



Town of Brunswick, Maine
STAFF REVIEW COMMITTEE

- AGENDA -
BRUNSWICK TOWN HALL
85 UNION STREET
ROOM 206
TUESDAY, SEPTEMBER 20, 2016, 11:00 A.M.
Rescheduled from Wednesday, September 14, 2016

1. **Case #16-035 –Cumberland Farms:** The Planning Board will review and provide a recommendation to the Planning Board on a **Final Plan Major Development Review** application submitted by authorized representative Sandra L. Guay for a proposed Cumberland Farms retail store with fuel service and associated canopy at 190 Bath Road in the **Cooks Corner Center (CC) Zoning District;** (Map CC1, Lot 28).
2. **Case # 16-031 – 35-39 Pleasant Street (St. John’s Church)** – The Planning Board will review and provide a recommendation to the Planning Board on a **Sketch Plan** for Phase 1 of a two (2) phase development of the St. Johns Parish Church property. Phase 1 includes a new 14,685 square foot multi-use building and various site modifications including the construction of new walkways and a utility driveway at 35-39 Pleasant Street primarily within the **Intown Railroad Corridor (MU2) Zoning District** (Map U16, Lots 47-48).
3. **Adjourn**

This agenda is mailed to owners of property within 200 feet of proposed development sites. In cases where Committee action is pending this agenda serves as notice of same. In cases where the Committee's role is to advise the Planning Board, this agenda is mailed as a courtesy along with notice of the Planning Board meeting. The Staff Review Committee meeting is open to the public. All are invited to attend and participate. For further information call Anna Breinich at the Brunswick Department of Planning and Development (725-6660).

TOWN OF BRUNSWICK PLANNING BOARD

FINAL PLAN APPLICATION

APPLICANT: LHB Enterprises, Inc.

AGENT: Sandra L. Guay, Esquire
Woodman Edmands Danylik Austin Smith & Jacques, P.A.
234 Main Street, P.O. Box 468
Biddeford, Maine 04005

ENGINEERS: MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

**Final Plan Application of
LHB Enterprises, Inc.**

**Cumberland Farms Project
190 Bath Road**

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8. Waiver Requests
9. Plans (submitted separately)

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**MAJOR DEVELOPMENT REVIEW
FINAL PLAN APPLICATION**

1. Project Name: Cumberland Farms Project

2. Project Applicant

Name: LHB Enterprises, Inc.
Address: 3 Battery Wharf, #3411
Boston, MA 02109
Phone Number: _____

3. Authorized Representative

Name: Sandra L. Guay, Esq.
Address: 234 Main Street
Biddeford, ME 04005
Phone Number: (207) 284-4581

4. List of Design Consultants. Indicate the registration number, address and phone number Of any engineer, surveyor, architect, landscape architect or planner used:

1. MHF Design Consultants, Inc., 44 Stiles Road, Ste One, Salem, NH 03079 (603)893-0720
2. _____
3. _____

5. Physical location of property being affected: 190 Bath Road

6. Lot Size: 50,960 sq. ft.

7. Zoning District: CC

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? Applicant is the owner of the property

9. Assessor's Tax Map CC1 Lot Number 28 of subject property.

10. Brief Description of proposed: Retail Business and Motor Fuel Outlet

11. Describe Specific Physical Improvements to be Done: Please see attached.

Owner Signature: *Sandra L. Guay*, as authorized agent for owner
Applicant Signature (if different): _____

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)

- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver P=pending

| Item | O | S | NA | W | P | Comments |
|---|---|---|----|---|---|----------|
| Name of Development | | X | | | | |
| Scale, date, north point, area, number of lots (if subdivision) | | | X | | | |
| Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed. | | X | | | | |
| Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3. | | X | | | | |
| Existing zoning district and overlay designation. | | X | | | | |
| Names of engineer and surveyor; and professional registration numbers of those who prepared the plan. | | X | | | | |
| Names of current owner(s) of subject parcel and abutting parcels. | | X | | | | |
| Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum. | | | X | | | |
| A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed. | | | X | | | |
| Existing and proposed easements associated with the development. | | X | | | | |
| Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department. | | X | | | | |
| Location of features, natural and artificial, such as water bodies, wetlands, streams, vegetation, railroads, ditches and buildings. | | X | | | | |

| | | | | | |
|---|--|---|---|---|--|
| Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells. | | X | | | |
| Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability. | | | X | | |
| Topography with counter intervals of not more than 2 feet. | | X | | | |
| A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists. | | | X | | |
| Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal. | | | X | | |
| Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site. | | X | | | |
| Existing locations and proposed locations, widths and profiles of sidewalks. | | | | X | |
| Location map. | | X | | | |
| Approximate locations and dimensions of proposed parking areas. | | X | | | |
| Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation. | | | X | | |
| Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization. | | X | | | |
| Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board. | | | X | | |
| A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers. | | | X | | |
| Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas. | | | X | | |

| | | | | | | |
|--|--|---|---|--|---|--|
| An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District. | | | X | | | |
| A statement from the Brunswick-Topsham Water District of conditions under which water will be provided. | | | | | X | |
| A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone. | | | X | | | |
| A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken. | | | X | | | Reviewed by Fire Chief at Sketch Plan Review. No Comments |
| A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development. | | | | | X | |
| Where a septic system is to be used, evidence of soil suitability. | | | X | | | |
| All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411. | | X | | | | |
| A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas. | | X | | | | |
| An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage. | | X | | | | |
| A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems. | | X | | | | |
| The size and proposed location of water supply and sewage disposal systems. | | X | | | | |
| A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation. | | X | | | | |

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AUTHORIZATION

I, Lily H. Bentas, on behalf of myself and my company LHB Enterprises, Inc., hereby authorize our attorneys, Woodman Edmands Danylik Austin Smith & Jacques, P.A., Cumberland Farms, Inc., and our engineers, MHF Design Consultants, Inc., to sign any and all State of Maine or Town of Brunswick permit and appeal applications on our behalf with regard to the proposed Cumberland Farms development located at 190 Bath Road, Brunswick, Maine. I further authorize any of the attorneys or engineers in the above referenced firms to appear on our behalf and to represent the company before any department, board, committee or agency of said State or Town, including, but not limited to, the Maine Department of Environmental Protection, Planning Board and the Zoning Board of Appeals.

