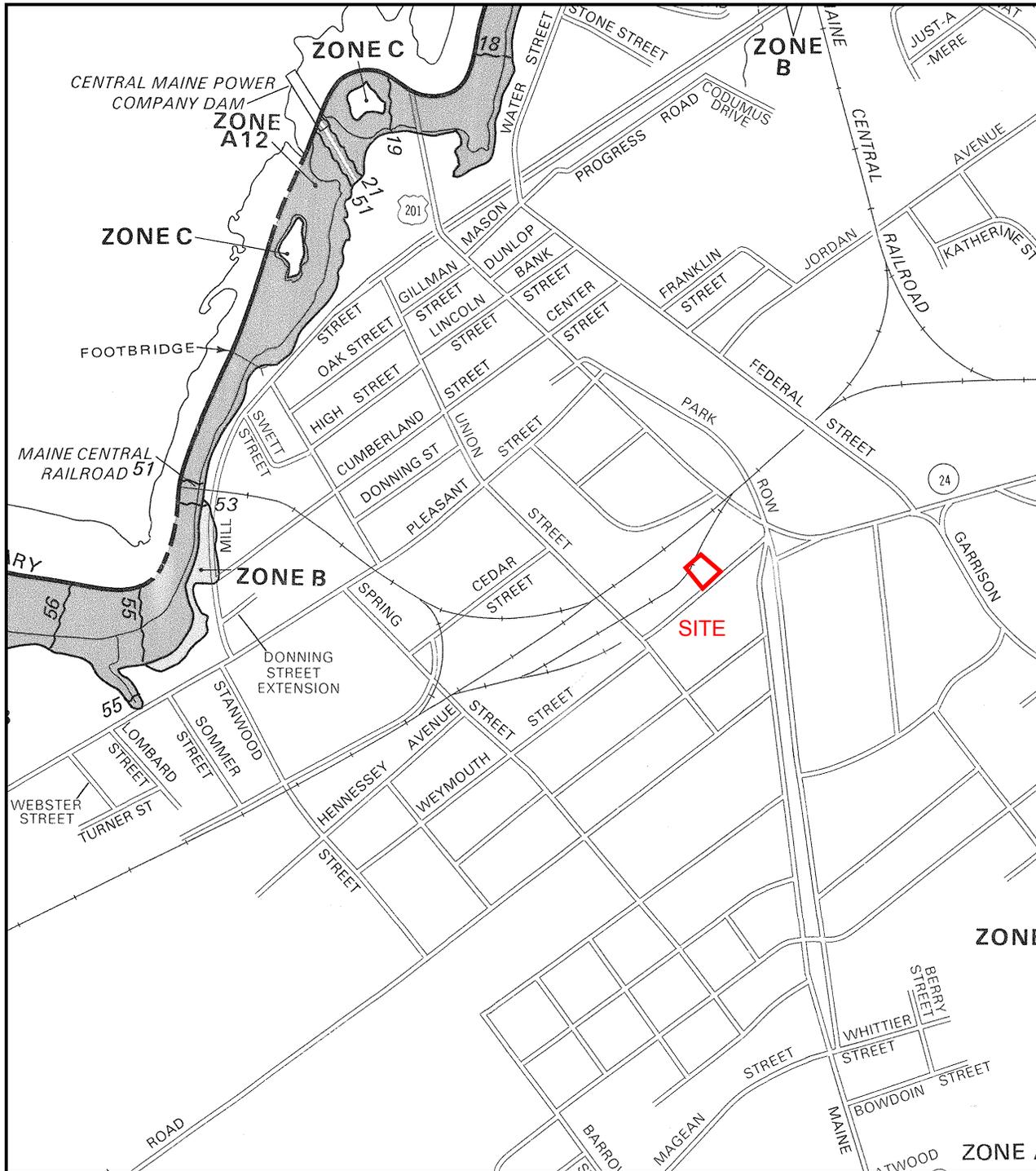
SITELINES
ENGINEERS PLANNERS

8 CUMBERLAND ST. BRUNSWICK, ME 04011
(207) 725-1200 FAX 725-1114

USGS LOCATION MAP
MAINE STREET STATION APARTMENTS
16 NOBLE STREET
BRUNSWICK, MAINE

DATE: 08/18/16
SCALE: 1"=2000'
JOB: 1646.01
FILE: 1646.01-USGS

SHEET: 1 OF 1



APPROXIMATE SCALE
 1000 0 1000 FEET

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
BRUNSWICK, MAINE
 CUMBERLAND COUNTY

PANEL 15 OF 35
 (SEE MAP INDEX FOR PANELS NOT PRINTED)

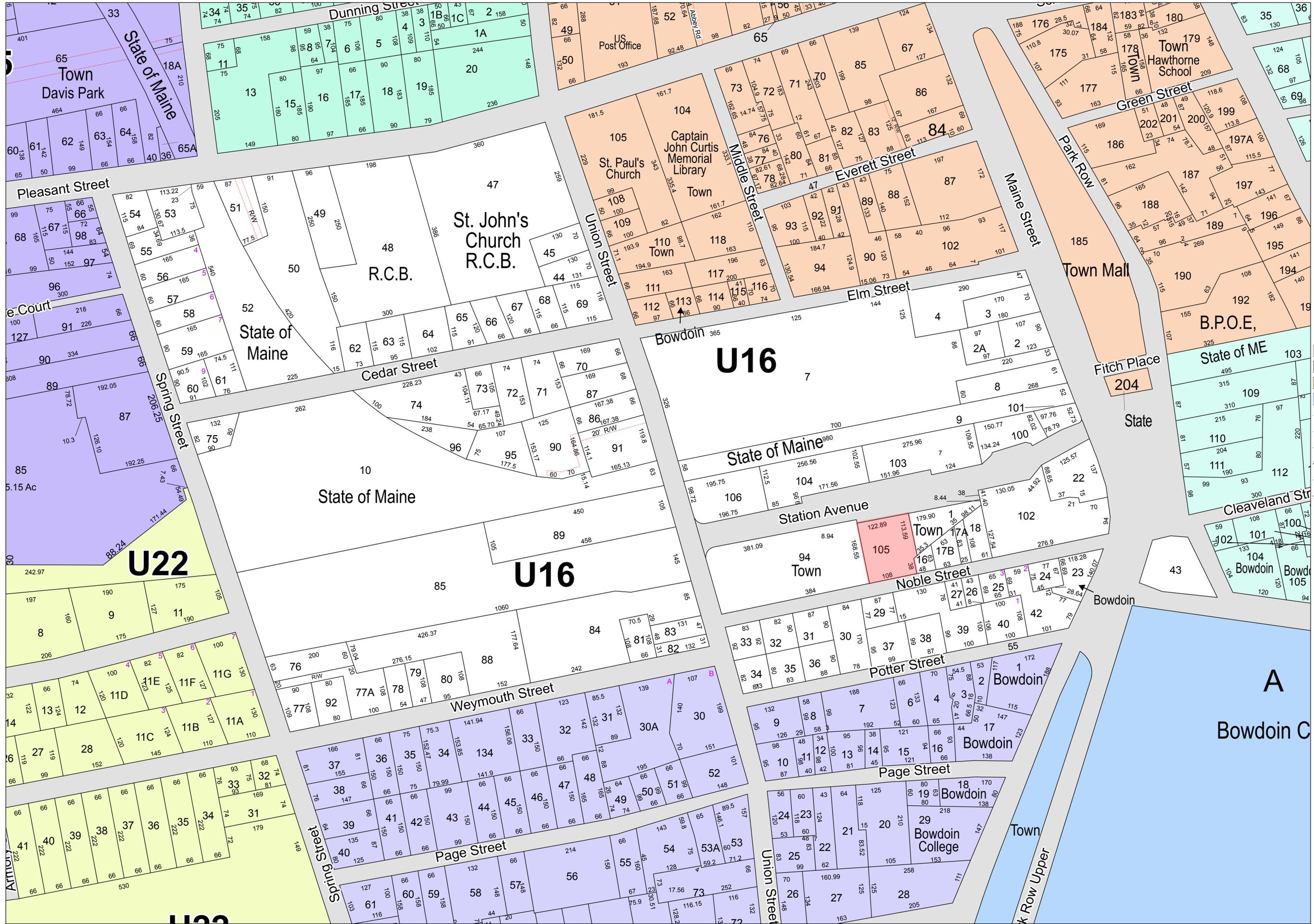
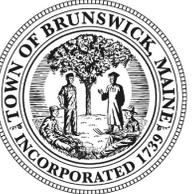
COMMUNITY-PANEL NUMBER
 230042 0015 B

EFFECTIVE DATE:
 JANUARY 3, 1986



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



- Legend**
- Public Road
 - Private Road
 - ROW
 - Water
 - Hydrography Line
 - ROW Property Access
 - Other Road
 - Town Boundary
 - Other Lot Boundary
 - Parcels_Lines

Disclaimer:
The information is provided as a reasonably accurate point of reference, but is not guaranteed and is not to be used for conveyances. The Town of Brunswick shall not be held responsible for the accuracy or misuse of this data. Copyright Town of Brunswick.



1 inch = 100 feet

Revised To: April 1, 2015
Maps Prepared by:
Town of Brunswick

MAP
U16

Soil Map—Cumberland County and Part of Oxford County, Maine
(16 Noble Street)



Map Scale: 1:599 if printed on A landscape (11" x 8.5") sheet.

0 5 10 20 30 Meters

0 25 50 100 150 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine

Survey Area Data: Version 11, Sep 17, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 17, 2010—Jul 27, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

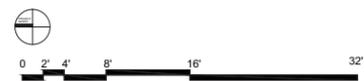
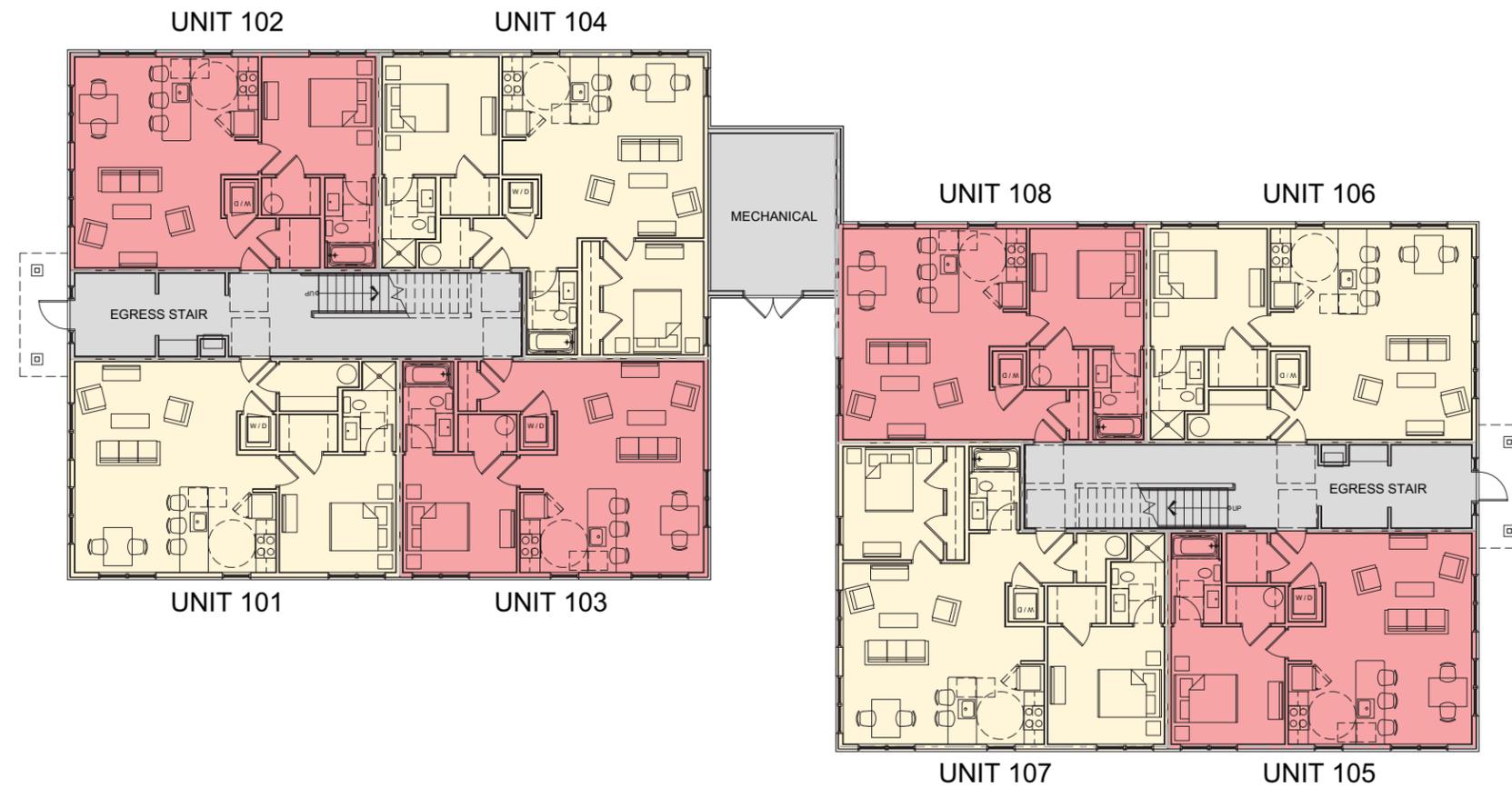
Map Unit Legend

Cumberland County and Part of Oxford County, Maine (ME005)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DeB	Deerfield loamy sand, 3 to 8 percent slopes	0.2	25.1%
WmB	Windsor loamy sand, 0 to 8 percent slopes	0.7	74.9%
Totals for Area of Interest		0.9	100.0%

RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

JHR Development

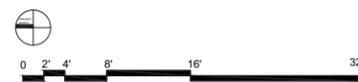
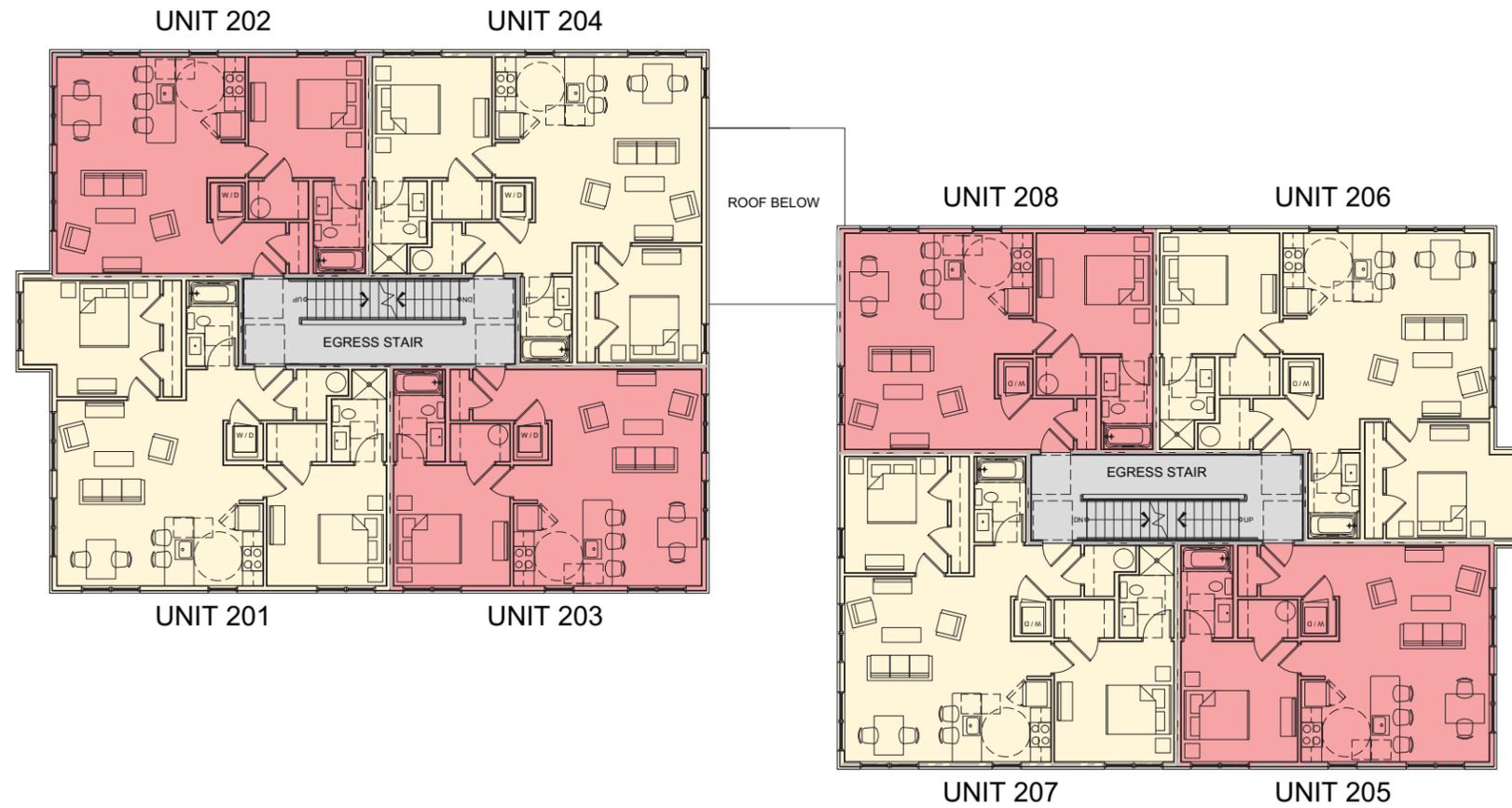
PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE **ARCHITECTURE**

RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

JHR Development

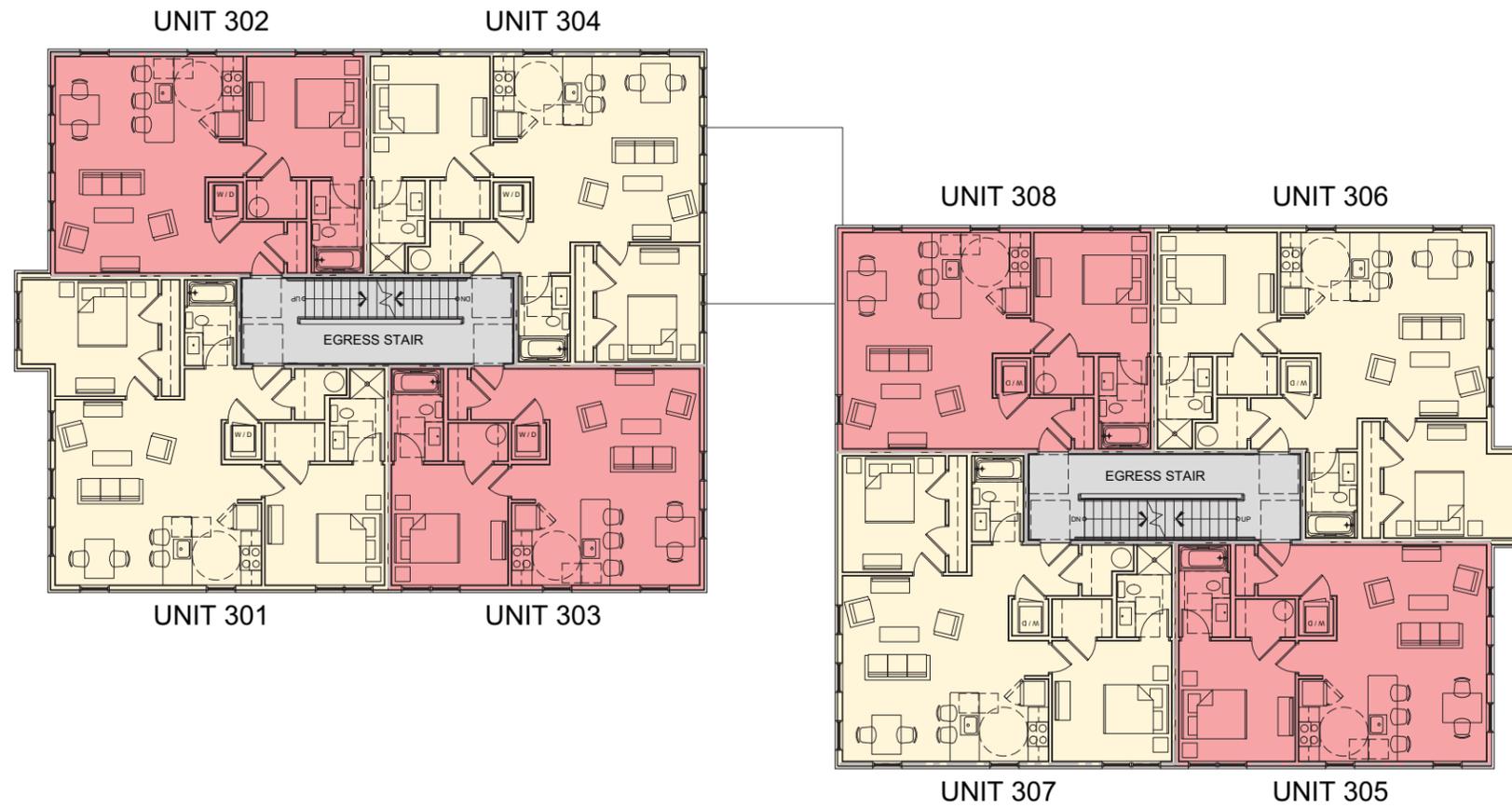
PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE **ARCHITECTURE**

RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

JHR Development

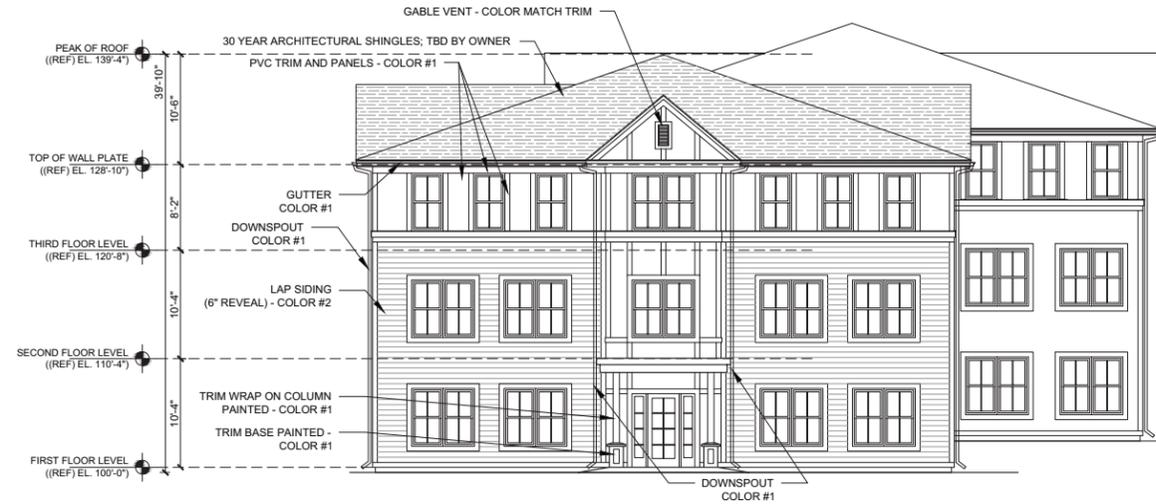
PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE **ARCHITECTURE**

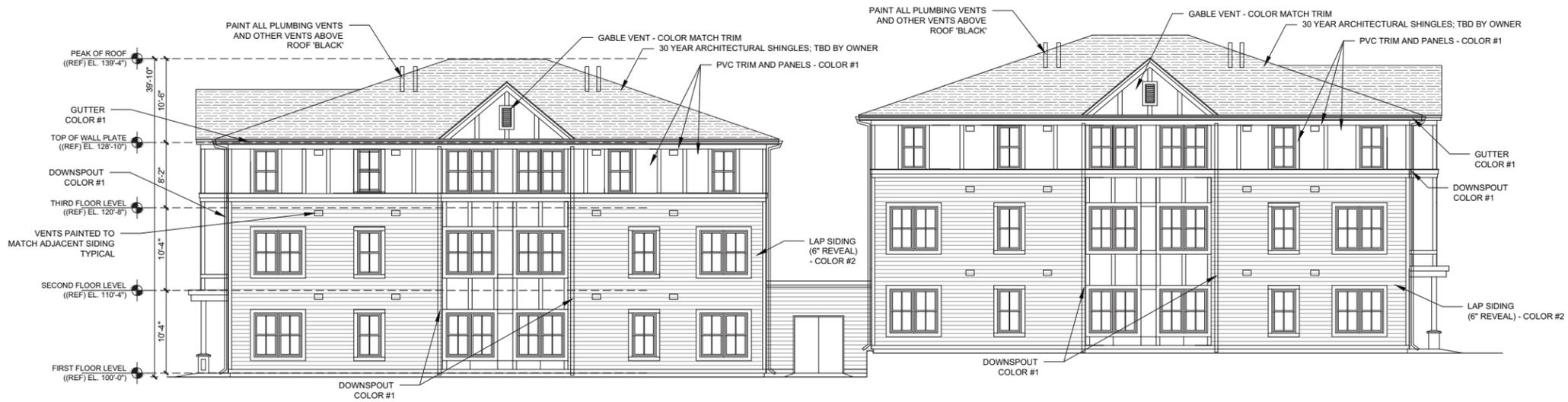
RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



NORTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"

JHR Development

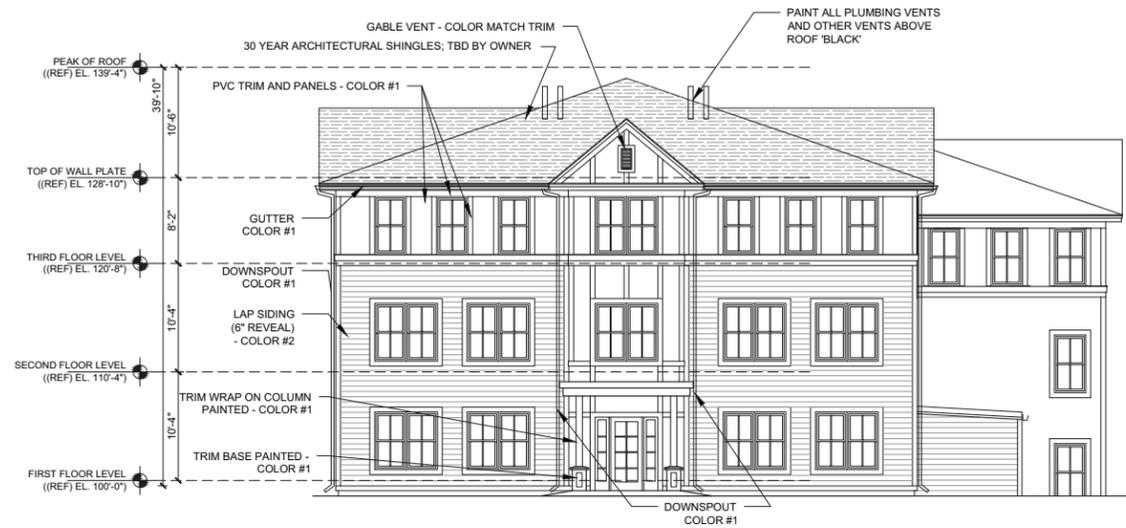
PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE ARCHITECTURE

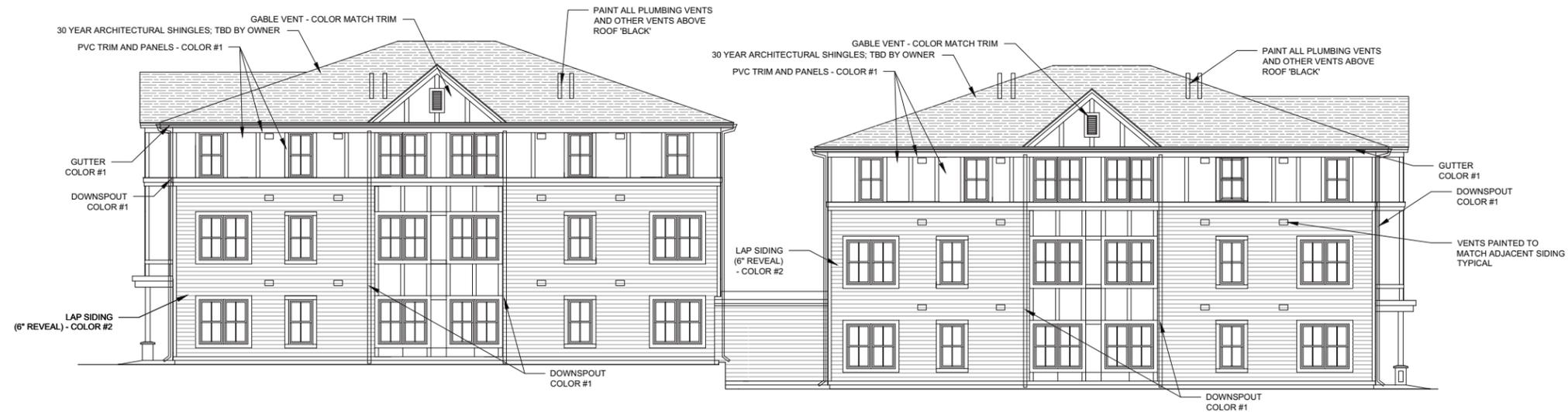
RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

JHR Development

PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE ARCHITECTURE

RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016



VIEW LOOKING EAST ON STATION AVENUE

JHR Development

RYAN SENATORE **ARCHITECTURE**

PROGRESS PRINT ONLY
Not for Construction

RESIDENCES

NOBLE STREET, BRUNSWICK, MAINE

AUGUST 18, 2016

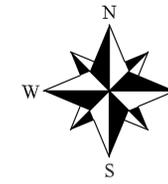


VIEW LOOKING EAST ON NOBLE STREET

JHR Development

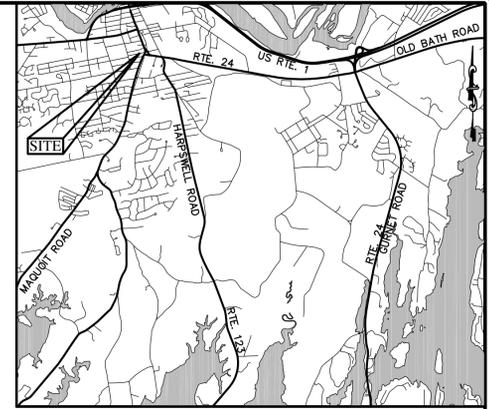
PROGRESS PRINT ONLY
Not for Construction

RYAN SENATORE **ARCHITECTURE**



LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
2. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY. REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.
3. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
4. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
5. BUILDING FOUNDATION SHOWN IS NOT FOR FOUNDATION LAYOUT. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.



LOCATION MAP
SCALE: 1" = 5000'

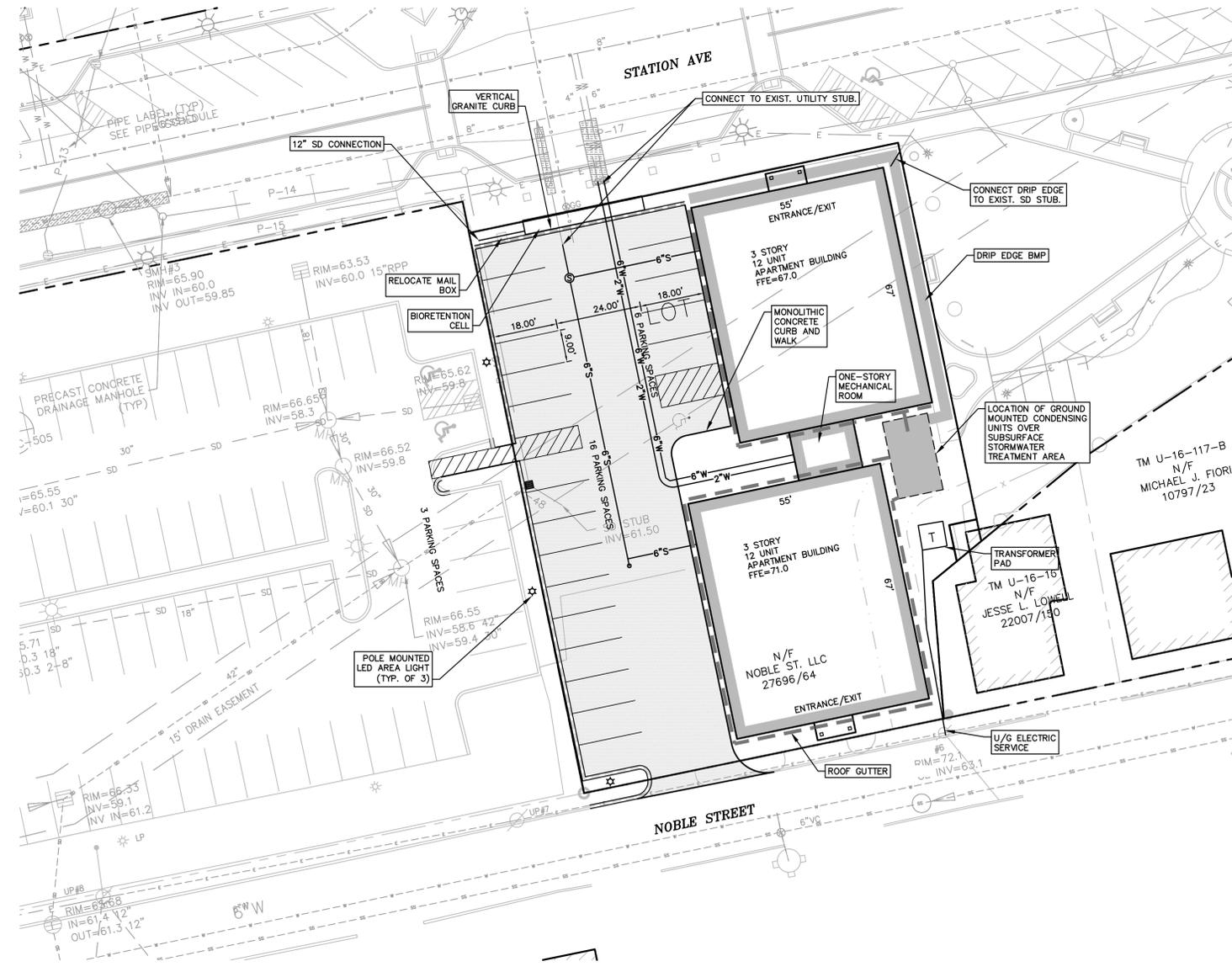
TOWN CENTER 1 MAINE STREET ZONING DISTRICT (TC1)		
ZONING STANDARD	REQUIRED	PROPOSED
MIN. LOT SIZE:	NA	18,736 S.F.
MIN. LOT WIDTH:	NA	102'
YARD DEPTH:		
FRONT:	NA	0'
REAR:	NA	0'
SIDE:	NA	0'
MAX. HEIGHT:	40'	39'-10"
MAX. FOOTPRINT:	30,000 S.F.	3,685 S.F.
MAX. FOOTPRINT FACTOR:	100%	20%
LANDSCAPE FACTOR:	0%	18%
PARKING REQUIRED	2 PER DWELLING UNIT	2 / D.U.

GENERAL NOTES:

1. TITLE REFERENCE FOR SURVEYED PARCEL:
BK 27696, PG 64
2. AREA INFORMATION:
LOT AREA: 18736 S.F. (0.43 ACRES)
3. TAX MAP REFERENCE:
TAX MAP U16, LOTS 105.
4. BASIS OF BEARINGS:
BEARINGS ARE REFERENCED TO MAGNETIC.
5. FLOOD ZONE INFORMATION:
PARCEL IS LOCATED WITHIN ZONE C (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAPS FOR CUMBERLAND COUNTY, MAINE. THE PROJECT IS LOCATED ON PANEL 15 OF 35 (COMMUNITY PANEL 230042 0015 B, EFF. DATE JANUARY 3, 1986).

UTILITY NOTES:

1. INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD AND THAT SHOWN ON A PREVIOUS PLAN, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO EXCAVATION. 1-888-344-7233



1. 08-3-16 SUBMITTED TO TOWN OF BRUNSWICK FOR SKETCH PLAN CYN

SKETCH PLAN

MAINE STREET STATION LOT 5
BRUNSWICK, MAINE

JHR DEVELOPMENT OF MAINE, LLC
40 SOUTH STREET, MARBLEHEAD, MA 01945

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: SCALE: 1"=20'

DRN BY: CYN JOB #: 1646

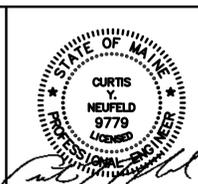
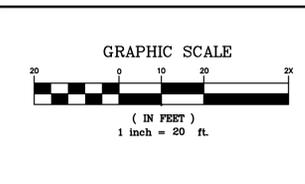
CH'D BY: MAP/LOT: U16/105

DATE: 07-18-16 FILE: 1646-SITE

SHEET:

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



X:\LAND PROJECTS\1646 JHR MISSIDING\1646-SITE.DWG. SITE_7/5/2016 3:32:28 PM. CURT

**Approved Findings of Fact
Maine Street Station
Planning Board Review Date: June 24, 2008**

Project Name: Maine Street Station
Case Number: 08-021
Tax Map: Map U16 Lots 1, 1A, 15, 19 and 21
Applicant: JHR Development of Maine, LLC
8 Noble Street
Brunswick, Maine 04011

PROJECT SUMMARY

Case No. 08-021, Maine Street Station. The Board will hold a **Public Hearing** and review and take action on a **Final Plan (Subdivision and Site Plan)** application submitted by JHR Development of Maine, LLC, for the development of Maine Street Station, Maine Street, Brunswick. (**Assessor's Map U16 Lots 1, 1A, 15, 19, 21**), in the **Town Center 1 (TC1) Zone**.

Maine Street Station is a joint development project between the Town of Brunswick and JHR Development of Maine, LLC. Per a signed Joint Development Agreement, dated January 31, 2007, the Town is responsible for site remediation and public infrastructure improvements, including construction of the street, public/common utilities, public green and street landscaping, all of which will become public property. The developer will construct the buildings and their related utilities, site development, parking lots and related site landscaping. The rights and responsibilities of each party are discussed in the Joint Development Agreement and is provided in the application packet.

The proposed project will have six separate buildings with a mix of uses:

1. Inn with up to (no more than) 60 guest rooms, (32,000 sq. ft. – 3 stories)
2. Retail space (26,850 sq. ft.)
3. Office space (39,400 sq. ft.)
4. Restaurant spaces (potential for a total of 290 seats for the entire project)
5. Residential (16 condominium units)

The application is for subdivision and site plan approval for the project in its entirety. The new development will have a total of six new buildings and one existing building, which is the Midcoast Federal Credit Union.

The proposed new buildings shown on the plan are:

1. Building 01 – 3,050 sq. ft. single-story retail
2. Building 02 – 32,100 sq. ft. Inn (10,700 sq. ft. footprint)

3. Building 03 – 18,100 sq. ft. two-story mixed office/retail
4. Building 04 – 18,100 sq. ft. two-story mixed office/retail, with 1,200 sq. ft. reserved for a train station
5. Building 05 – 31,300 sq. ft. two-story mixed retail/residential (16 residential condominiums with underground parking)
6. Building 06 – 18,000 sq. ft. two-story mixed office/retail

Site plan approval includes approvals for site layout, building elevations (excluding those for buildings 02 and 05), utility layout, landscaping and all infrastructure improvements such as stormwater management, street and sidewalk construction. Although buildings 02 and 05 are included in all aspects of the site plan, the building elevations and more specific landscaping will be subject to further planning board approval prior to construction of those buildings.

Public Hearing: The development proposal includes six new buildings totaling 130,000 sq. ft. (2 of which are greater than 30,000 sq. ft. each). Projects that involve more than 30,000 sq. ft. of new development require a public hearing with the Town Planning Board (per Section 405.5C).

Notification: Staff notified property owners within 200 feet of the project site, as well as the College Neighborhood Association, Northwest Neighborhood Association, and others who expressed interest in the project and asked to be added to the notification list.

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The site plan is for the development of a 5-acre site at the south end of Brunswick's downtown. The development site is in the **Town Center 1 (TC1) Zoning District**, where all of the proposed uses in this mixed use project are permitted. Based on the plans submitted by the applicant, the project will meet all of the dimensional standards for the TC1 zone, per Section 201.2 of the Brunswick Zoning Ordinance. The TC1 zoning district has no minimum building setbacks and allows up to 100% impervious surface coverage. The regulating dimensional standards include a 40-foot maximum building height and 30,000 sq. ft. footprint per building. The new buildings and parking areas comply with minimum standards.

Parking for the development will be accommodated on site, with both on street and off-street parking. Based on the proposed uses, a strict application of the Ordinance would require 391 parking spaces for all of the proposed uses. Due to the mixed use nature of the development, the applicant has used the provisional standards under Section 512.2B of the Ordinance. The applicant submitted a parking analysis that includes a shared use analysis based on the standards in the Urban Land Institute publication Shared Parking - Second Edition, 2005. Staff has reviewed the parking analysis and concurs with the applicant's approach.

The Board finds that the provisions of Section 411.1 are satisfied.

411.2 Preservation of Natural Features

The project is located in an area suitable for development with shallow slopes and no identified outstanding natural features or habitat. There are no wetlands associated with the project site and it is not in a Natural Resource Protection Zone. The site has recently undergone environmental remediation to clean up coal ash from previous activities on the site. The project will include street trees along the proposed internal right-of-way, Station Avenue, landscaping within the parking lots and extensive landscaping in the public park. Additional landscaping will be added around buildings and other site features to soften the site which is primarily intended to be an urban landscape. The landscaping plan has been approved by the Town Arborist. Minor technical changes will need to be made based on specific needs and circumstances during construction. Further changes to the landscaping plan will be approved by the Director of Planning and Development. *The Board finds that the provisions of Section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands and Marine Resources

The development is not located in a marine resource area or shoreland zone. There are no surface waters, wetlands, or marine resources on or adjacent to the site, which is a remediated vacant site, previously used for a train station and railroad yard. The project site is located within the urban impaired stream area associated with the Water Street Tributary. Mitigation measures, or fees-in-lieu-of, are discussed under stormwater management in Section 411.5. The plan submitted by the applicant will not adversely affect any water body or its shoreline and the development will not adversely affect the water quality of Casco Bay or its estuaries. *The Board finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

The development activity will not occur within a flood hazard area. *The Board finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The applicant has submitted a stormwater management plan for the project showing that the stormwater runoff from the buildings, parking lots, roadway and other impervious areas will receive water quality treatment in several underground stormwater treatment chambers located in three separate areas around the site. Other measures will include vegetation to stabilize and minimize soil erosion and maintain stormwater quality and good housekeeping and maintenance of stormwater facilities and features. Per Section 06-096 CMR Chapter 500 Section 4(C) the Urban Impaired Stream Standard must be met. The applicant is working with the Town of Brunswick and Maine D.E.P. on options to offset impacts. A preliminary estimate of impacts are part of the Maine D.E.P. stormwater permit application, which also identifies options to offset project impacts, including compensation fees and mitigation credits. The stormwater management plan has been submitted to the Maine D.E.P. for approval. *The Board finds that the provisions of Section 411.5 are satisfied; with the condition that the stormwater management plan receive approval from the Maine D.E.P.*

411.6 Groundwater

The project does not involve the use, discharge or extraction of groundwater. Municipal sewer and water services are available and will be utilized per Sections 411.8 and 411.9. Plans related to stormwater management (surface runoff) and erosion control are addressed in sections 411.5 and 411.7, and by the applicant's stormwater management permit application with the Maine D.E.P. Groundwater occurs at the project site at five to six feet below existing ground levels and is not anticipated to rise above proposed foundation footings. Basements will be placed at or above the seasonal high water table and, per Maine D.E.P. requirements, stormwater treatment will occur above the high water table to prevent the introduction of contaminants into groundwater. The Voluntary Action Response Program (VRAP) for the coal ash remediation prohibits drawing groundwater via a well system. Foundation perimeter drains will protect the structures from groundwater seepage. *The Board finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

The project includes an erosion and sedimentation control plan meeting the requirements of Town Ordinances and which is part of the D.E.P. stormwater permit application. The erosion control plan has been approved by the Town Engineer. The new development will maintain temporary and permanent erosion control measures in accordance with the Maine Erosion and Sedimentation Control BMP's, and will not cause unreasonable soil erosion or reduction in the land's capacity to hold water. *The Board finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The project will be served by the municipal sewer. The Brunswick Sewer District has indicated its ability to serve the project and has approved the project in accordance with a letter dated May 5, 2008. *The Board finds that the provisions of Section 411.8 are satisfied, with the condition that the applicant comply with the conditions set forth by the Brunswick Sewer District.*

411.9 Water Supply

The project will be served by the municipal water. The Brunswick-Topsham Water District has indicated its ability to serve the project and has approved it in accordance with a letter dated May 5, 2008. *The Board finds that the provisions of Section 411.9 are satisfied, with the condition that the applicant comply with the conditions set forth by the Brunswick-Topsham Water District.*

411.10 Aesthetic, Cultural and Natural Values

The development will be located in a previously developed, brownfield site located in the downtown. The site has been vacant for many years and the Town received EPA funding for clean up (completed March 2008). There are areas of special cultural and aesthetic areas adjacent to the project site, such as the Village Review Zone and the Federal Street Historic District which is on the National Register for Historic Places. The Board received a letter (dated June 4, 2008) from the Town Attorney explaining the applicability of this Section. Given the high visibility of the site and its location at the

southern gateway to downtown, the applicant has sought input on the design of the buildings and site from the Maine Street Station Implementation Committee, the Brunswick Village Review Board and others. JHR Development of Maine is willing to seek input and comments from the Brunswick Village Review Board, the Maine Historic Preservation Commission and the Pejepscot Historical Society on the final design for building 02 (the Inn), at the corner of Maine and Noble Streets. The plan has also undergone significant public review during the design phase. The project location will not impact areas of significant scenic character and there are no significant wildlife habitats or rare natural areas located on or near the project site. A landscaping plan has been submitted to show areas where landscaping will be added throughout the site, including street trees, park landscaping, and landscaping around the buildings and parking areas. Further details will be needed on the parking lot lighting to show that it is compatible with the street lighting installed by the Town. Based on information submitted by the applicant, the development will not have an undue adverse effect on the scenic or natural beauty of the area, historic sites, significant wildlife habitat identified by the Maine Department of Environmental Protection or the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. *The Board finds that the provisions of Section 411.10 are satisfied, with the condition that the applicant submit additional detail on the site lighting for parking lots.*

411.11 Community Impact

The Brunswick Sewer District and the Brunswick-Topsham Water District have indicated having adequate capacity to serve the project and have approved it, as discussed in Sections 411.8, 411.9. Much of the community impact will be related to traffic and pedestrian circulation as discussed under Section 411.12. The Brunswick Police Department, Fire Department and Public Works (Town Engineer) have approved the plan, as discussed in 411.12, 411.16 and 411.17. Municipal resources are available to service the project, and any off-site impacts associated with the development of the project will be mitigated. *The Board finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

The applicant completed a traffic impact study that was submitted to the Maine DOT for a Traffic Movement Permit. Town Staff and the applicant have discussed the necessary mitigation measures with Maine DOT. Four mitigation measures have been recommended and will be conditions of approval for the Maine DOT traffic movement permit; these are listed below in this section (411.12) of these findings. Based on making the improvements recommended in these findings, which are part of the Maine DOT Traffic Movement permit, the development will not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed, and the traffic associated with the development shall maintain an acceptable level of service within 200 feet of any existing or proposed curb-cut. The applicant has asked for two waivers relative to construction of Station Avenue and the right-of-way width. As a commercial street, Station Avenue would be required to be a 30-foot wide paved street with a 66-foot wide right-of-way, in accordance with Appendix A-II.I (Street Standards for Town Dedication). The applicant is requesting a

waiver to allow for the construction of a 24-foot wide paved street in a right-of-way that ranges from 48 feet in width to 66 feet. Both the Town Engineer and Fire Chief recommend approval of the waiver request.

There are four traffic mitigation measures to be addressed for this project.

Interim left-turn lane: The initial stage of the project will require a left turn-lane from Maine Street on to Station Avenue. The left-turn lane will require some temporary reconfiguring of the intersection of so called “no name” street, Maine Street and Park Row. Since this will be temporary, the changes will be minimal and will try to be accomplished using striping and reusing existing granite or asphalt curbs. The temporary turning lane will only be required if Maine DOT, per the signed agreement with the Town, has not completed the agreed to changes to the traffic intersections at Maine Street and Bath Road by the time certificates of occupancy are issued for buildings 3 and 4.

McKeen/Maine Street traffic signal: The proposed traffic signal at McKeen and Maine Streets is not warranted at this time. It is expected that incremental increases in traffic volumes from the development will trigger signal warrants. The traffic signal at this intersection can not be installed until such time a signal is warranted. The developer will be required by MDOT to conduct traffic counts at the intersection when site development reaches 25%, 50%, 75% and full build-out. The signal shall be installed by the State when the traffic volumes warrant it.

Maine Street/Bath Road improvements: Maine Street and Bath Road is presently listed by Maine DOT as having high crash locations/intersections and will need to be mitigated as part of the Maine Street Station project. The traffic movement permit issued by the Maine DOT will include a condition that the Town of Brunswick/DOT will be responsible for designing and implementing a solution to the high crash intersections at Maine Street and Bath Road around the First Parish Church. The solution will be subject to a design and public review process before implementing any changes. As an interim solution, if the intersection improvements are not implemented or under construction prior to issuing certificates of occupancy for buildings 3 and 4, the JHR of Maine, LLC shall be required to install the interim left-turn lane as stated above.

Pleasant Street/Stanwood Street intersection: The applicant shall be required to pay an impact fee in an amount determined by the Maine DOT to be used for future improvements to this intersection, per next section below.

Impact Fee: As part of the Maine DOT Traffic Movement permit, JHR of Maine, LLC shall be required to pay an impact fee in an amount to be determined by the Maine DOT for road and traffic movement improvements discussed in this section, except for the interim left-turn lane, which shall be the responsibility of JHR of Maine to install and finance.

The Board finds that the provisions of Section 411.12 are satisfied; with the condition that the applicant pay an impact fee to the Maine D.O.T., in an amount to be determined by the Maine D.O.T.

411.13 Pedestrian and Bicycle Access and Safety

The plan meets several objectives of the Brunswick Bicycle and Pedestrian Improvement Plan. Design decisions have incorporated traffic calming measures that enhance both pedestrian and bicycle safety. The road plan includes a narrower paved travel way with curb extensions that frame parking areas and reduce pedestrian crossing distance. The new road includes a raised speed table configured as a central plaza with clearly delineated crosswalks at both edges. The speed table and adjacent crosswalks will be constructed with modular pavers to provide a visual contrast for motorists. Street tree plantings combined with bollards, benches and bike racks along the street edge provide additional amenities for pedestrian and bicycle safety. The plan features connecting pedestrian walkways, a small park, tree and shrub plantings, street trees and buffer plantings. The plan has been developed with a diverse and sustainable plant palate which provides scale, structure, shade and seasonal interest. *The Board finds that the provisions of Section 411.13 are satisfied,*

411.14 Development Patterns

The new development will be on a vacant 5-acre lot on the southern edge of the downtown which was used historically as a train station and railroad yard. The project is located on an EPA-designated brownfield site in the Town's growth zone and forms a border between the downtown business area to the north and residential areas to the south. The concept of Maine Street Station is to provide a transit-oriented focus for the upper Maine Street area and tie together a variety of unique neighborhoods adjacent to the project site. An appropriate transition in scale, created through the architecture and open space network, defines the pedestrian-friendly character of the project. The development is a high density commercial and mixed-use development with modestly scaled buildings served by public sewer and water. Most of the parking will be provided as off-street parking within the development and on-street parking on the new street, Station Avenue. The development will be respectful of Brunswick's historic development patterns and will not have any adverse impact on adjacent areas, which are primarily residential to the south and larger scale non-residential and mixed uses to the north and east. *The Board finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

The concept of Maine Street Station is to provide a focus for the upper Maine Street area and tie together a variety of unique neighborhoods adjacent to the project site. An appropriate transition in scale, created through the architecture and open space network, defines the pedestrian-friendly character of the project. The applicant has submitted elevation drawings for buildings 01, 03, 04 and 06. The buildings have been designed to be compatible with the scale of other buildings located in downtown Brunswick and at Bowdoin College, as a transition between these two areas and the adjacent smaller scale residential neighborhoods. The placement of buildings on the site is consistent with the goals stated in the Brunswick Zoning Ordinance, in that they are oriented toward public

streets and are well within the maximum dimensional standards allowed in the Town Center 1 Zone. The buildings on Station Avenue define the edge of the new street and play an important role in defining the public open space, creating a pedestrian friendly environment that is shielded from the railroad tracks on the north side of the property. The buildings on Maine and Union Streets reinforce existing streets and serve to frame the entrances into the development. Two additional proposed buildings (buildings 02 and 05) abut Noble Street. Although footprints and general description of massing is represented on the site plan and are intended to be part of the current site plan approval, the elevations and architectural details of these buildings will be subject to further planning board approval prior to obtaining building permits for each. Although there is no specific legal or jurisdictional requirement to do so, JHR Development of Maine is willing to seek input and comments from the Brunswick Village Review Board, the Maine Historic Preservation Commission and the Pejepscot Historical Society on the final design for building 02 (the Inn), at the corner of Maine and Noble Streets. With this advice, the new development will be designed to be compatible and respectful of the historic architectural integrity of buildings in Brunswick and the existing mix of residential, institutional and commercial buildings in the area surrounding the site. *The Board finds that the provisions of Section 411.15 are satisfied, with the condition that the applicant submit final elevations and landscaping plan for buildings 02 and 05, to be approved by the Planning Board.*

411.16 Municipal Solid Waste Disposal

JHR Development of Maine, LLC submitted estimates for solid waste impacts. The estimates are based on the intended use for each individual building to be constructed in the development. The Town Engineer concurs with the estimates and has determined an appropriate fee amount for each building. Due to the nature of the development and the phased construction schedule, the solid waste impact fees can be paid when the applicant applies for the individual building permits:

- Bldg. #1 – estimated 7.9 tons/ yr @ 258.56/ton = \$2,037
- Bldg. #2 – estimated 14.34 tons/yr @ \$258.56/ton = \$3,708
- Bldg. #3 – estimated 33.95 tons/yr @ 258.56/ton = \$8,778
- Bldg. #4 – estimated 33.95 tons/yr @ 258.56/ton = \$8,778
- Bldg. #5 – estimated 29.38 tons/yr. @ 258.56/ton = \$7,596
- Bldg. #6 – estimated 11.95 tons/yr. @ 258.56/ton = \$3,090

Solid waste impact fees include credit for the People’s Plus building and for residences at 8 and 16 Noble Street. The development will not cause an unreasonable burden on the municipality’s ability to dispose of solid waste. *The Board finds that the provisions of Section 411.16 are satisfied, with the condition that solid waste impact fees are paid prior to obtaining building permits for each of the buildings.*

411.17 Recreation Needs

Most of the development will be office, retail and services, which are non-residential and not subject to the recreation impact requirements. The development includes a sixteen-unit residential condominium development, which triggers the recreational requirements

for residential developments in Section 519. This section authorizes the Planning Board to require the reservation of land for parks, playgrounds, or conservation areas to benefit the residents of the development. Section 519.3 provides that upon the recommendation of the Recreation Commission, the Planning Board may require the applicant to pay a fee to the Town in lieu of a donation of land for recreational purposes. Per a letter from the Town Attorney, dated June 2, 2008, the recreational requirements for residential developments may be met by public improvements provided as part of the Joint Development Agreement between the applicant and the Town, such as the proposed park and other improvements acceptable to the Director of Parks and Recreation. In its determination (letter dated June 19, 2008), the Parks and Recreation Commission determined that a recreation impact fee is not warranted based on the type and value of the public improvements for open space or recreational land, subject to approval by the Planning Board. The Planning Board finds that the project satisfies the requirements of Section 519.1 (Reservation of Land) and that a recreation impact fee is not warranted based on the type and value of public improvements associated with pocket park, as determined by the Parks and Recreation Commission. *The Board finds that the provisions of Section 411.17 are satisfied.*

411.18 Access for Persons with Disabilities

All sidewalk and other public areas throughout the project area will be handicap accessible. The building permitting process will ensure that the buildings will be in full compliance with ADA requirements. The parking and pedestrian areas will also be handicap accessible to the extent required by law. Based on this finding, the development will comply with the *Americans with Disabilities Act*. *The Board finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

JHR Development of Maine, LLC and the Town of Brunswick have committed sufficient funds to complete the construction of the project. Per the Joint Development Agreement between the Town and JHR Development, dated January 31, 2007, JHR Development of Maine, LLC will be responsible for completing the construction of buildings, parking areas, related infrastructure and landscaping on private lots within the development. The Town of Brunswick is responsible for completing all public infrastructure improvements, including roads, sidewalks, and all utilities within the dedicated public right of way. The Town of Brunswick is also responsible for completing the public park, including all landscaping, infrastructure and amenities associated with it. The Town will be responsible for the street tree planting within the dedicated right-of-way for Station Avenue. The portions of the project that are the responsibility of the Town (i.e. public improvements and environmental remediation costs) will be financed with a grant from the Environmental Protection Agency (EPA) and other sources. JHR will obtain private financing for its portions of the project. *The Board finds that the provisions of Section 411.19 are satisfied.*

411.20 Noise and Dust

The site has undergone environmental remediation for coal ash removal. With the exception of a small area near Maine Street, the site of the future Inn (building 02) and

the area for building 05, the environmental remediation is complete and the parcel has been loamed and seeded for soil stabilization. During the development phase, appropriate measures will be taken to control noise and dust during construction and the contractor will comply with the standard hours of construction per Section 524 of the Brunswick Zoning Ordinance. *The Board finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

The applicant has submitted warranty deeds, purchase and sales agreements and letters of intent to demonstrate sufficient right, title and interest in the subject properties. Right, title and interest documents were submitted as follows:

1. Letter of intent from Midcoast Federal Credit Union
2. Warranty deed for 8 Noble Street
3. Purchase and sales agreement for 16 Noble Street
4. Shared parking agreement with Bowdoin College
5. Joint Development Agreement with the Town of Brunswick
 - a. Transfer of People’s Plus parcel (Saint Charles Church)
 - b. Transfer of main development parcel following environmental remediation and approval of a site plan

The Board finds that the provisions of Section 411.21 are satisfied.

411.22 Payment of Application Fees

The applicant, JHR Development of Maine, LLC, has paid all applicable development review and application fees, totaling \$13,785.00. *The Board finds that the provisions of Section 411.22 are satisfied.*

**PLANNING BOARD FINAL PLAN
CONDITIONS OF APPROVAL
MAINE STREET STATION
CASE NUMBER 08-021**

June 24, 2008

That the Board waives the following submission requirements:
511.2 Street design and dedication standards.

That the Final Plan be deemed complete.

That the Final Plan be approved with the following conditions:

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the

Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

2. That prior to issuance of building permits for the project, the stormwater management plan shall receive approval from the Maine D.E.P.
3. That prior to the issuance of a certificate of occupancy, the applicant shall comply with the conditions set forth by the Brunswick Sewer District in its letter dated May 5, 2008.
4. That prior to the issuance of a certificate of occupancy, the applicant shall comply with the conditions set forth by the Brunswick-Topsham Water District in its letter dated May 5, 2008.
5. That prior to issuance of any building permits for the project, the applicant shall submit additional detail on the site lighting for parking lots, to show that it is compatible with the dark sky lighting installed by the Town on Station Avenue and in the public park, subject to approval by the Director of Planning and Development.
6. That prior to issuance of any building permits for the project, the applicant shall pay an impact fee to the Maine D.O.T., as part of the D.O.T. Traffic Movement Permit, in an amount to be determined by the Maine D.O.T. for required traffic permits.
7. That prior to issuance of building permits for buildings 02 and 05, the applicant shall submit final plans, elevations and landscaping plans for these buildings, to be approved by the Brunswick Planning Board.
8. That prior to issuance of building permits for each building, the applicant shall pay a solid waste impact fees as follows:
 - a. Bldg. #1 – estimated 7.9 tons/ yr @ 258.56/ton = \$2,037
 - b. Bldg. #2 – estimated 14.34 tons/yr @ \$258.56/ton = \$3,708
 - c. Bldg. #3 – estimated 33.95 tons/yr @258.56/ton = \$8,778
 - d. Bldg. #4 – estimated 33.95 tons/yr @ 258.56/ton = \$8,778
 - e. Bldg. #5 – estimated 29.38 tons/yr. @ 258.56/ton = \$7,596
 - f. Bldg. #6 – estimated 11.95 tons/yr. @ 258.56/ton = \$3,090

Fees may be paid for each building at the time a building permit application is submitted for that building.

9. That at least 1,200 sq. ft. shall be reserved for a train station within the footprints of buildings 3 or 4, at such time that Amtrak service is available in Brunswick.

Town of Brunswick
Planning Board
ATTN Jared Woolston

Hi Jared -

I'm the lady (?) who you talked with on the phone and I am sending you my list of questions for consideration.

1. I understand the buildings will be side by side on Noble Street (if they ^{are both} facing Noble Street, what will be happening with all the trees along that border? (which are beautiful, by the way, and Needed!)

2. What changes will be happening along front stretch of greenery?

3. I am concerned with how the construction will progress & if Noble will be the major access for construction vehicles - ie. - cement mixer cranes & the like - As the traffic on this one way street can be difficult (As a lot of people who do not live on Noble Street use an access for other streets)

Hope you can read my enthusiastic
scrawl & thanks for your ~~consideration~~
- consideration

Clare Howell
9 Noble Street

Julie Erdman

From: Curtis Neufeld <cneufeld@sitelinespa.com>
Sent: Wednesday, September 07, 2016 10:19 AM
To: Jared Woolston
Cc: J. Hilary Rockett; 'Michael Barton'; Anna Breinich
Subject: Noble Street Apartments 1646.02

Jared,

In response to comments received from the Staff Review Committee (SRC), Sitelines will make some minor revisions to the site plan for the proposed Noble Street Apartments. Although these changes will not substantively alter the site plan as submitted, we wanted to provide a brief summary for information to be considered by the town staff and the planning board.

Lighting. Proposed pole mounted lighting was inadvertently shown outside of the parcel boundary. This will be corrected.

Distance from parking lot to the building. Both the public works director and codes enforcement officer noted that there was a minimal distance between the parking adjacent to the building and the face of the building, which could allow an un-attentive driver to pull forward to the point of impacting the structure. In response to this, the architect has reduced the width of the building by 2 feet, which allows for more than 3 feet from the face of curb to the façade. In addition to the greater distance, landscape plantings will be placed between the curb line in the building to provide a visual cue to drivers.

Vehicle maneuvering and of parking lot. Again the public works director and codes enforcement officer noted the space at the end of the parking lot were constrained and may have difficulty for vehicles backing out. In response to this, the location of the accessible parking stall has been moved to the Station Avenue end of the lot, with the accessible space's landing configured opposite an empty stall. This will reduce the parking on the site by one stall; however, it will improve access.

Access easements. It was noted during the staff review that there pedestrian and maintenance access easements on the parcel. In particular, there is a 5-foot wide pedestrian easement on the westerly sideline, which is impacted by the proposed parking. In addition, there is a 15-foot wide storm water best management practice (BMP) access easement from Noble Street to the public park. It is proposed to extinguish the 5-foot wide pedestrian easement on the westerly sideline in exchange for the applicant completing the sidewalk from the existing one adjacent to the McLellan building parking out to Noble Street. Maintenance access to the BMPs on the easterly side of the parcel can be obtained through the public park. The details for both these changes will be worked out with staff and submitted with the final application package.

Parking requirements. As submitted, the applicant is seeking to provide one parking space per bedroom, which requires 16 off-site parking spaces be dedicated. During the SRC meeting it was noted the spaces closest to the applicant's parcel are frequently used by town employees and the spaces available to the town offices are at a premium. At the time of the meeting it was unclear how much parking Bowdoin College may be willing to release. The applicant continues to have discussions with the Town Manager and Bowdoin College. Prior to submission of the final application the total number of spaces sought may be reduced and

agreements among the impacted parties will be better understood. Since this is a threshold issue, the applicant is seeking feedback from the planning board with regard to reducing the overall parking requirements.

Please include these comments with the information provided to the planning board for consideration. We appreciate your help with this project.

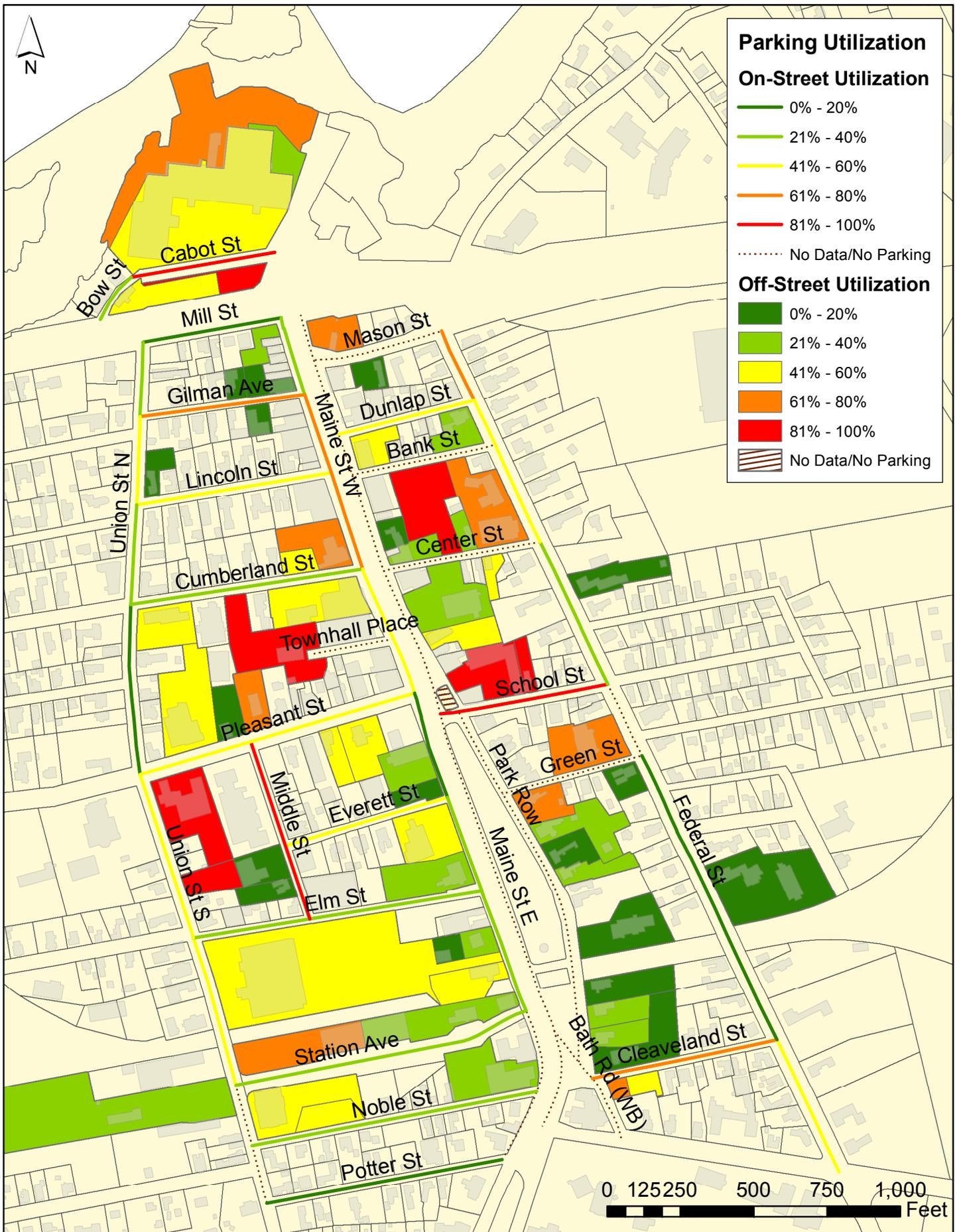
Regards,

Curtis Y Neufeld, PE
Vice President

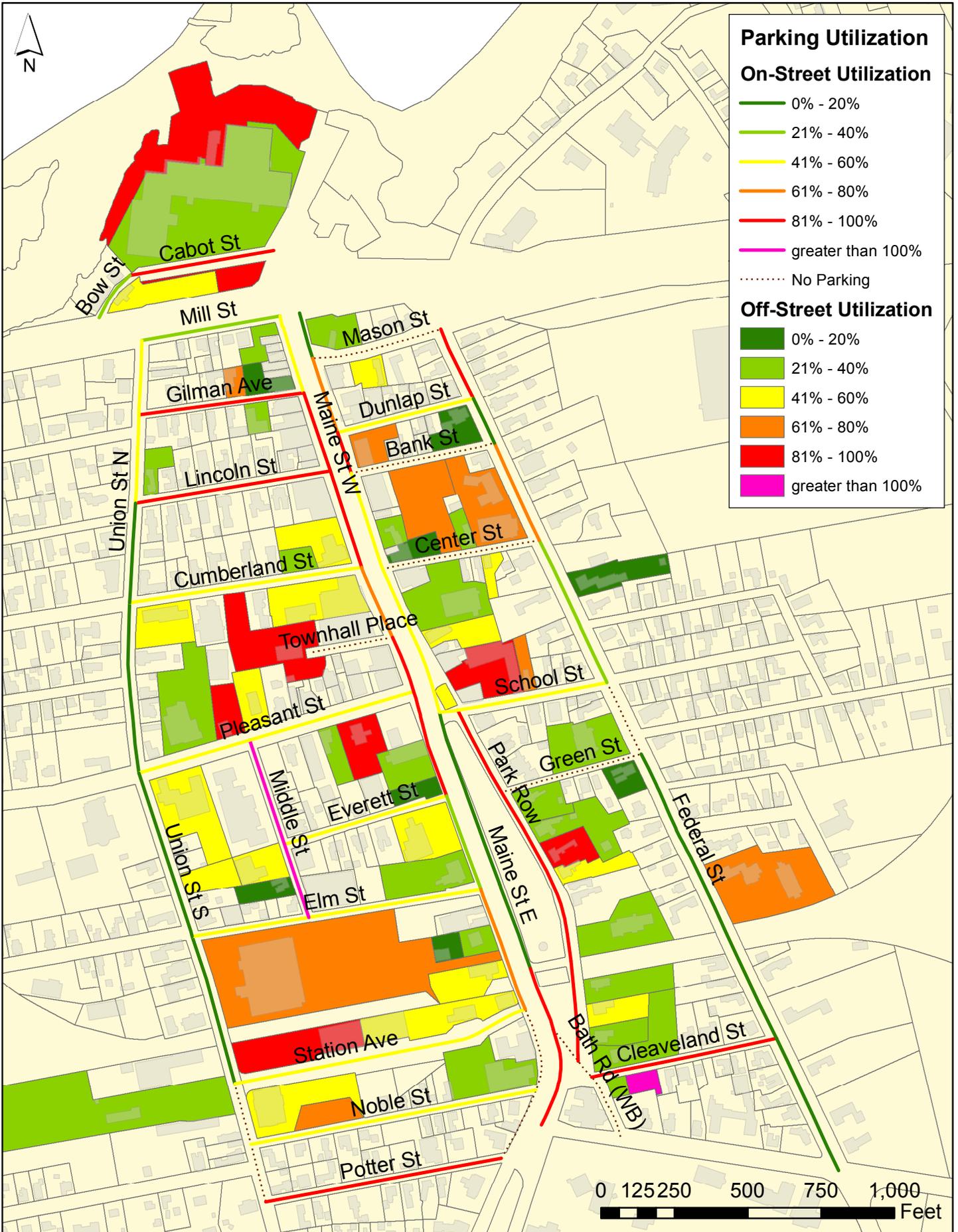
Curtis Y. Neufeld
Vice President

Sitelines PA
8 Cumberland Street
Brunswick, ME 04011
(fax) (207) 725-1114
(207) 725-1200 x18