DATED: July 6, 2016

LHB Enterprises, Inc.



By: Lily H. Bentas
Its: President

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021569

DEEDB95.2

QUITCLAIM DEED

Lily H. Bentas, of 431 Lewis Wharf, Boston, MA 02110,

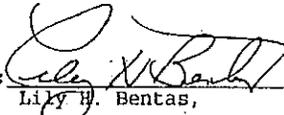
for consideration paid of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged,

grants to L. H. B. Enterprises, Inc., a Florida corporation with offices at 431 Lewis Wharf, Boston, MA 02110,

the real property located at Route 1 and 24, Brunswick, Cumberland County, Maine, more particularly described in Exhibit A attached hereto and made a part hereof (the "Property") together with any and all servitudes, easements, rights-of-way, licenses and other rights in real property appurtenant thereto, and all improvements located thereon.

Said Property is conveyed subject to any liens for taxes not yet due and payable, provisions of any ordinance, municipal regulation and public or private law, all matters of the public record and any state of facts which an accurate survey of the premises would disclose.

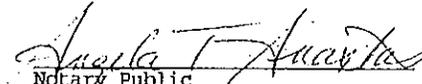
IN WITNESS WHEREOF, Grantor has executed this deed this
29th day of April, 1997.

By: 
Lily H. Bentas,

THE COMMONWEALTH OF MASSACHUSETTS

Norfolk SS. April 29, 1997

Then personally appeared the above Lily H. Bentas, to me known and known by me to be the person executing the foregoing instrument, and she acknowledged said instrument by her executed to be her free act and deed, before me.


Notary Public

My Commission Expires: 3/17/00

SEAL

EXHIBIT A

Certain lots or parcels of land, together with buildings and improvements thereon, situated on the southerly side of Old Route #1 (also being known as the Bath Road), in the Town of Brunswick, County of Cumberland, and State of Maine, bounded and described as follows:

Parcel I. Beginning at an iron pipe situated on the Westerly side of Thomas Point Road, which iron pipe marks the most Northerly corner of land now or formerly owned by one Evrard; thence proceeding South 49° 21' 0" West along the Northwesterly side of said Evrard Land, a distance of 150.02 feet to an iron pin at the most Westerly corner of said Evrard land, said iron pin also marking the Northeasterly corner of land of McDonald's Corporation, as conveyed to said McDonald's Corporation by Bo-Ed Inc. by deed dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3083, Page 284; thence proceeding North 84° 57' 34" West along the Northerly side of said McDonald's Corporation land a distance of 115 feet to an iron pipe; thence proceeding North 87° 46' 39" West along the Northerly side of said McDonald's Corporation land a distance of 54.82 feet to an iron pipe situated at the Southeasterly corner of a 20 foot right-of-way; thence proceeding North 2° 53' 11" West along the Easterly side of said right-of-way, a distance of 192.07 feet to an iron pipe situated on the Southerly side of Old Route #1, so-called also being known as the Bath Road; thence proceeding North 89° 19' 26" East along the Southerly side of Old Route #1, a distance of 149.57 feet to a granite monument; thence proceeding South 80° 53' 37" East along the Southerly side of Old Route #1, a distance of 29.43 feet to an iron pipe situated on the westerly side of said Thomas Point Road; thence proceeding South 47° 49' 53" East along the Westerly side of said Thomas Point Road, a distance of 154.07 feet to an iron pipe in the point of beginning.

Parcel II. Beginning at an iron pipe situated on the Westerly side of Thomas Point Road, which iron pipe marks the most Northerly corner of land now or formerly owned by one Evrard; thence proceeding South 49° 21' 0" West along the Northwesterly side of said Evrard land, a distance of 150.02 feet to an iron pin at the most Westerly corner of said Evrard land, said iron pin also marking the Northeasterly corner of land of McDonald's Corporation, as conveyed to said McDonald's Corporation by Bo-Ed Inc. by deed dated April 30, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3083, Page 284; thence proceeding North 84° 57' 34" West along the Northerly side of said McDonald's Corporation land a distance of 115 feet to an iron pipe; thence proceeding North 87° 46' 39" West along the Northerly side of said McDonald's Corporation land a distance of 54.82 feet to an iron pipe situated at the Southeasterly corner of a twenty foot right-of-way and the point of beginning; thence proceeding North 2° 53' 11" West 192.07 feet to an iron pipe situated on the Southerly side of Old Route #1, so-called, also being known as the Bath Road; thence proceeding South 89° 19' 26" West along the Southerly side of Old Route #1, a distance of 20.01 feet to an iron pipe; thence South 2° 53' 11" East a distance of 191.05 feet to an iron pipe; thence proceeding South 87° 46' 39" East 20.08 feet to the point of beginning.

Meaning and intending to describe the same premises described in the deed recorded in Book 4183, Page 22.

RECEIVED
RECORDED REGISTRY OF DEEDS

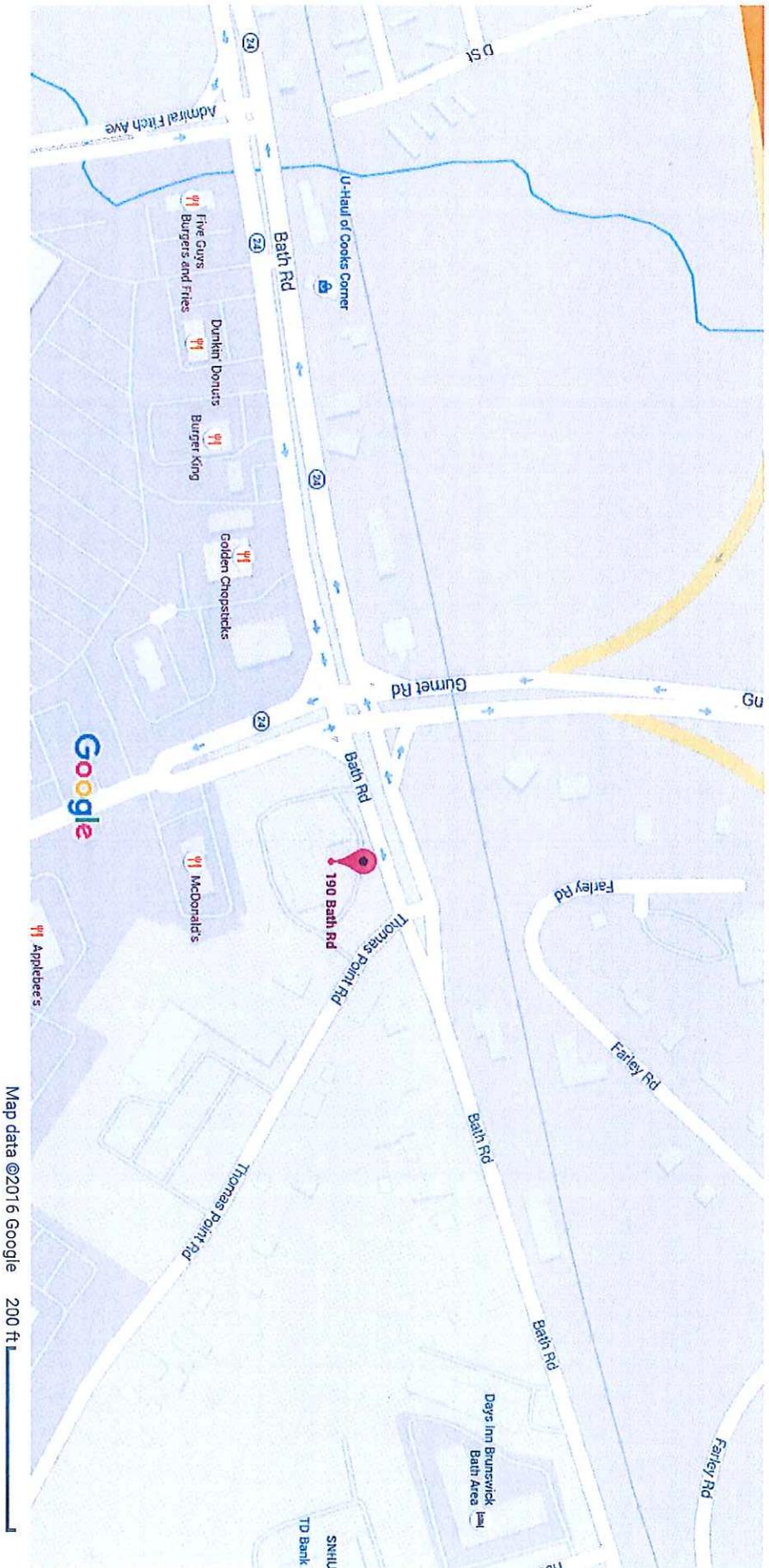
97 MAY -2 PM 12:59

CUMBERLAND COUNTY

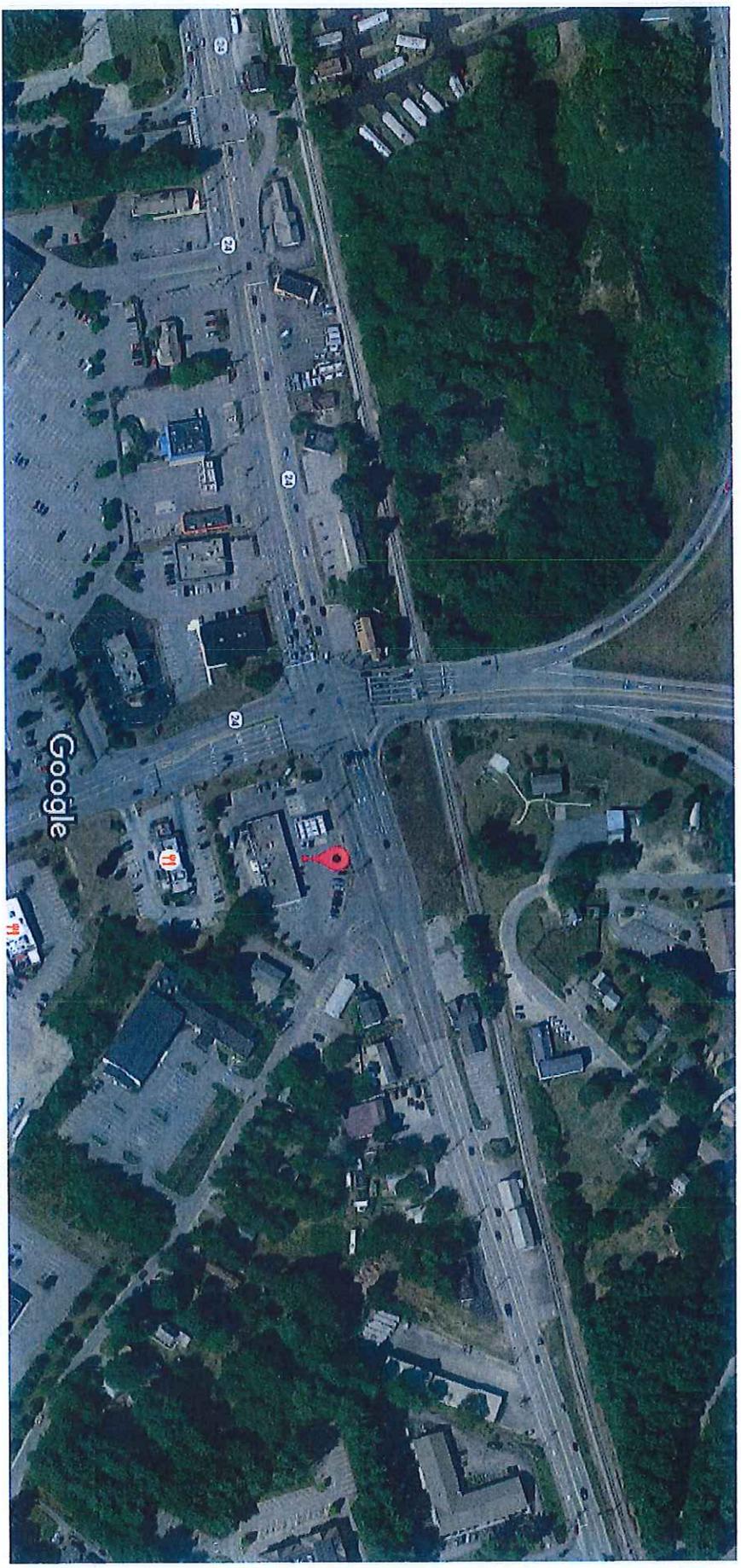
John B. Curran

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Google Maps 190 Bath Rd



Google Maps 190 Bath Rd



Map data ©2016 Google 200 ft

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**Final Plan Application of
LHB Enterprises, Inc.**

**Cumberland Farms Project
19 Bath Road**

LIST OF ABUTTERS

| Map | Lot | Owner | Mailing Address |
|------------|------------|--|---|
| CC1 | 7 | Ricky and Monique Lachapelle | 379 Lisbon Street Lewiston, ME 04240 |
| CC1 | 21 | Just Because, LLC | P.O. Box 9340 Auburn, ME 04210 |
| CC1 | 27 | Prompto, Inc. | 70 Scott Drive Westbrook, ME 04092 |
| CC1 | 29A | McDonalds Corporation c/o Joe Breisacher | P.O. Box 653 Brunswick, ME 04011 |
| CC1 | 31 | Developers Diversified Cooks Corner LP | P.O. Box 228042 Beachwood, OH 44122 |
| CC2 | 9 | Crooker Enterprises, Inc. c/o Estes Lobster House | 1909 Harpswell Neck Road Harpswell, ME 04079 |
| CC2 | 11 | State of Maine c/o MDOT | 16 State House Station Augusta, ME 04333 |
| CC2 | 29 | Linda A. Johnson | 206 Bath Road Brunswick, ME 04011 |
| CC2 | 30 | Cook's Corner Group, LLC | 204 Bath Road Brunswick, ME 04011 |
| CC2 | 31 | Edward and Samantha Hannan | 169 Cedar Pond Road Durham, ME 04222 |
| CC2 | 32 | Sunshine Too, Inc. | 200 Bath Road Brunswick, ME 04011 |
| CC2 | 42 | Brunswick Landing Development Group, LLC | 2 Main Street, Suite 200 Topsham, ME 04086 |
| CC2 | 53 | State of Maine c/o MDOT | 16 State House Station Augusta, ME 04333 |

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July 11, 2016

Ms. Anna Breinich
Director of Planning and Development
Town of Brunswick
85 Union Street
Brunswick, ME 04011

Re: Cumberland Farms, Inc.
Map CC1 Lot 28
190 Bath Road
Brunswick, ME 04011

Sub: Drainage Memorandum

Dear Ms. Breinich,

MHF Design Consultants, Inc., on behalf of our client, Cumberland Farms Inc., is pleased to provide the following information summarizing the proposed site re-development project relative to the effects it will have on stormwater management on the surrounding areas at the above referenced site. Please refer to the attached Proposed Site Re-Development Plans, dated July 11, 2016, as prepared by this office.