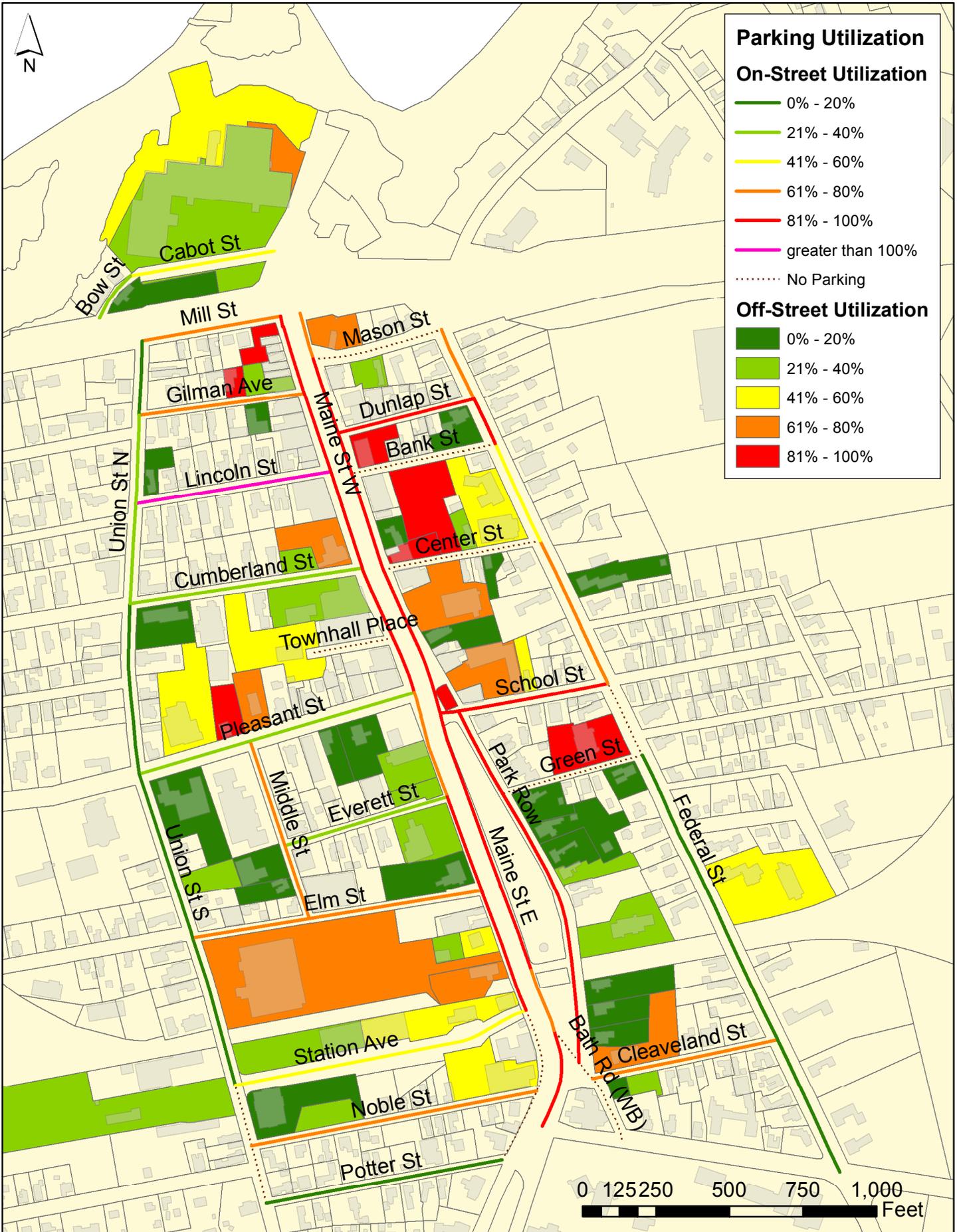
2016 Parking Audit - Monday, July 25, 10am



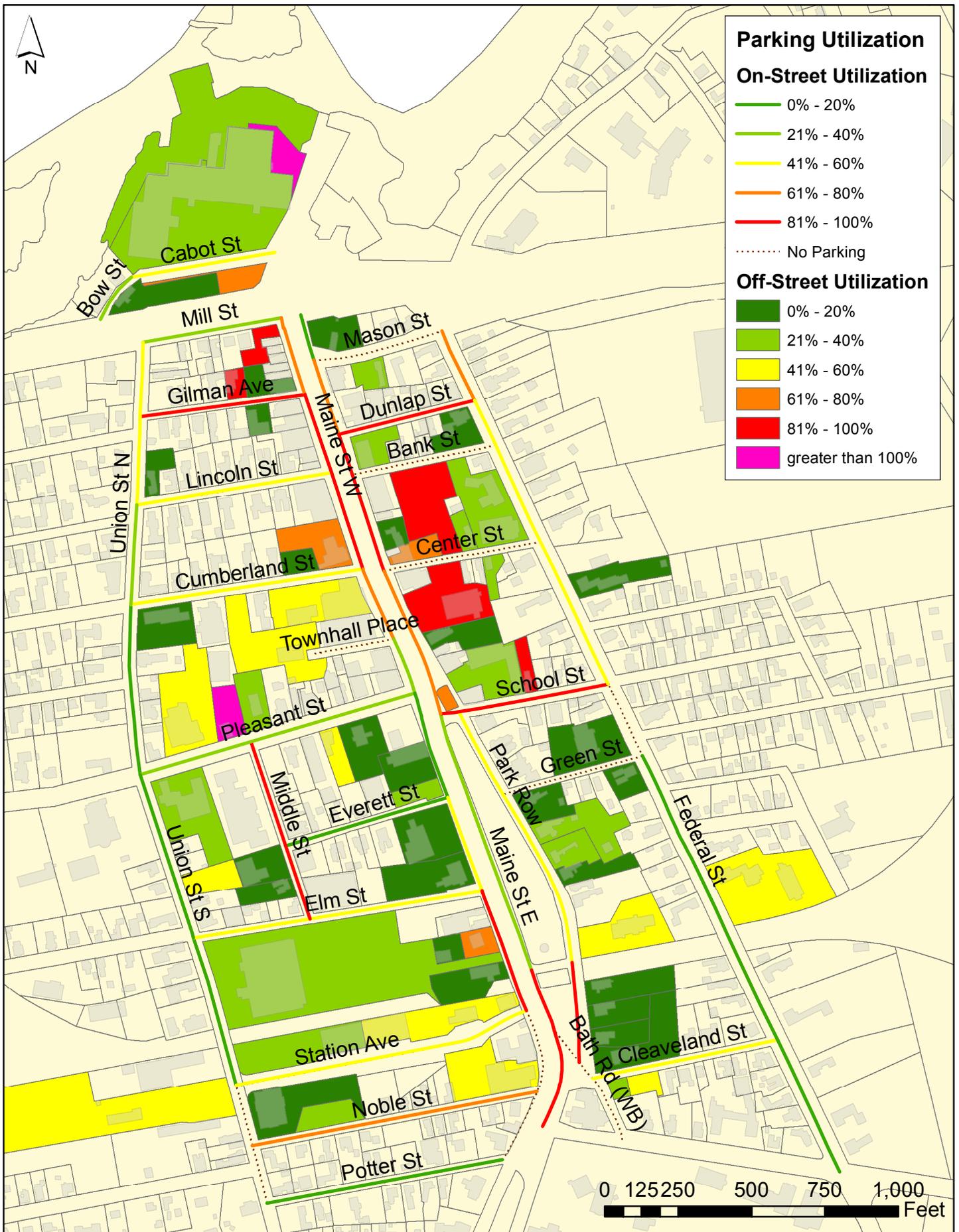
2016 Parking Audit - Tuesday, July 26, 3pm



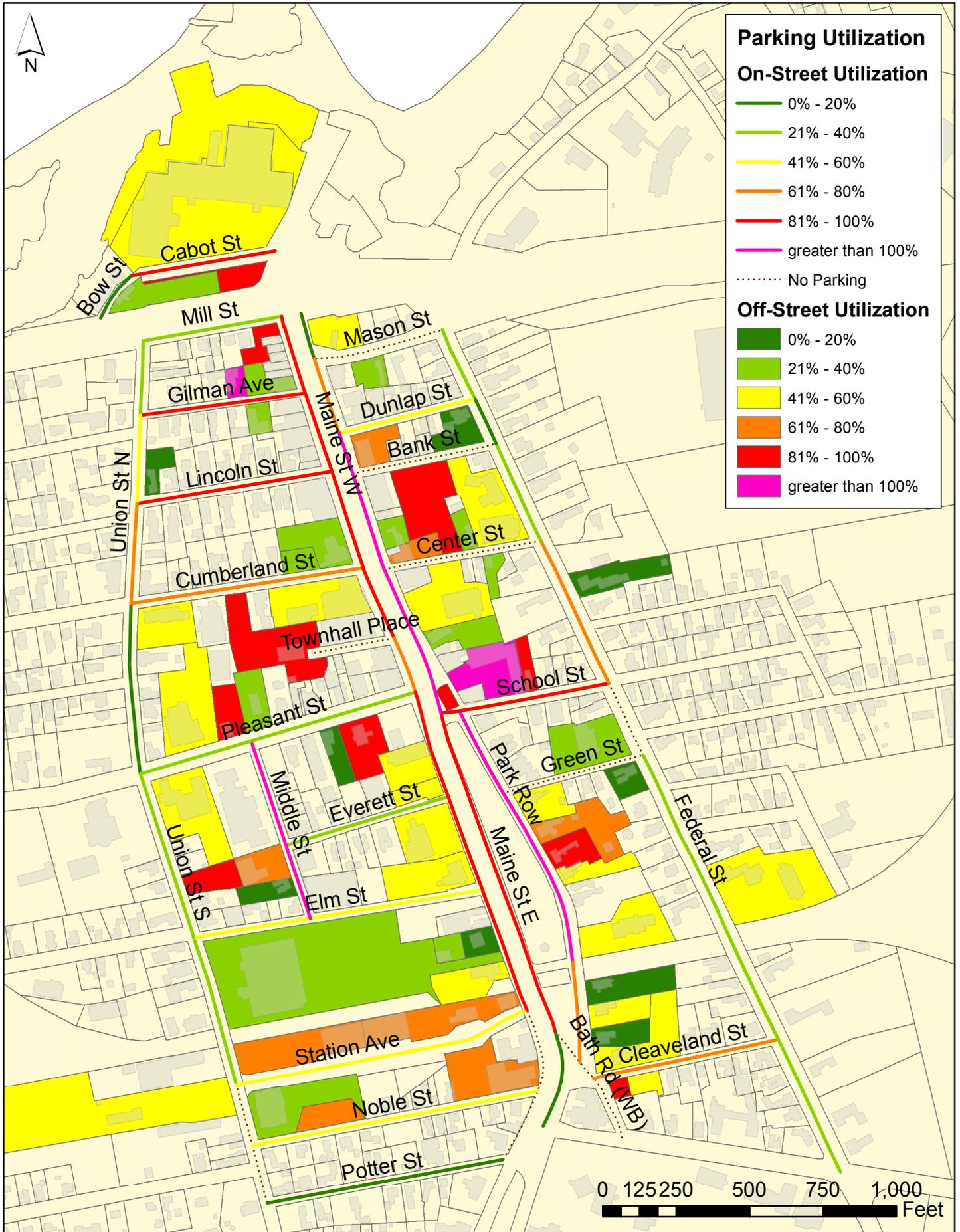
2016 Parking Audit - Wednesday, July 27, 6pm



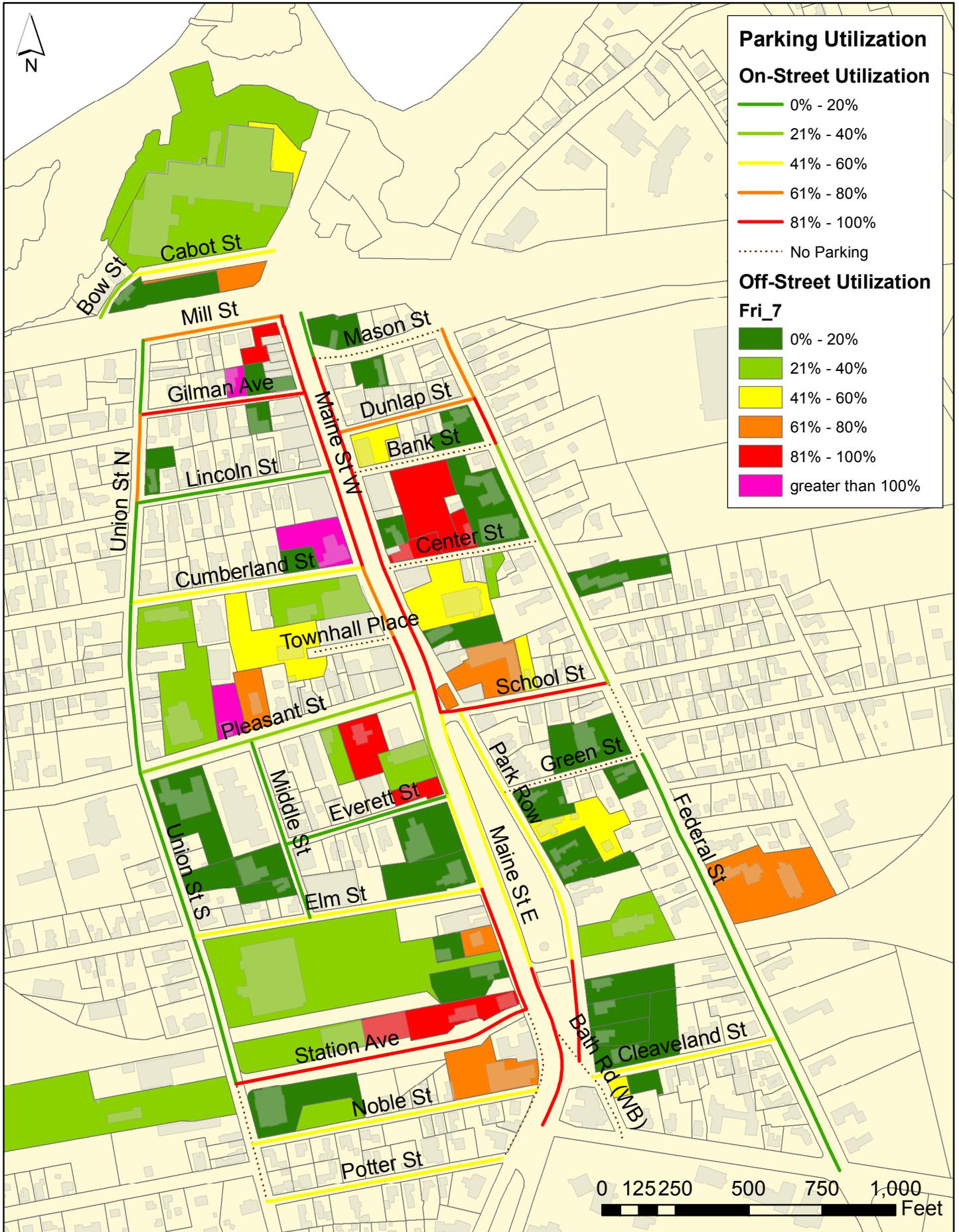
2016 Parking Audit - Thursday, July 28, 7pm



2016 Parking Audit - Friday, July 29, 12pm



2016 Parking Audit - Friday, July 29, 7pm



Julie Erdman

From: Anna Breinich
Sent: Wednesday, September 07, 2016 2:05 PM
To: Julie Erdman; Jared Woolston
Subject: FW: Safari Drive/Sprinklers

For lulwe workshop

Anna Breinich, FAICP
Director of Planning and Development
Town of Brunswick
85 Union Street
Brunswick, ME 04011

(207) 725-6660, ext. 4020 (v)
(207) 725-6663 (f)
(207) 504-0549 (c)
abreinich@brunswickme.org
www.brunswickme.org

-----Original Message-----

From: Christopher Cline [<mailto:cliney358@gmail.com>]
Sent: Wednesday, September 07, 2016 1:18 PM
To: Anna Breinich
Subject: Safari Drive/Sprinklers

Anna,

Thanks for taking the time to talk with me today. Below is a overview of what happened and what I would like to try and do.

In March of the this year my wife and I agreed with Fortin Construction to build a home on lot 7 in the Lulwe Subdivision in Brunswick. Fortin construction purchased the land for us and then we started designing our home within the budget we had allowed ourselves.

All decisions had been made regarding the construction of the home. Fortin construction began to apply for permits. When they applied for the building permit they were informed that the house needed to have a sprinkler system installed to meet code. The requirement was noted on the first page of the subdivision plans. Neither myself nor Fortin construction were ever given the first page from the listing agent that had these requirements. We were only given the second page that included our lot on it.

I was informed on July 19th about the situation with the sprinklers adding \$14000 to the cost of our construction. My first action was to ask how this happened and is there any way around this. Fortin explained to me that they did their research but if they were never given the plans from the listing agent how could they have known. The declaration states that all construction builds must adhere to the corner stone plans. The corner stone plans were given to us but like I said above only the 2nd page with our lot on it. No one was aware of the 1st page until the permit process started. I asked about the listing agent if she had known about it and in a round about way I was told that she had no idea about it and was not responsible for it. That's all I've heard about from that end of it.

On the corner stone plan it states that sprinklers are required unless waived by the fire department. So I started to explore that avenue. I spoke and met with the Chief (along with members from the code and planning department) about our situation and the possibility of getting a waiver. The Chief ultimately chose to decline the waiver due to safety concerns.

What I am trying to do next is get the requirement removed from the subdivision all together. There is another family currently in the same situation as I am and was caught off guard not knowing about the requirement until they started to apply for permits as well. The subdivision was taken over in 2006. In 2009 a home on lot 9 was built without sprinklers even though they were required to do so. It was either waived or missed during the permitting process. There are also two other homes built before 2006 that have been grandfathered that do not have sprinklers. Also this subdivision is located off of Collinsbrook Road where there have been several new constructions built on that road also not requiring sprinkler systems. If I had known about the requirement before hand I most likely would have explored elsewhere due to the cost of the system.

Thanks again for trying to help me with this. I really wish we were not in this position but we are. It's been a very frustrating time for us as well as the other family building. If you need any other information about costs of the house, the sprinkler system quote, please let me know and I will get it to you.

Also I was able to get a hold of Harold Hinkley and he said that he would email you and is aware of what is going on

Chris Cline
207-798-9437

Julie Erdman

From: Anna Breinich
Sent: Wednesday, September 07, 2016 9:18 PM
To: Julie Erdman
Subject: Fwd: Brunswick Planning Bd, Chris Cline

For packet.

Sent from my Verizon Wireless 4G LTE DROID

----- Original Message -----

Subject: Brunswick Planning Bd, Chris Cline
From: atemh@earthlink.net
To: Anna Breinich <abreinich@brunswickme.org>
CC: atemh@earthlink.net

To: Anna Breinich

Regarding the issue having to do with #20 under notes on Lulwe Ridge Subdivision plan. (Sprinklers)

I give my approval to owner of Lot 7, Chris Cline to present before the Town of Brunswick Planning Board the request that said note #20 regarding home sprinkler system be removed from the list of restrictions and free this financial hardship from owners of Lot #7 and Lot #4 and any future prospective buyers of remaining properties to be sold in Lulwe Ridge Subdivision.

Yours truly, Harold Hinkley

**Approved Findings of Fact
Final Subdivision Review
Review Date: October 10, 2006**

Project Name: Lulwe Ridge Subdivision
Case Number: (05-058) 06-58
Tax Map: Map 5, Lot 4
Applicant: Harold and Duane Hinkley
P.O. Box 429
Lisbon Falls, Maine 04252

Authorized Representative:

Jan Boucher
Cornerstone Professional Land Surveying, Inc.
28 Cornerstone Drive
Bowdoin, Maine 04287

AGENDA SUMMARY

The Board will review and take action on a **Final Plan** application submitted for the development of the Lulwe Ridge Subdivision, a proposed 11-lot subdivision off Collinsbrook Road; (**Assessor's Map 5, Lot 4, in the FF-1 Zone**).

The application has been submitted as an 11-lot Open Space Subdivision with 30.5 acres of open space. The subdivision is located in a rural residential area and will consist of lots that range in size from 1.6 acres up to 2.6 acres. The lots will be served by two minor private streets and will include a flag lot (Lot 9) that will be accessed via a right-of-way and private driveway.

The applicant has requested the following waivers, per Section 410:

1. Waiver for the Class A high intensity soil survey (Sec. 412.2 B.16). The applicant has provided the soil information from the Town of Brunswick G.I.S., which is equivalent to a Medium Intensity Soil Survey, provided by the Cumberland County Soil and Water Conservation Service. *Staff supports the waiver.*
2. Waiver for the minimum 2-acre lot size in the Farm and Forest District, per Section 308.3B. The applicant is developing the subdivision as an Open Space Development and qualifies for reductions in certain lot dimensional requirements such as minimum lot area, minimum frontage and some setbacks. *(The applicant does not need to request this waiver since Sec. 308 allows for reductions for these lot dimensional standards in Open Space Subdivisions [Ref. Sec. 411.1D]).*
3. Waiver for the requirements that elevation data be based on the USGS datum, per Sec. 407.9. The applicant has provided contour referencing on assumed datum since there is no elevation reference bench marks within a reasonable distance of the project site. A

similar waiver was given for the adjacent Birch Haven subdivision when it was approved in 2003. *Staff supports the waiver.*

4. Waiver for Sec. 507.B.1, to allow the easement for a private individual septic system on Lot 2 for the home on Lot 11. The Ordinance only permits this for community septic systems. *Staff supports the waiver; with a condition that the applicant can show that a suitable septic site can be located on Lot 2.* This will be necessary in the event that the older system needs to be replaced in the future. One or two test pits shown on Lot 11 could satisfy this condition.
5. Waiver for the requirement to show all trees over 10 inches in diameter, per Section 412.2.B.17. *Staff agrees with the applicant and supports this waiver since a substantial portion of the wooded area (i.e., wildlife habitat) is being preserved as part of the common open space.*

Review Standards from Section 411 of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The application is for the development of an 11-lot subdivision on 56.7 acres near the end of the Town way portion of Collinsbrook Road. The property is in the Farm and Forest 1 (FF1) zone and has two areas covered by a Natural Resource Protection Zone (NRPZ) and an area in the 100-year flood zone associated with the stream on the property. The subdivision is being developed as an Open Space Subdivision in accordance with Section 308, allowing for reductions in the standard dimensional requirements for lot size, frontage and setbacks. Development of the lot is also subject to the Rural Brunswick Smart Growth Ordinance (Section 217). The subdivision has been designed to preserve 53.7% of the 56.7 acre tract as open space in order to comply with the requirements for an open space subdivision. In addition to this, the subdivision plan preserves roughly 62% of the 36.8 acres that lies within the Rural Brunswick Smart Growth Overlay. The open space will preserve the large open field along Collinsbrook Road and a large forested area and wildlife habitat at the rear of the tract that will be contiguous with a larger surrounding forested area. The method of preservation is a conservation easement that will be held by the homeowners association. There will not be public access as part of the easement.

As an open Space Subdivision, the development qualifies for reductions in minimum lot size from 2 acres down to 20,000 sq. ft., minimum road frontage reduced from 250 feet to 100 feet, and side and rear setbacks reduced to 10 feet and 20 feet respectively. A minimum of 50% of the land must be retained as open space.

The open space for the Lulwe Ridge subdivision is designed to comply with Section 308.9A in accordance with requirements for Open Space subdivisions, and Section 519. The open space will be held by the homeowner's association and will not have a dedicated public conservation easement. Where the dedication of the open space will be to a homeowner's association and not the Town or another third party it does not need to be approved by the Conservation Commission. However, the open space will need to be designated as permanent conservation land in the Declaration of Easements and Covenants for the subdivision and recorded at the Cumberland County Registry of Deeds.

Lot 9: The access for Lot 9 is configured as a flag lot with a deeded right-of-way over Lot 8, in accordance with Section 305.7.A.2; however, Lot 9 also has 112 feet of frontage on the private road portion of Nyasa Lane. The Code Officer has determined that Lot 9 has adequate lot width/frontage for an open space subdivision lot, as well as meeting the requirements for a flag lot; a determination with which the Town Planner concurs. The Brunswick Fire Department has determined that there is adequate access for fire protection and agrees that a turn around does not need to be required for the end of Nyasa Lane provided the homes on Lots 8 and 9 are equipped with residential sprinklers in accordance with note #20 on the subdivision plan. *The Board finds the provisions of section 411.1 are satisfied.*

411.2 Preservation of Natural Features

The site is heavily wooded with moderate to significant topographical changes. As an Open Space subdivision, the development is required to preserve a minimum of 50% of the land. The open space set aside will be the large open field along Collinsbrook Road and a large wooded tract that will remain contiguous with the surrounding unfragmented forested area. The Lulwe Ridge subdivision preserves 30.5 acres (53.8%) of the 56.7 acre parcel as open space through a conservation easement, as well as 62% of the portion that is covered by the un-fragmented Wildlife Habitat Block (Rural Brunswick Smart Growth Overlay). The remaining land (26.2 acres) will be divided into the 11 lots and road right-of-way. The following table outlines the amount of preserved acreage for the Rural Brunswick Smart Growth Overlay

Total subdivision acreage:	56.7 acres
Total developed area:	26.2 acres
Total open space area:	30.5 acres (53.7%)
RBSG as % of Subdivision Acreage:	64.9%
Rural Brunswick Smart Growth Overlay:	36.8 acres (developed = 13.9; Preserved = 22.9)
Portion of RBSG being developed:	37.7% ($13.9/36.8 = 37.7\%$)

Disturbance of the original area within the RSBG Overlay up to 50% requires a 1:1 mitigation. The impact from this subdivision is 13.9 acres, which will require a minimum of 13.9 acres to be preserved. The new subdivision preserves 22.9 acres of the original wildlife habitat block. *The Board finds the provisions of section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands, and Marine Resources

The road and lot configurations have been designed to minimize impacts on the wetlands. Wetlands that are protected by the Town's Natural Resource Protection Zone have a 75-foot setback as required by the Town's Ordinances. Two large areas that are covered by the NRPZ are located in the open space and will not be disturbed. Other intermittent wetlands that are present throughout the development are not considered wetlands of special significance and do not require specific setbacks. Some lots may need additional D.E.P. permitting if the individual developments impact wetlands beyond what is shown on the subdivision plan. Prior to any construction on Lots 2 through 10, a diagram indicating the location of the proposed structures relative to the existing wetlands and NRPZ setback and for lot right-of-way setback lines as indicated on the subdivision plan shall be submitted to the Brunswick Code Enforcement Officer by a professional land surveyor, to ensure that the structures are within the proposed building

envelopes shown on the subdivision plan (note 21 of the subdivision plan). *The Board finds the provisions of section 411.3 are satisfied.*

411.4 Flood Hazard Area

The subdivision lots are located outside the mapped flood zone associated with the stream, which lies within the open space. *The Board finds the provisions of section 411.4 are satisfied.*

411.5 Stormwater Management

The applicant submitted a stormwater management plan by Hillier Associates, Inc. The drainage from the house lots, driveways and roads will be channeled into five culvert crossings at the natural low spots. The culverts are designed to handle anticipated storm flows with minimal detention and will channel the runoff into the natural drainages on the property. The drainage structures are design to accommodate the 25-year storm event. The Town Engineer has approved the plan. *The Board finds the provisions of section 411.5 are satisfied.*

411.6 Groundwater

The proposed subdivision is not located over any mapped groundwater aquifers in Brunswick. The project will be served by individual septic systems and wells, and the stormwater management plan has been approved by the Town Engineer. *The Board finds the provisions of section 411.6 are satisfied.*

411.7 Erosion and Sedimentation

The applicant has submitted an erosion and sedimentation control plan prepared by Hillier & Associates, Inc. and approved by the Town Engineer. *The Board finds the provisions of section 411.7 are satisfied.*

411.8 Sewage Disposal

The subdivision will use private individual septic systems for each of the 11 lots. Two test pits have been identified and investigated for each lot. The septic system design for each lot will need approval from Brunswick Code Enforcement Officer prior to obtaining a building permit for the lot. *The Board finds the provisions of section 411.8 are satisfied.*

411.9 Water

The subdivision will use individual private drilled wells for drinking water. Testimony of the applicant indicates that there is adequate water supply to serve this development. *The Board finds the provisions of section 411.9 are satisfied.*

411.10 Aesthetic, Cultural, and Natural Values

The subdivision will consist of single family homes in a predominantly rural area. The lots are designed so that they are located in the wooded area toward the highest part of the lot and will be mostly screened from the public way and neighboring properties. The large open field along Collinsbrook Road will remain undeveloped as part of the open space plan and serve as a significant visual buffer. The large wooded area in the rear of the lot will remain as open space and undisturbed as part of a large contiguous forested/wildlife habitat block. *The Board finds that the provisions of section 411.10 are satisfied.*

411.11 Community Impact

The impact on public infrastructure is expected to be at the same level as a typical residential subdivision. The Town Engineer has calculated a solid waste impact fee of \$258.60 per ton for 9 of the 11 lots in the subdivision. The total fee for the Solid Waste Impact Fee is \$2,327.40. The impact fee for the Durham Road warning light is \$765.00 (\$85.00 per lot). A recreation impact fee has not yet been calculated. All impact fees include credit given for existing homes on Lots 1 and 11. *The Board finds that the provisions of section 411.11 are satisfied with the following conditions: 1) that, prior to issuance of a building permit, the Solid Waste Impact Fee Recreation Impact Fee and Durham Road Warning Light impact fee shall be paid.*

411.12 Traffic

Access to the development will be through a private 12-foot wide gravel road called Safari Lane off the east side of Collinsbrook Road. Per the suggestion of the Town Engineer, Safari Lane will have turn-outs at least every 500 feet in order to allow room for emergency vehicles as well as passenger vehicles to pass on the road. Safari Lane is 1,350 feet in length and will be built as a minor private road. A shorter spur road will be developed for Lots 7, 8 and 9. The spur Road (called Nyasa Lane) will also be built as a minor private street and to the same standards as Safari Lane. The right-of-way for Nyasa Lane is 40 feet wide as required by Ordinance; continuing beyond the end of Nyasa Lane as a private driveway for Lot 9. Based on the overall road design and compliance with the recommendations of Town staff, the subdivision will not cause unreasonable public road congestion or unsafe conditions with respect to the use of the public and private roads existing or proposed. An impact fee for the signal light at the Durham Road/Collinsbrook Road intersection will be required for this development. *The Board finds that the provisions of section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The development is located in a rural setting and will have minor private roads that will consist of a 12-foot wide gravel travel way. No sidewalks or other pedestrian amenities are proposed and, given the rural setting and the existing development patterns of the area, none are warranted. *The Board finds that the provisions of section 411.13 are satisfied.*

411.14 Development Patterns

As noted above, no historical or archaeological resources have been identified in the area of the new subdivision. The development is located in a predominantly rural area and will have lot sizes and dimensions that are consistent with surrounding housing developments and other rural lots. The subdivision will be developed as an Open Space subdivision and will comply with Rural Brunswick Smart Growth Ordinance, as noted on the final subdivision plan. *The Board finds that the provisions of section 411.14 are satisfied.*

411.15 Architectural Compatibility

The lot owners will determine the individual home styles, finishes, and orientation. The single family homes will likely have similar styles as those in the surrounding rural area. No specific design standards are applicable, other than any requirements as noted in the declaration of covenants and restrictions for the subdivision. *The Board finds that the provisions of section 411.15 are satisfied.*

411.16 Municipal Solid Waste Disposal

As noted in Section 411.11 above, the Town Engineer has calculated a Solid Waste impact fee of \$2,327.40 (\$258.60 per lot). The existing homes on Lots 1 and 11 are exempt. *The Board finds that the provisions of section 411.16 are satisfied with the condition that, prior to issuance of a building permit for each of the lots, the Solid Waste impact fee of \$258.60 per lot shall be paid.*

411.17 Recreation Needs

The subdivision open space is set up in accordance with Section 308.9A and 519 will be held by the Lulwe Ridge homeowner's association. It will not have a dedicated public conservation easement. The open space will need to be designated as permanent conservation land in the Declaration of Easements and Covenants for the subdivision, which must be reviewed by the Town Attorney and Director of Parks and Recreation to determine if a recreation impact fee is required. Where the dedication of the open space will be to a homeowner's association and not the Town or another third party it does not need to be approved by the Conservation Commission. Any recreation impact fees would exempt the existing homes on Lots 1 and 11. *The Board finds the provisions of section 411.17 are satisfied with the condition that a recreation impact fee is paid if required by the Director of Parks and Recreation.*

411.18 Access for Persons with Disabilities

The development is for single-family homes on private lots and does not need to comply with the standards of the Americans With Disabilities Act. *The Board finds the provisions of section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The applicant has submitted a letter from Northeast Financial, LLC, indicating that the applicants have the financial ability to complete the proposed residential subdivision. The applicant will be required to provide the Town with a performance guarantee for the project, per Section 521.1. *The Board finds that the provisions of section 411.19 are satisfied, with the condition that a performance guarantee, meeting the requirements of the Town Engineer, shall be provided to the Town.*

411.20 Noise and Dust

After completion of construction, levels of Noise and Dust are not expected to surpass what would be expected from this permitted use. *The Board finds that the provisions of section 411.20 are satisfied.*

411.21 Right, Title, and Interest

The applicant has submitted deeds for the property. *The Board finds the provisions of section 411.21 are satisfied.*

411.22 Payment of Application Fee

The Sketch and Final plan application fees have been paid. *The Board finds the provisions of section 411.22 are satisfied.*

**LULWE RIDGE SUBDIVISION
FINAL PLAN CONDITIONS OF APPROVAL**

That the Board waive the following submission requirements.

- 412.2.B.16 Waiver for the Class A high intensity soil survey.
- 407.9 Waiver for the requirements that elevation data be based on the USGS datum.
- 507.B.1. Waiver to allow an easement for a private individual septic system on Lot 2 for the home on Lot 11
- 412.2.B.17. Waiver for the requirement to show all trees over 10 inches in diameter.

That the Final Plan be deemed complete.

That the Final Plan be approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to recording the subdivision mylar, the Declaration of Restrictions, Easement and Covenants and the Subdivision Association By-laws shall be approved by the Town Attorney, for compliance with Sections 308.8B and 308.9A and 519.
3. Prior to recording the subdivision mylar, the developer shall post a performance guarantee in an amount that is satisfactory to the Town Engineer, per Section 521.
4. That, prior to issuance of building permits, the Solid Waste Impact Fee of \$258.60 per unit shall be paid, with credit given for the existing homes on Lots 1 and 11.
5. That, prior to issuance of building permits, a recreation impact fee shall be paid if it is required by a determination of the Director of Parks and Recreation following a review of the open space language in the Declaration of Easement, Protective Covenants and Restrictions by the Town Attorney.
6. All homes within the subdivision, except for the existing homes on Lot s 1 and 11 shall require residential sprinklers per Note #20 on the subdivision plan.
7. That prior to issuance of building permits, the impact fee of \$85.00 per lot for the Durham Road warning light shall be paid, with credit given for the existing homes on Lots 1 and 11.

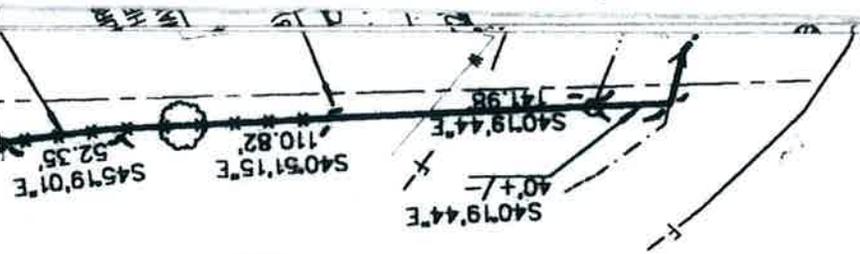
56.7 acres +/- less (1.67 acres + .13 acres + 22.6 acres +/- 24.6 acres +/-) = 32.1 acres +/- divided by 2 acres/unit = 16 units +/-.