The property is located on a parcel of land that is approximately 1.17 Ac in size and identified as Tax Map CC1, Lot 28 and is located in the Cooks Corner Center zoning district at the southeast intersection of Bath Road and Route 24. The lot is currently occupied by a 6,883 sf Cumberland Farms Convenience Store which includes an AT&T Retail shop and Papa John's Pizza shop. The site also includes a fuel dispensing area with 4 dispensers (8 fueling locations) and an overhead canopy, 16 striped parking spaces and many additional un-striped paved areas accessed by driveways located along both Bath Road and Thomas Point Road.

Cumberland Farms Inc. proposes to raze the existing building and fuel dispensing area and construct a new standalone Cumberland Farms convenience store (4,786 sf), a new fuel canopy with five (5) dispensers (10 fueling locations), new fuel piping and two (2) new 20,000 gallon double wall fiberglass underground fuel storage tanks. Site improvements will also include a reconfigured parking area, new trash enclosure, bike rack and modified entrance driveways. New utility connections including water, gas, electric and sewer are proposed along with new landscaping to enhance the site.

Re-development of this parcel will result in a decrease in onsite impervious coverage of approximately 11,372 sf which will in turn reduce both the peak rate and volume of runoff discharging into the Bath Road and Thomas Point Road closed drainage systems. The proposed on-site stormwater management system includes installing several deep sump, hooded catch basins and the installation of two (2) hydrodynamic separators prior to discharge into the existing closed drainage systems in Bath Road and Thomas Point Road which will significantly improve



the stormwater quality. While there is an existing closed drainage system currently onsite, it appears that the pipes are undersized and that little or no pretreatment of the stormwater is provided before leaving the site.

Based on the reduction in impervious coverage of over 1/4-ac and the implementation of a new stormwater management system, we believe that the owner is improving the current conditions while reducing peak rates of runoff and volume discharging from the site and that there will be no negative impact on the abutting properties as a result of the proposed redevelopment project.

Please review the attached information and should you have any questions, please feel free to call our office at your convenience.

Sincerely,
MHF Design Consultants, Inc.