APPROVAL

Units shall be constructed with their lowest floor, including the basement above the 100 year flood elevation.

CORD

Hintley 6717771, 24046/68 (54.7 +/- acre portion T.M. 5, Lot 4)
1865/181, 23279/138 (2 acre portion of T.M. 5, Lot 4)



N/F

THEW W. SENEAL & NANCY A. RACKIEWICZ
16212/213
TAX MAP R5, LOT 18



LEGEND

- 12) The 100 year flood hazard boundary shown hereon was scaled approximately from the existing FEMA maps at the Brunswick Town Office in terms of the varying width of the zone along the center of the brook shown on the said map, the widths were then applied to the approximate centerline of the brook as located and shown hereon, since the zone boundary as shown on said map would not follow the meandering centerline of the existing brook if transferred directly to this plan as drawn on the FEMA map. No base floor elevation for the brook is given on said map.
- 13) Trees noted hereon as to be preserved shall be preserved to the best extent possible.
- 14) All structures shall be erected within the building envelopes as shown hereon.
- 15) A 10' wide property line buffer of existing natural vegetation shall be maintained on all lots, to be broken only for the installation of utilities, driveways, and septic systems, where necessary.
- 16) Soil within Wetland "A" on lots 5 and 6, and Wetland "B" on Lot 2, may be disturbed only for the installation of driveways and underground utilities adjacent to said driveways or sewage lines if required, for a total width of disturbance (measured perpendicular to the centerline of the driveway or sewage line), not to exceed 24' on each lot for driveways and utilities, and 6' for sewage lines. Wetland "B" may be further disturbed/filled for the installation of improvements if, after review by the developer and the Town of Brunswick Codes Enforcement Officer, it is determined that a Maine D.E.P. permit is not required, or, if said permit is retained.
- 17) The Resource Protection Zone Boundaries shown hereon are approximate only and shall be verified in the field if necessary, before clearing begins on Lots 4, 5, 6, and 9. Cutting limitations and restrictions within the Resource Protection Zones shall be as outlined in the Brunswick Zoning Ordinances. No construction shall occur within the said Resource Protection Zones.
- 18) These lines approximate the location of boundary lines described in early deeds recorded in Cumberland County Registry of Deeds in Book 156, Page 263; Book 127, Page 142; and Book 225, Page 345, the locations of which appear to disagree either with boundaries or recommended agreement boundaries as shown on the plans in references #3 & 6.
- 19) These areas indicate discrepancies between the apparent lines of historic occupation as evidenced by stone walls and or wire fences, and boundary lines as shown on the plans in References #3 and 6. Boundary agreements are recommended for future clarification of the location of the boundaries in these areas if deemed necessary.
- 20) All new dwellings on lots 2 through 10 shall install residential fire suppression sprinkler systems, unless waived by the Brunswick Fire Department.
- 21) Before construction begins on any proposed structure on Lots 2 through 10, a diagram indicating the location of the proposed structure(s) relative to the existing wetlands, RPZ setback, and lot/right of way setback lines as indicated on this plan, shall be provided to the Brunswick Codes Enforcement Officer by a Professional Land Surveyor, to ensure the structures lay within the proposed building envelopes shown on this plan.

○ CAPPED 5/8" REBAR IRON PIN TO BE SET (Cornerstone PLS 2069 unless noted)

○ EXISTING SIGN

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
MAY 31, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Bill Dana, Jeremy Evans, Sande Updegraph, and Richard Visser

STAFF PRESENT: Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, May 31, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case #16-016 New Meadows River Estates Amendment: The Planning Board will review and take action on a Final Plan Major Development Review application submitted by Tami B. Hamilton, the personal representative for the Estate of Myrtle I. Collins to approve subsurface wastewater disposal on Lot 2, so-called, and remove an existing sewer easement on Lot 2 which provides access to an approved common subsurface wastewater disposal system located on Lot 4, so-called. The approved subdivision is comprised of four (4) recorded lots located at 282 Adams Road within the (FF3) Farm Forest 3 / New Meadows River Area, and the Natural Resource Protection Zone, (Map 46, Lot 41A).

Jared Woolston introduced the Major Development application and reviewed the case history and project summary included in the Draft Findings of Fact dated May 31, 2016. Jared pointed out that this application is being prompted by a buyer who wishes to remove the existing sewer easement from Lot 2.

Curt Neufeld, of Sitelines and applicant representative, reiterated that they are not changing anything other than the sewer easement for Lot 2. Charlie Frizzle asked if the applicant knew what the 30 foot setback was and if there would be any issues with placing the septic in this location. Curt replied that the septic system can be placed in a setback so long as the tailings do not go anywhere they shouldn't and illustrated where the tailings would be on the lot.

MOTION BY MARGARET WILSON THAT THE MAJOR DEVELOPMENT REVIEW AMENDMENT IS DEEMED COMPLETE. MOTION SECONDED BY SANDE UPDEGRAPH, APPROVED UNANIMOUSLY.

Chair Charlie Frizzle opened the meeting to public comment.

Ellie Stein, 28 Bullrock Road, questioned where the septic systems was going to be placed. Charlie Frizzle pointed out that the proposed system for Lot 2 is in the upper left corner. Ellie said her concern is the septic being placed in Lot 4 and the location of her water well. Charlie said that when and if Lot 4 is ever purchased, her well will be an item for discussion. Bill Dana pointed out the buyer is also interested in purchasing Lots 3 and 4. Jared Woolston replied that Lot 4 was already approved for a common septic system. Charlie asked that if and when a septic system permit is ever requested for Lot 4, that Ellie Stein be notified.

Chair Charlie Frizzle closed the meeting to public comment.

Jane Arbuckle asked what changes in the regulations have changed making the individual septic system allowable. Curt Neufeld replied that he did not know exactly. Curt reviewed the proposed common septic plan for Lots 3 and 4 and said that the leach field is located in the center of the lot; any well would have to be at least 100 feet from this location.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT REVIEW AMENDMENT IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to the these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to recording the final plan, a copy of the final plan shall be signed and sealed by a licensed surveyor and provided to the Director of Planning and Development.

MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

2. Case #16-017 The McLellan: The Planning Board will review and take action on a Final Plan Major Development Review application submitted by authorized representatives, Sitelines P.A. for Amy McLellan of McLellan Nursing Enterprises for the creation of five (5) independent senior living dwelling units, and twelve (12) congregate care senior living units. The proposed development is located at 26 Cumberland Street within the (TR1) Inner Pleasant Street Zoning District, and Village Review Zone (Map U14, Lot 63).

Jared Woolston introduced the application for a sub-division with 5 full size units and 12 congregate care units.

The applicant representative, Dick Campbell, said that he has been working with the applicant, Amy McLellan, in creating a very aggressive business plan for the next generation of assisted living. The individual homes being proposed will be a new concept as this will be located in town. Dick said that Amy is a registered nurse who will be living at this location as well. Dick said that they have been working with Sitelines on the site plan and that they are trying to lighten up the building as it has a cold feeling right now with an almost Native American design to it. The garages on the back side of the lot will be changed to take on the traditional theme of the surrounding buildings. The Union Street entrance will also be changed to have more of a colonial look and that they are going to try to put some of the elements of the hospital that used to be at this location back. Dick pointed out that they are at the maximum permeable coverage allowed to date, but will be working to eliminate some of that as the project continues and will be working on the water issues on the corner of Cumberland and Union Street. As of now, they do not have soil surveys, but they do have dig safe coming to the site. Dick said that they have

parking on Union Street and that they were requested to eliminate the spots and extend the sidewalks, but the concern is that the delivery trucks would not be able to make the turn and would be spending too much time on Union Street. Richard Visser asked about the tree waiver request narrative that was indicated on the Final Plan Submission. Jared Woolston replied that they have indicated all trees over 10 inches in diameter on the final plan; the waiver is no longer applicable and have indicated that with the drip edge of the garage, they may need to remove a couple of the trees in order to get the amount of crushed rock to fill in the area. Dick said that they are hoping not to remove the trees and are going to try and work around them. Richard asked about the profiles of existing streets and Charlie replied that they are not doing anything with regards to the street. Dick replied that they were just trying to check all the boxes and pointed out that it appears that the Town is upgrading the sidewalks on Union Street. Jared said that as listed in the agenda, this project is for 12 congregate units and 5 individual units, but that the final narrative states that this project is for 13 congregate unit 5 individual units and 1 owner occupied unit. Dick confirmed that it is 19 total.

Margaret Wilson said that this will be a new sight line to the neighbors to the west and asked how far away the resident is. Dick Campbell said it would be about 18 to 20 feet from the parking lot and about 45 to 50 feet from the building; the reason why they are not putting windows into the garage is to create a visual blockage. Margaret agreed that it would be important to save the trees if possible. Sande Updegraph asked for clarification regarding the on street parking on Union Street. Charlie Frizzle replied that the on street parking is more for guests and is open to anyone. Sande asked for clarification concerning delivery and emergency vehicle access to the site. Dick illustrated on the lot layout the emergency and delivery entrance / exists and turning radius.

Chair Charlie Frizzle opened the meeting to public comment. Hearing no comment, the public comment period was closed.

MOTION BY MARGARET WILSON THAT THE REQUESTED WAIVERS ARE APPROVED. MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

1. Off -Street Parking
2. Class A Soil Survey
3. Profile, cross-section dimensions, curve radii of existing streets

MOTION BY BILL DANA TO DEEM THE FINAL PLAN MAJOR DEVELOPMENT REVIEW COMPLETE. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY JEREMY EVANS THAT THE FINAL PLAN IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a

minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

2. That prior to the issuance of a building permit, a stormwater management plan shall be submitted to the satisfaction of the Director of Planning and Development.
3. That prior to the issuance of a building permit, written notification from the Brunswick Topsham Water District (BTWD) which demonstrates that the development has a water source that is adequate to serve the proposed development, and that will have no adverse impact on existing water supplies shall be submitted to the satisfaction of the Director of Planning and Development.
4. Prior to the issuance of a building permit, proof of financial capacity and maintenance shall be provided to the satisfaction of the Director of Planning and Development.
5. That prior to the issuance of an occupancy permit, any required recreation impact fees are paid to the satisfaction of the Director of Parks and Recreation.

MOTION SECONDED BY SANDE UPDEGRAPH, APPROVED UNANIMOUSLY.

~~**3. WORKSHOP Case #16-010 Beacon Ridge Subdivision:** The Planning Board will review a WORKSHOP application submitted by Site Design Associates, the authorized representatives of Ecopath Developers, LLC, to consider alternatives to the street standards for an access road that serves a possible single family residential subdivision within the growth area. The proposed subdivision may result in the creation of up to 35 residential lots located in the (R6) Cook's Corner Neighborhood; Cooks Corner Zoning District; and Natural Resource Protection Zone (NRPZ) (Map 42, Lot 16).~~

4. Zoning Ordinance Rewrite Update: Next meeting scheduled on June 1st .
5. Other Business: No other business.
6. Approval of Minutes:

MOTION BY MARGARET WILSON TO APPROVED THE MINUTES OF JANUARY 12, 2016. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG THOSE PRESENT.

Revised 5/31/16 to remove item #3

Adjourn

This meeting was adjourned at 7:44 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JUNE 14, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Bill Dana, Jeremy Evans, Sande Updegraph, and Richard Visser

MEMBERS ABSENT: Jane Arbuckle

STAFF PRESENT: Anna Breinich, Director of Planning and Development; Jeff Hutchinson, Codes Enforcement Officer; Amanda Perkins, Bowdoin College Summer Intern

A meeting of the Brunswick Planning Board was held on Tuesday, June 14, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case #16-019 Maine Street Station Site Plan Approval Extension: The Planning Board will review and take action on a Site Plan Approval Extension request submitted by authorized representatives, Sitelines, PA, for JHR Development of Maine, LLC for Maine Street Station which was approved on June 24, 2008 and two-year extension approvals on April 27, 2010, May 22, 2012, and May 13, 2014, respectively. The most recent approval is scheduled to expire on June 24, 2016. The remaining two (2) undeveloped recorded lots are located at 16 Noble Street (building lot 5) and the corner of Station Avenue and Union Street (building lot 6) within the Town Center 1 (TC1) Zoning District, (Map U16, Lots 105 and 106).

Charlie Frizzle introduced the application for site plan reapproval extension. Curt Neufeld, of Sitelines, added that there are only two lots left to be developed. One lot is currently being used as a parking lot and may not be useable. The other, with access off Noble Street is not unuseable space. Richard Visser asked about the parking lot area. Curt replied that the area is being used as a parking lot, but the original proposal did have a building drawn at this location and this is still the intent. Curt noted that the Noble Street lot does include shared parking. Sande Updegraph asked if the Noble Street lot would displace anything that is currently there. Anna Breinich replied that this one building that was apartments and was purchased and made part of the original Maine Street Station plan and subdivision.

MOTION BY BILL DANA TO APPROVE THE EXTENSION OF SITE PLAN APPROVAL FOR JHR DEVELOPMENT OF MAINE, LLC FOR MAINE STREET STATION. MOTION SECONDED BY SANDE UPDEGRAPH, APPROVED UNANIMOUSLY.

2. Presentation by the Zoning Ordinance Rewrite Committee of the draft Zoning Ordinance for Planning Board review

Charlie Frizzle provided a brief overview of where the current Zoning Ordinance is and what needs to be done in order to address issues within the current ordinance. Charlie said that the ordinance has not been updated since 1997 and does not reflect the 2008 Brunswick

Comprehensive Plan requirements. In addition, between now and 2008, Brunswick has gained a major development opportunity with closure of the Navy base and creation of Brunswick Landing. Charlie said that in 2013, Brunswick began the rewrite process with the goal of reflecting the planning direction by both the Comprehensive Plan and the Brunswick Landing Planning process, make the document more user friendly, simplify the structure of the zoning districts and their uses, better integrate controls for Brunswick Landing with those of the rest of the Town, taking a look at best practices being used elsewhere and ensure that the ordinance complies with Maine State Law. Charlie reviewed those involved in the makeup of the Zoning Ordinance Committee and said that they have held over 100 work sessions and public forums, there has been the creation of a Facebook page and said that staff has received well over 100 public written comments with regards to the update. Charlie explained the analysis done by Clarion. In July 2014 the first publicly reviewed draft was published. A second draft was issued in July 2015. Tonight, a draft has been issued for Planning Board review. Charlie said that there are 3 parts yet to be completed: Stormwater Management, Shoreland Protection, and Signs, all of which will be forthcoming. Charlie explained the adoption process. Anna Breinich reviewed the highlights and changes within the draft Zoning Ordinance.

Curt Neufeld of Sitelines, said that this draft has been a major step forward and even though he salutes the idea of eliminating minimum lot sizes, pointed out that if someone wanted to add accessory units in Downtown, it would not be possible with a maximum density per dwelling unit of 4,000 sq. ft. Anna Breinich replied that in downtown area, there are no dimensional standards. Curt asked if for accessory units at higher density, are there any provisions in the ordinance for parking. Margaret Wilson replied that they have loosened the parking requirements. Curt asked for ZORC to consider reducing parking stall width from 26 feet to 24 feet.

3. Other Business: No other business.

4. Approval of Minutes:

MOTION BY BILL DANA TO APPROVE THE MINUTES OF JANUARY 12, 2016.
MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY AMONG
THOSE PRESENT.

MOTION BY JEREMY EVANS TO APPROVE THE MINUTES OF MARCH 22, 2016.
MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY AMONG
THOSE PRESENT.

MOTION BY RICHARD VISSER TO APPROVE THE MINUTES OF APRIL 5, 2016.
MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

MOTION BY MARGARET WILSON TO APPROVE THE MINUTES OF APRIL 26,
2016. MOTION SECONDED BY BILL DANA, APPROVED UNANIMOUSLY.

MOTION BY SANDE UPDEGRAPH TO APPROVE THE MINUTES OF MAY 10, 2016.
MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

Adjourn

This meeting was adjourned at 8:29 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JUNE 28, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Jane Arbuckle, Bill Dana, Jeremy Evans, and Richard Visser

MEMBERS ABSENT: Vice Chair Margaret Wilson and Sande Updegraph,

STAFF PRESENT: Jared Woolston, Town Planner

A meeting of the Brunswick Planning Board was held on Tuesday, June 28, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case #16-010 Beacon Ridge Subdivision: The Planning Board will review and take action on a Sketch Plan Major Development Review application submitted by authorized representatives from Site Design Associates for Ecopath Developers, LLC, to revise a Sketch Plan that was approved by the Planning Board on April 5, 2016 with the construction of a 1,200 linear foot access road for a single family residential subdivision comprised of twenty four (24) lots, located in the R6 (Cook's Corner Neighborhood); Cooks Corner Zoning District; and Natural Resource Protection Zone (NRPZ) (Map 42, Lot 16).

Jared Woolston introduced the application for Beacon Ridge Subdivision and reviewed the project summary.

Tom Saucier with Site Designs, reviewed the site and said that after discussions with the Sewer District, the subdivision will have public sewer. This has allowed the applicant to rethink the layout of the subdivision and they are now proposing a 24 unit subdivision. Tom said that they will include a walking trail to the remaining property and have included a designated open space, roughly 5 acres, for subdivision requirements. Tom said that they have mapped the wetlands and that most of the lots do not have wetlands on them. Tom pointed out that Lot 5 does have some wetlands and although they could obtain a permit from DEP to fill this, they have drawn the building envelope to exclude the wetlands. This subdivision is proposed to be completed in three 8-lot phases and a phasing plan will be provided with the Final Plan submission. Jane Arbuckle asked if the land with the pedestrian walkway is being set aside. Tom replied that the land is being set aside with no encumbrances at this time. Jane asked if any egg masses were found even though there were no significant egg masses. Tom replied that they will include a report in the final plan submission, but that the surveys showed no significant masses or they were different species / different seasons; the masses certainly did not rise to the level of significance. Richard Visser asked about sidewalks. Tom replied that they are not proposing sidewalks with this subdivision and that it would be costly for the town to extend the sidewalks beyond the subdivision. Bill Dana asked if the Hammerhead Road would be accessible for emergency vehicles. Tom replied that the road and the Hammerhead are both being built to Town standards. Jane asked if it was acceptable that the area designated for open space is largely wetlands. Charlie Frizzle replied that as long as they are not asking for the Conservation Commission /

Town to maintain ownership of the land via deed restriction, it is acceptable. Charlie pointed out though that the new Zoning Ordinance will change this. Jared Woolston stated that Anna Breinich has asked that the Conservation Commission and the Recreation Commission both review the proposed open space.