A handwritten signature in blue ink, appearing to read 'Chris Tymula', is written over a faint, larger version of the signature.

Chris Tymula
Project Manager

F:\Projects\Eng\375115\3751-Drainage Memo.doc

Cc: Dalina Boryszewski - Cumberland Farms, Inc. (EB Upload)
Sandra Guay - Woodman Edmands Danylik Austin Smith & Jacques, P.A.

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GPI Greenman-Pedersen, Inc.

Engineering and Construction Services

REF.: MAX-2016046

August 30, 2016

Ms. Kathleen A. Sousa
Cumberland Gulf Group of Companies
100 Crossing Boulevard
Framingham, MA 01702

SUBJECT: Updated Collision Summary Letter
Cumberland Farms Redevelopment
190 Bath Road
Brunswick, Maine

Dear Ms. Sousa:

Greenman-Pedersen Inc. (GPI) has prepared this letter to amend the Trip-Generation and Collision Summary Letter prepared by GPI dated July 7, 2016 for the proposed Cumberland Farms redevelopment located at 190 Bath Road in Brunswick, Maine. As requested by the Town of Brunswick, the collisions at the intersection of Bath Road at Thomas Point Road have been collected. Data was obtained from Maine Department of Transportation (MaineDOT) for the most recent three-year period available (2013 through 2015). A summary of the collision data is provided in an Updated Table 1, attached to this letter.

Based on the collision data, the unsignalized intersection of Bath Road at Thomas Point Road has experienced a total of 7 crashes over the three-year study period (2013 through 2015), 2.33 reported collisions per year on average. Of the 7 collisions, one resulted in injury and six resulted in property damage only. Six of the crashes were angle collisions and one was a rear-end collision. Twenty-nine percent of the reported crashes occurred during the weekday AM or weekday PM commuter peak periods and twenty-nine percent occurred during wet/icy conditions.

Should you have any questions, please contact me at (978) 570-2968.

Sincerely,

GREENMAN - PEDERSEN, INC.



Heather L. Monticup, P.E.
Senior Project Manager

Attachment(s)

UPDATED COLLISION SUMMARY LETTER

Cumberland Farms Redevelopment – Brunswick, Maine

ATTACHMENTS

UPDATED TABLE 1 – COLLISION SUMMARY

UPDATED COLLISION SUMMARY LETTER

Cumberland Farms Redevelopment – Brunswick, Maine

**Updated Table 1
COLLISION SUMMARY**

| Location | Number of Collisions | | Severity ^a | | | | Collision Type ^b | | | | | Percent During | |
|--|----------------------|------------------|-----------------------|----|----|----|-----------------------------|----|----|-----|----|----------------------------|---------------------------------|
| | Total | Average per Year | PD | PI | F | CM | RE | HO | FO | Cyc | U | Commuter Peak ^c | Wet/Icy Conditions ^d |
| Bath Road (Rte 24) at Gurnet Road (Rte 24) | 44 | 14.6 | 36 | 8 | -- | 9 | 32 | -- | 1 | -- | 2 | 48% | 14% |
| Bath Road at Cumberland Farms Dwy | 3 | 1.00 | 3 | -- | -- | -- | 3 | -- | -- | -- | -- | 0% | 33% |
| Thomas Point Rd at Cumberland Farms Dwy | 1 | 0.33 | 1 | -- | -- | 1 | -- | -- | -- | -- | -- | 100% | 100% |
| Bath Road at Thomas Point Rd | 7 | 2.33 | 6 | 1 | -- | 6 | 1 | -- | -- | -- | -- | 29% | 29% |

Source: MaineDOT (2013-2015).

^a PD = property damage only; PI = personal injury; F = fatality.

^b CM = cross movement/angle; RE = rear end; HO = head on; FO = fixed object; Cyc = cyclist; U = unknown.

^c Percent of vehicle incidents that occurred during the weekday AM and weekday PM commuter peak periods.

^d Represents the percentage of only "known" collisions occurring during inclement weather conditions.

GPI Greenman-Pedersen, Inc.

Engineering and Construction Services

REF.: MAX-2016046

July 7, 2016

Ms. Kathleen A. Sousa
Cumberland Gulf Group of Companies
100 Crossing Boulevard
Framingham, MA 01702

SUBJECT: Trip-Generation and Collision Summary Letter
Cumberland Farms Redevelopment
190 Bath Road
Brunswick, Maine

Dear Ms. Sousa:

Greenman-Pedersen Inc. (GPI) has prepared this letter to evaluate the expected trips associated with the proposed Cumberland Farms redevelopment located at 190 Bath Road in Brunswick, Maine. The subject sites consists of a Cumberland Farms facility that includes a $\pm 3,000$ square-foot (sf) convenience store with 4 Multi-Product Dispensers (MPDs) having eight (8) vehicle fueling positions (vfps) as well as $\pm 3,870$ sf of retail space which is occupied by an AT&T store ($\pm 2,250$ sf) and a Papa John's restaurant ($\pm 1,350$ sf). The development consists of razing the existing structures on the site and constructing a 4,786 sf convenience store with 5 MPDs having ten (10) vfps. Access and egress is currently provided via two driveways; one right-in/right-out only driveway on Bath Road and one full access/egress driveway on Thomas Point Road. Access and egress to the site will remain the same as part of the redevelopment, however, the Bath Road driveway will be modified/widened slightly to allow an easier right-turn movement onto Bath Road from the site. The subject site is located on the southeast quadrant of the signalized intersection of Bath Street (Route 24) at Gurnet Road (Route 24), bounded by Bath Road to the north, Thomas Point Road to the east, Gurnet Road (Route 24) to the west and a McDonald's restaurant to the south. The site location in relation to the surrounding roadways is shown on the map on Figure 1.

TRIP-GENERATION AND COLLISION SUMMARY LETTER

Cumberland Farms Redevelopment – Brunswick, Maine

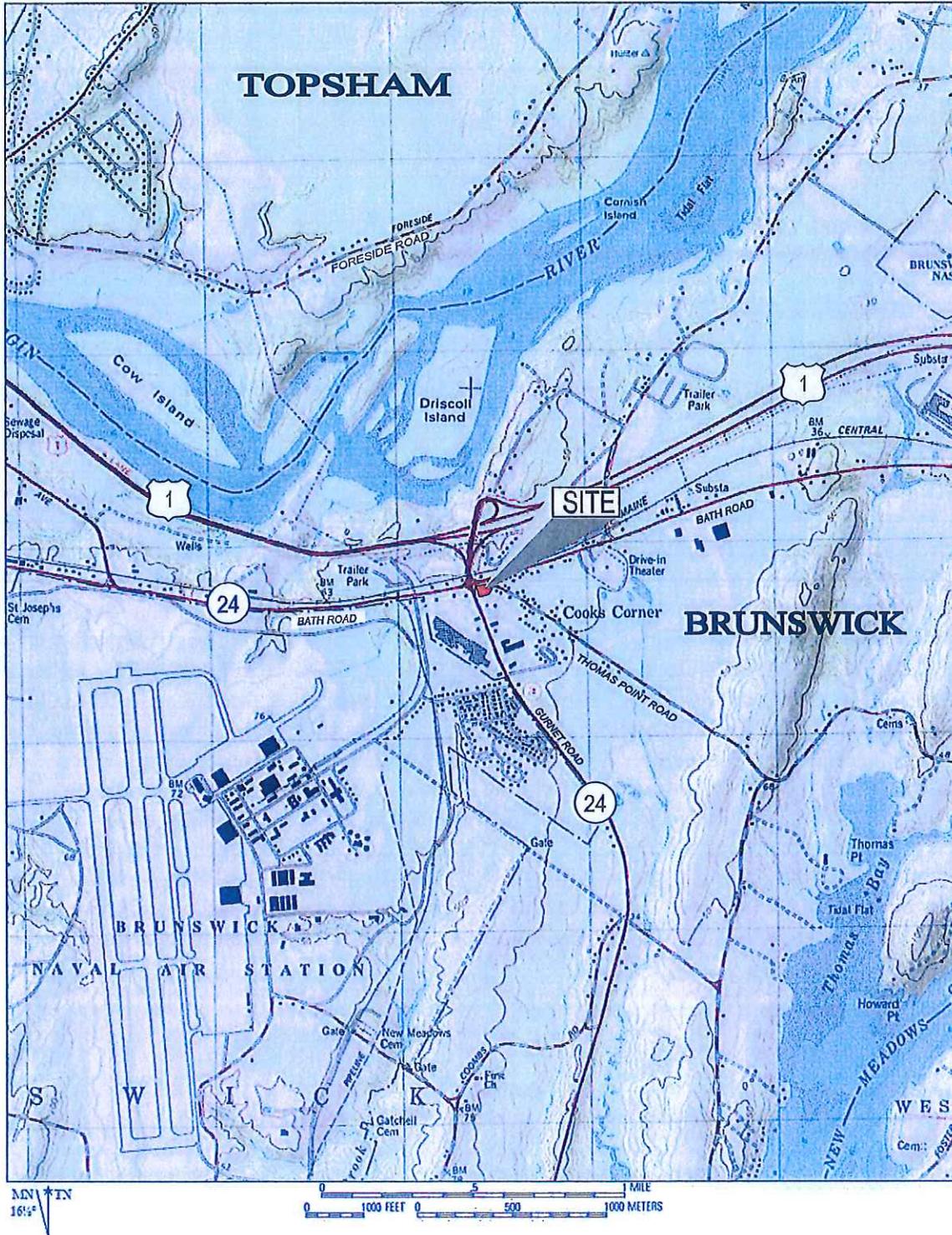


Figure 1
Site Location Map



Ms. Kathleen A. Sousa
July 7, 2016
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Existing Conditions

Geometry

Adjacent to the site, Bath Road consists of two general-purpose travel lanes in each direction and one general-purpose lane in each direction beyond the vicinity, with exclusive turn lanes at major intersections. Gurnet Road consists of one general purpose lane in the northbound direction and two general-purpose lanes in the southbound direction with a two-way left-turn lane along the roadway and additional exclusive turn lanes at major intersections. Thomas Point Road consists of one general-purpose lane in each direction with no pavements markings. The posted speed limit along Bath Road and Gurnet Road is 35 miles per hour (mph) and the posted speed limit along Thomas Point Road is 25 mph. Currently, the Cumberland Farms site contains two curb cuts; one on Bath Road and one on Thomas Point Road. Access will remain the same but the Bath Road curb-cut will be modified to provide both right-in and right-out access.

Collision History

Collision data for the study area intersections were obtained from Maine Department of Transportation (MaineDOT) for the most recent three-year period available (2013 through 2015). A summary of the collision data at the intersections is provided in Table 1.

The signalized intersection of Bath Road (Route 24) at Gurnet Road (Route 24) has experienced on average 14.6 reported collisions per year. Of the 44 collisions, eight have resulted in injury and thirty-six resulted in property damage only. Thirty-two of the crashes were rear end collisions, nine were angle collisions, two were reported as other and one was a collision with the curb. Forty-eight percent of the reported crashes occurred during the weekday AM or weekday PM commuter peak periods and fourteen percent occurred during wet conditions.

The intersection of Bath Road at the Cumberland Farms driveway has experienced on average 1 reported collision per year. None of the three collisions resulted in personal injury. All three of the crashes were rear end collisions. None of the reported crashes occurred during the weekday AM or weekday PM commuter peak periods and thirty-three percent occurred during snowy conditions.

The intersection of Thomas Point Road at Cumberland Farms driveway has experienced one collision over the three-year period. The collision did not result in personal injury. The crash was an angle collision and occurred during the AM commuter peak hour. The collision occurred during icy conditions.