Chair Charlie Frizzle opened the meeting to public comment.

Marcus Headley asked who will maintain the road after construction is complete. Charlie Frizzle replied that as long as the road is private, the homeowners will have to maintain it and if and when the road is taken over by the Town, the Town will maintain it.

Chair Charlie Frizzle closed the public comment period.

MOTION BY BILL DANA THAT THE BOARD DEEMS THE SKETCH PLAN TO BE COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

MOTION BY RICHARD VISSER THAT THE BOARD APPROVES THE SKETCH PLAN. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

2. Case #16-022 Mid-Coast Health Services Sketch Plan: The Planning Board will review and take action on a Sketch Plan Major Development Review application submitted by authorized representatives from Pine Tree Engineering for Mid-Coast Health Services to construct three (3) new parking areas containing one hundred fifteen (115) new parking spaces. The site is located at 123 Medical Center Drive within the CC (Cooks Corner Center) Zoning District, the Medical Use Overlay Zone (MUZ). The parcel contains the Natural Resource Protection Zone (NRPZ), and Rural Brunswick Smart Growth Overlay District - Wildlife Habitat Block, (Map 45, Lot 32).

Jared Woolston introduced the Sketch Plan Major Development application and reviewed the project summary.

Charlie Frizzle disclosed that although he no longer serves on the Board of Midcoast/ Parkview Health Board, he does serve on several committees such as the Finance Committee, the Midcoast Medical Committee and more importantly a Building Steering Committee. Charlie said that some months ago he attended a Steering Committee meeting where they first discussed additional parking, but that since the initial meeting, he has not attended a meeting where this project was discussed. Normally, Charlie said that he would recuse himself from the Board, but given that Margaret Wilson is absent and cannot serve as Vice Chair and that there is not a full Board present, Charlie asked if the Developer and Applicant if they minded if he stayed as a voting member. No Board members or members of the public, including the applicant had any issues with Charlie remaining a voting member.

Applicant representative, Rob Prue, of Pinetree Engineering, introduced himself. Jared Woolston pointed out that the Findings of Fact will need to be revised to reflect the new plan. Rob reviewed the proposed parking locations on the site plan. Rob said that the site has had several different additions / expansions including medical offices, emergency department entrance and parking. All the additions have been approved by the Planning Board and Maine

DEP. Rob said that the geometry, landscaping and lighting plans will be the same as the rest of the parking areas so that the new parking will not look like an addition.

MOTION BY RICHARD VISSER THAT THE BOARD DEEMS THE SKETCH PLAN TO BE COMPLETE. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

Jane Arbuckle asked what the darker green is on the plan. Rob replied that the darkest green is remaining forested land, the lighter green is forested wetlands that has been mapped and the olive green is developed areas that are basically landscaped. Jane asked if there will be a walkway from the proposed right side parking area. Rob replied that there will be. Charlie Frizzle added that the proposed parking will be mainly staff parking. Rob said that the intent is to not have pedestrian parking in the new lots, but more designated employee parking. Bill Dana asked what the slope / elevation was from the proposed parking to the street and how tall is the retaining wall. Rob replied that it will be 4 to 5 feet with crushed stone. Richard Visser asked how many vehicles are on or near the 81 Medical Center Drive. Rob replied that there are 134 parking spots currently and they would be adding 67 more. Richard expressed his concern that this is a lot of vehicle traffic for one entrance / exit. Richard asked about snow removal. Mike replied that they use Crooker to remove the snow when needed and it has worked well in the past. Jane Arbuckle asked about the drainage from the left lot as it is close to the NRPZ. Rob replied that they are proposing to install a new underground storage basin that will be filtered and then discharged into the forested wetlands.

Chair Charlie Frizzle opened the meeting to public comment. No comments were made and the comment period was closed.

MOTION BY BILL DANA THAT THE BOARD APPROVES THE SKETCH PLAN. MOTION SECONDED BY JEREMY EVANS, APPROVED UNANIMOUSLY.

3. Case #16-024 Sweet Dreams Major Development Review Amendment: The Planning Board will review and take action on a combination Sketch & Final Plan Major Development Review application submitted by Marcus Headley for Sweet Dreams Inc. to provide new outdoor display areas. The site is located at 256 Bath Road within the CC (Cooks Corner Center) Zoning District (Map 45, Lot 55).

Jared Woolston introduced the application for Sweet Dreams Inc to provide new outdoor display areas and reviewed the project summary.

Marcus Headley, applicant, reviewed the site layout and said that they have been at this location for roughly 16 years. Marcus said that they wish to propose some small pressure treated pad approval that they put in not knowing that they needed Planning Board approval. Marcus said that he has been working with the Codes Enforcement Officer closely and that they are also seeking to put in an impervious area of crushed stone and have included a drainage plan completed by Wright Pierce. Marcus said that that the purpose of the stone area is to sell small type homes and garden sheds. Marcus said that the cross hatching across the side is currently grassed area with a lot of shrubbery and trees. They currently use the area to display outdoor

furniture and would like to continue to do this. Marcus said that since the original development they have added additional shrubbery and 10 additional trees. Bill Dana asked if there was a slope between the display area and the Bill Doge parking lot. Marcus replied that there is a buffer of large trees and a natural swail that runs along the lot; Doug Rice, of Wright Pierce, has taken advantage of the swail to create a drainage area should they do the impervious area. Richard Visser asked if they still planned on asking for a waiver regarding the Class A Soil survey. Marcus replied that the soils have not changed since the original building was put in so they are still requesting a waiver. Jared pointed out that what has changed is that the area was forested and now it is lawn area. Marcus provided a landscape history of the lot. Jared pointed out that there is email correspondence included in the packet which discusses some of the history.

Chair Charlie Frizzle opened the meeting to public comment. No comments were made and the comment period was closed.

MOTION BY RICHARD VISSER TO APPROVE THE WAIVER REQUEST FOR CLASS A SOIL SURVEY. MOTION SECONDED BY JANE ARBUCKLE, APPROVED UNANIMOUSLY.

MOTION BY BILL DANA THAT THE MAJOR DEVELOPMENT REVIEW AMENDMENT IS DEEMED COMPLETE. MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

MOTION BY JEREMY EVANS THAT THE MAJOR DEVELOPMENT REVIEW AMENDMENT IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to the these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to the issuance of a building permit for existing and proposed structures as required by the Codes Enforcement Officer (CEO), a copy of the final stormwater management plan, including a narrative, and maintenance plan shall be signed and sealed by the design engineer or other qualified professional and provided to the satisfaction of the Director of Planning and Development.
3. That prior to the issuance of a building permit for existing and proposed structures as required by the CEO, test pit logs at the location of the proposed infiltration BMP, and a statement from the design engineer or other qualified professional that the proposed stormwater treatment system including two (2) infiltration areas, and a sediment trap was constructed to function as it was designed shall be provided to the satisfaction of the Director of Planning and Development

MOTION SECONDED BY JANE ARBUCKLE, APPROVED UNANIMOUSLY.

4. Other Business:

- Upcoming meeting on July 5 will include Zoning Ordinance Review of Chapters 1 & 2 as well as an additional agenda item.
- July 12 meeting will commence with Zoning Ordinance rewrite Chapter 3.
- Note regarding Town Lot review site walk on July 9th at 946 Mere Point Road to include joint Commissions.
- There will be a meeting on August 2, 2016.

5. Approval of Minutes: No minutes were reviewed at this meeting.

Adjourn

This meeting was adjourned at 7:52 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JULY 5, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Bill Dana, Jeremy Evans, and Richard Visser

STAFF PRESENT: Anna Breinich, Director of Planning and Development; Jared Woolston, Town Planner; Jeff Hutchinson, Codes Enforcement Officer

A meeting of the Brunswick Planning Board was held on Tuesday, July 5, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

~~**1. Case #16-025 Crystal Springs Farm Community Solar Farm:** The Planning Board will hold a Public Hearing then review and take action on a Special Permit application submitted by for a proposed community solar farm which is an omitted use. The proposed use is located in the Coastal Protection 1 (CP1) Zoning District; Natural Resource Protection Zone (NRPZ) (Map 22, Lot 163).~~

Revised 6/23/16: Item #1 postponed until further information is received by the applicant. Abutters within 200' will be notified when project is relocated and this item is rescheduled.

2. Workshop: Draft Zoning Ordinance Review - Chapters 1 and 2.

Chair Charlie Frizzle opened the meeting to public comment. Hearing none, the public comment period was closed.

Anna Breinich noted the sections in Chapters 1 and 2 that were changed significantly from the last revision. Members provided formatting, language and spelling corrections. Margaret Wilson noted that many of the changes that were made, especially those pertaining to shoreland zoning, stem from changes in State Law. Jeff Hutchinson further explained some of the changes in the non-conforming section. Anna encouraged Board members to review the Comprehensive Plan again with regards to increasing density. Margaret explained the density reasoning in the Comprehensive Plan.

3. Other Business: Next meeting is scheduled for July 12th.

5. Approval of Minutes: No minutes were reviewed at this meeting.

Adjourn: This meeting was adjourned at 8:05 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
JULY 12, 2016**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Jane Arbuckle, Jeremy Evans, and Richard Visser

MEMBERS ABSENT: Bill Dana

STAFF PRESENT: Anna Breinich, Director of Planning and Development; Jared Woolston, Town Planner

A meeting of the Brunswick Planning Board was held on Tuesday, July 12, 2016, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 6:30 P.M.

1. Workshop: Draft Zoning Ordinance Review – Chapter 3

Charlie Frizzle opened the meeting to public comment. No public was present and the public comment period was closed.

Charlie Frizzle referenced Margaret Wilsons Zoning Use Table Comparison that she created to assist people in understanding the changes that were made. Charlie pointed out that Section 3.1.1.B is a significant change from the previous ordinance is the addition of Conditional Uses and explained the addition. Board members provided formatting and language changes where applicable. Margaret provided an explanation of the Use Table and associated changes. Anna Breinich reviewed the significant changes made to Chapter 3.

Jane Arbuckle expressed her concern about the prohibition use of herbicides especially on invasive species in the APO Zones. Charlie Frizzle said that most of the restrictions come from the Brunswick Topsham Water District. Anna Breinich noted that there are instances where the use of pesticides are applicable.

2. Other Business

- Next meeting to be held July 26th.

3. Approval of Minutes: No minutes were reviewed at this meeting.

Adjourn

This meeting was adjourned at 8:24 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary

**BRUNSWICK PLANNING BOARD
MEETING MINUTES
DECEMBER 8, 2015**

MEMBERS PRESENT: Chair Charlie Frizzle, Vice Chair Margaret Wilson, Bill Dana, Jeremy Evans, Dale King, Soxna Dice, and Richard Visser

STAFF PRESENT: Director of Planning and Development, Anna Breinich; Town Planner, Jared Woolston

A meeting of the Brunswick Planning Board was held on Tuesday, December 8, 2015, in Town Council Chambers, 85 Union Street. Chair Charlie Frizzle called the meeting to order at 7:00 P.M.

1. Case # 15-027, Spruce Meadow Subdivision: The Board will hold a **Public Hearing** then review and take action on a **Final Plan Major Development Review** Subdivision Application submitted by William Moore, for a proposed 33-lot open space residential subdivision. **(Original Assessor's Map 13, Lot 34, 66-78) in the Mixed Use 5 (MU5) Zoning District and the Telecommunications Zone 2 Overlay (Lot 5).**

Jared Woolston introduced the application for the proposed 33-lot subdivision. Curt Neufeld, of Sitelines, PA, representative, reviewed a PowerPoint presentation for the subdivision and open space project. Curt reminded Board members that the site was originally approved as a commercial lot in 2009 with 4 residential lots abutting Durham Road; these lots have sold. Charlie Frizzle pointed out an inconsistency in the number of lots in the application and the number of lots on the plan. Curt clarified that the proposal is for 33 lots, 32 residential lots for sale with one lot reserved. Curt said that the reserved lot, lot 33, is not for sale because it is encumbered with wetlands and has been set aside. Curt reviewed the phases, amenities, and waiver requests. Curt clarified the sewage requirements for Findings of Fact 411.8 per Soxna Dice's request. Dale King asked what prompted the DEP review. Curt replied that because there is already a permit for the parcel as it was originally intended for commercial use, the DEP permit needs to go back for an amendment. Margaret Wilson said that it was clear that in reviewing the homeowner's document that the public can utilize the trails / open space, but pointed out that there was no indication that the public could use the road. Curt replied that the road is being offered to the Town. Margaret suggested that language be placed into the homeowner's document for public access to be allowed for purposes of using the trails. Margaret asked when the trails will be put in. Curt replied that the intent is that they will construct the trails as they begin Phase I and will work with staff to identify the entrance to the trails at the end of the Phase I roadway until such time that the roadway is extended. In regards to the leach fields as noted on the topsoil's map, Margaret said that she believes that the leach fields cannot be located in the meadow buffer and pointed out that it appears as though Lots 6 through 12 are very close. Curt replied that she was correct and pointed out that there is language in the document that some lots may require a second test pit to satisfy the septic system field requirements. Margaret asked if they should amend the Conditions of Approval to note this conflict, but Charlie Frizzle pointed out that the septic systems will go through another separate

review. Anna Breinich asked Curt if staff was going to get an updated septic plan as requested and Curt replied that he has submitted a revised plan, but noted that the second test pit is not included. Curt said that the new map shows two sites for each potential septic system and each well to show the appropriate separation as requested by Jeff Hutchinson, the Codes Enforcement Officer. Jeremy Evans asked if staff has other open space trail systems maintained by homeowners association in Brunswick. Anna replied that there is one and pointed out that there has been much discussion on the ongoing maintenance of the trails and referred to the conditions.

MOTION BY DALE KING THAT THE MAJOR FINAL SUBDIVISION PLAN DEVELOPMENT REVIEW APPLICATION IS DEEMED COMPLETE. MOTION SECONDED BY SOXNA DICE.

Chair Charlie Frizzle opened the meeting to public hearing. No comments were made and the public hearing period was closed.

Members and staff discussed revised wording for the Findings of Fact.

MOTION BY BILL DANA THAT THE BOARD WAIVES THE FOLLOWING REQUIREMENTS:

1. Section 412.2.B.8 – Profiles and cross-sections and curve radii of existing streets.
2. Section 412.2.B.17 – Location of all existing trees over 10 inches in diameter, and locations of tree stands.
3. Section 412.2.C.6 Stormwater Management Plan.

MOTION SECONDED BY SOXNA DICE, APPROVED UNANIMOUSLY.

MOTION BY DALE KING THAT THE FINAL SUBDIVISION PLAN IS APPROVED WITH THE FOLLOWING CONDITIONS:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to the sale of a lot, evidence is provided in the form of a final recorded Declaration of Restrictive Covenants and Easements dedicating a minimum of 50% of the 76.1 acre parcel as open space in perpetuity and establishing an on-going open space and trail system maintenance program as accepted by the Directors of Planning and Development, and Parks and Recreation. Said Declaration shall indicate that public access to trails and over the proposed roadway shall be permitted before and after acceptance by the town.

3. That prior to the sale of a lot, any changes required by the DEP to the stormwater management plan for the Site Law permit are incorporated on the final subdivision plan as needed.
4. That prior to the sale of a lot, the Site Law Permit is approved by Maine DEP.
5. That prior to the sale of a lot, lot owners shall be made aware, in writing by the developer, that their lots are located in a rural fire protection district with limited water supply which will likely result in lengthy emergency response times and increased insurance rates. A note advising homeowners shall be included on the deed in addition to the written notification.
6. That prior to the issuance of the first building permit for each phase, Solid Waste Impact Fees shall be paid as follows:
 - Phase 1 - 11 new units at \$2,844.16
 - Phase 2 - 11 units at \$2,844.16
 - Phase 3 - 10 new units at \$2,585.60.
7. That at the conclusion of Phase 1 or no later than the year 2020 an inspection of the trail shall be completed by Town staff. In the event that trail Loop A has not been constructed to staff satisfaction, the developer will have the option to complete the loop or pay the prorated recreation impact fee before the issuance of building permits for Phase 2. The same methodology shall apply to trail Loop B and Phase 3.
8. That prior to the sale of the first lot in each Phase, a performance guarantee shall be provided for the completion of Kennedy Drive, in accordance with the approved phasing plan in an amount per phase as determined by the Director of Public Works.
9. That prior to the sale of the first lot in each phase, granite monuments or an approved equal must be placed at all points of curvature or horizontal changes in the road right-of-way alignment of that phase and shall be installed to the satisfaction of the Town Engineer. The final plan shall detail the location of all such monuments.
10. That prior to the start of construction of Kennedy Drive, an escrow account equal to 2% of the total roadway construction value, including all utilities shall be established for inspection of the road and related storm drainage system to the satisfaction of the Town Engineer.
11. That one week prior to construction, a pre-construction meeting with the Public Works Department shall occur.

12. That prior to the start of construction, a digitized electronic drawing file of the complete final approved plans, in an approved format, shall be furnished to the Public Works Department.

13. That upon completion of Kennedy Drive, an "as-built" or set of record drawings shall be submitted in a form acceptable to the Public Works Department.

MOTION SECONDED BY RICHARD VISSER, APPROVED UNANIMOUSLY.

2. Report on Staff Review Committee Minor Development Plan Approvals:

Charlie Frizzle pointed out that these are approvals made by staff and asked if there were any questions. No members had questions.

3. Zoning Ordinance Rewrite Committee (ZORC) Update:

Anna Breinich said that the next meeting is December 16th from 1:00 to 4:00.

4. Approval of Minutes

MOTION BY BILL DANA TO APPROVE THE MINUTES OF SEPTEMBER 10, 2015.
MOTION SECONDED BY SOXNA DICE, MOTION APPROVED UNANIMOUSLY.

5. Other Business

Adjourn

This meeting was adjourned at 7:56 P.M.

Respectfully Submitted,

Tonya Jenusaitis

Recording Secretary