Ms. Kathleen A. Sousa
 July 7, 2016
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Table 1
COLLISION SUMMARY

| Location | Number of Collisions | | Severity ^a | | | Collision Type ^b | | | | | | Percent During | |
|--|----------------------|------------------|-----------------------|----|----|-----------------------------|----|----|----|-----|----|----------------------------|---------------------------------|
| | Total | Average per Year | PD | PI | F | CM | RE | HO | FO | Cyc | U | Commuter Peak ^c | Wet/Icy Conditions ^d |
| Bath Road (Rte 24) at Gurnet Road (Rte 24) | 44 | 14.6 | 36 | 8 | -- | 9 | 32 | -- | 1 | -- | 2 | 48% | 14% |
| Bath Road at Cumberland Farms Dwy | 3 | 1.00 | 3 | -- | -- | -- | 3 | -- | -- | -- | -- | 0% | 33% |
| Thomas Point Rd at Cumberland Farms Dwy | 1 | 0.33 | 1 | -- | -- | 1 | -- | -- | -- | -- | -- | 100% | 100% |

Source: MaineDOT (2013-2015).

^aPD = property damage only; PI = personal injury; F = fatality.

^bCM = cross movement/angle; RE = rear end; HO = head on; FO = fixed object; Cyc = cyclist; U = unknown.

^cPercent of vehicle incidents that occurred during the weekday AM and weekday PM commuter peak periods.

^dRepresents the percentage of only "known" collisions occurring during inclement weather conditions.



Ms. Kathleen A. Sousa
July 7, 2016
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Design Conditions

The subject sites consists of a Cumberland Farms facility that includes a $\pm 3,000$ sf convenience store with 4 MPDs having eight (8) vfps as well as $\pm 3,870$ sf of retail space which is occupied by an AT&T store ($\pm 2,250$ sf) and a Papa John's Pizza restaurant ($\pm 1,350$ sf). The development consists of razing the existing structures on the site and constructing a 4,786 sf convenience store with 5 MPDs having ten (10) vfps.

Trip-Generation

For trip-generation purposes, traffic anticipated to be generated by the proposed Cumberland Farms redevelopment project was forecast using the trip rates contained in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*¹ utilizing Land Use Code (LUC) 853 (Convenience Market with Gasoline Pumps). Table 2 provides a trip-generation summary for the traffic anticipated to be generated by the proposed project. All trip-generation data are attached to this letter.

Not all of the vehicle trips expected to be generated by the proposed project represent *new* trips on the study area roadway system. Studies have shown that for developments such as the one proposed, a substantial portion of the site-generated vehicle trips are already present in the adjacent passing stream of traffic or are diverted from another route to the proposed site. Based on information published in the ITE *Trip Generation Handbook*, the average *pass-by* trip percentage is 63 percent during the weekday AM peak hour and 66 percent during the weekday PM peak hour for Convenience Markets with Gasoline Pumps (Land Use Code 853).² Table 2 summarizes the additional peak-hour trips expected to be generated as compared to the existing uses. All trip-generation data are attached to this letter.

¹ *Trip Generation Manual*, 9th Edition; Institute of Transportation Engineers; Washington, DC; 2012.

² *Trip Generation Handbook*; 3rd Edition; Institute of Transportation Engineers; Washington, DC; August 2014.

Table 2
TRIP-GENERATION SUMMARY

| Time Period/Direction | Existing Trips | | | Proposed Trips | Additional Trips | | |
|---------------------------------------|---------------------|-------------------------|--------------------|--|--------------------------|-------------------------------|------------------------|
| | Retail ^a | Restaurant ^b | Total ^c | Convenience / Gasoline ^d | Total Trips ^e | Pass-By Trips ^f | New Trips ^g |
| Weekday Daily | 4,100 | 630 | 4,730 | 5,430 | 700 | 440 | 260 |
| Weekday AM Peak Hour: | | | | | | | |
| <i>Enter</i> | 65 | 26 | 91 | 83 | (8) | (1) | (7) |
| <i>Exit</i> | <u>58</u> | <u>21</u> | <u>79</u> | <u>83</u> | <u>4</u> | <u>(1)</u> | <u>5</u> |
| <i>Total</i> | 123 | 47 | 170 | 166 | (4) | (2) | (2) |
| Weekday PM Peak Hour: | | | | | | | |
| <i>Enter</i> | 82 | 13 | 95 | 96 | 1 | 0 | 1 |
| <i>Exit</i> | <u>86</u> | <u>10</u> | <u>96</u> | <u>95</u> | <u>(1)</u> | <u>0</u> | <u>(1)</u> |
| <i>Total</i> | 168 | 23 | 191 | 191 | 0 | 0 | 0 |
| Saturday Daily | 1,400 | 610 | 2,010 | 2,040 | 30 | 20 | 10 |
| Saturday Midday Peak Hour: | | | | | | | |
| <i>Enter</i> | 31 | 25 | 56 | 51 | (5) | (4) | (1) |
| <i>Exit</i> | <u>32</u> | <u>23</u> | <u>55</u> | <u>49</u> | <u>(6)</u> | <u>(4)</u> | <u>(2)</u> |
| <i>Total</i> | 63 | 48 | 111 | 100 | (11) | (8) | (3) |

^a ITE *Trip Generation Handbook*, Procedure for Estimating Multi-Use Trip Generation for ITE Land Use Code 853 (Convenience Market with Gasoline Pumps) for 8 vfps and ITE Land Use Code 826 (Specialty Retail Center) for 2,250 sf.

^b ITE *Trip Generation Handbook*, Procedure for Estimating Multi-Use Trip Generation for ITE Land Use Code 933 (Fast-Food Restaurant without Drive-Through Window) for 1,350 sf.

^c Existing Retail Trips (which includes the Convenience/Gasoline Trips) plus Restaurant Trips.

^d ITE Land Use Code 853 (Convenience Market with Gasoline Pumps) for 10 vfps.

^e Proposed Trips minus Total Existing Trips.

^f 63 percent of Total Additional Trips during the Weekday, AM peak hour, Saturday, and Saturday midday peak hour; 66 percent of Total Additional Trips during the weekday PM peak hour.

^g Additional Total Trips minus Pass-By Trips.

As shown in Table 2, the proposed Cumberland Farms redevelopment project as compared to the existing uses is expected to generate 2 less vehicle trips (7 less entering and 5 more exiting) during the weekday AM peak hour, the same vehicle trips (1 more entering and 1 less exiting) during the weekday PM peak hour, and 3 less vehicle trips (1 less entering and 2 less exiting) during the Saturday



Ms. Kathleen A. Sousa
July 7, 2016
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midday peak hour. Traffic decreases as a result of the redevelopment are expected to be approximately 1 less vehicle every 20 to 30 minutes during the peak hours.

Since the section of Bath Road where the Cumberland Farms driveway exists is not under state jurisdiction, a MaineDOT Traffic Movement Permit (TMP) and Application for Driveway/Entrance Permit is not expected to be required. Should you have any questions, or require additional information, please contact me at (978) 570-2968.

Sincerely,

GREENMAN – PEDERSEN, INC.

A handwritten signature in blue ink, appearing to read "H. Monticup", is written over the company name.

for Heather L. Monticup, P.E.
Senior Project Manager

Attachment(s)

TRIP-GENERATION AND COLLISION SUMMARY

Cumberland Farms Redevelopment – Brunswick, Maine

ATTACHMENTS

TRIP-GENERATION WORKSHEETS



Trip Generation Summary

Existing Gas Station = 8 Vehicle Fueling Positions
 Existing Retail = 2,250 Square Feet
 Existing Restaurant = 1,350 Square Feet
 Proposed Gas Station = 10 Vehicle Fueling Positions

| | Existing Trips (External) | | | Proposed Trips | Additional Trips | | |
|---------------------------|---------------------------|------------|-------------|----------------|------------------|---------------|-----------|
| | Retail | Restaurant | Total Trips | Retail | Total Trips | Pass-By Trips | New Trips |
| Weekday Daily | 4,102 | 630 | 4,732 | 5,426 | 694 | 437 | 257 |
| Weekday AM Peak Hour | 65 | 26 | 91 | 83 | -8 | -1 | -7 |
| | <u>58</u> | <u>21</u> | <u>78</u> | <u>83</u> | <u>5</u> | <u>-1</u> | <u>6</u> |
| | 123 | 47 | 170 | 166 | -4 | -2 | -1 |
| Weekday PM Peak Hour | 82 | 13 | 95 | 96 | 1 | 0 | 1 |
| | <u>86</u> | <u>10</u> | <u>96</u> | <u>95</u> | <u>-1</u> | <u>0</u> | <u>-1</u> |
| | 168 | 23 | 191 | 191 | 0 | 0 | 0 |
| Saturday Daily | 1,401 | 611 | 2,012 | 2,044 | 32 | 20 | 12 |
| Saturday Midday Peak Hour | 31 | 25 | 56 | 51 | -5 | -4 | -2 |
| | <u>32</u> | <u>23</u> | <u>55</u> | <u>49</u> | <u>-6</u> | <u>-4</u> | <u>-2</u> |
| | 63 | 48 | 111 | 100 | -11 | -7 | -4 |

Pass-By
Percentages
 LUC 853
 AM 63%
 PM 66%
 SAT 63%

Institute of Transportation Engineers (ITE)

Land Use Code (LUC) 853 - Convenience Market with Gasoline Pumps

Average Vehicle Trips Ends vs: Vehicle Fueling Positions
Independent Variable (X): 8

AVERAGE WEEKDAY DAILY

$$T = 542.60 * (X)$$

$$T = 542.60 * 8$$

$$T = 4340.80$$

$$T = 4,340 \text{ vehicle trips}$$

with 50% (2,170 vpd) entering and 50% (2,170 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 16.57 * (X)$$

$$T = 16.57 * 8$$

$$T = 132.56$$

$$T = 133 \text{ vehicle trips}$$

with 50% (67 vph) entering and 50% (66 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 19.07 * (X)$$

$$T = 19.07 * 8$$

$$T = 152.56$$

$$T = 153 \text{ vehicle trips}$$

with 50% (77 vph) entering and 50% (76 vph) exiting.

SATURDAY DAILY

$$T = 204.47 * (X)$$

$$T = 204.47 * 8$$

$$T = 1635.76$$

$$T = 1,636 \text{ vehicle trips}$$

with 50% (818 vpd) entering and 50% (818 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 10.00 * (X)$$

$$T = 10.00 * 8$$

$$T = 80.00$$

$$T = 80 \text{ vehicle trips}$$

with 51% (41 vph) entering and 49% (39 vph) exiting.

Institute of Transportation Engineers (ITE)
Land Use Code (LUC) 826 - Specialty Retail Center

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Leasable Area
 Independent Variable (X): 2.250

AVERAGE WEEKDAY DAILY

T = 44.32 * (X)
 T = 44.32 * 2.250
 T = 99.72
 T = 100 vehicle trips
 with 50% (50 vpd) entering and 50% (50 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$\frac{\text{ITE LUC 820 Weekday Morning Trip Rate}}{\text{ITE LUC 820 Weekday Evening Trip Rate}} = \frac{\text{ITE LUC 826 Weekday Morning Trip Rate}}{\text{ITE LUC 826 Weekday Evening Trip Rate}}$$

$$\frac{0.96}{3.71} = \frac{(Y)}{2.71} \quad Y = 0.70123989$$

T = Y * 2.250
 T = 1.578
 T = 2 vehicle trips
 with 62% (1 vph) entering and 38% (1 vph) exiting.

(same distribution split as ITE LUC 820 during the weekday morning peak hour of adjacent street traffic)

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

T = 2.40 * (X) + 21.48
 T = 2.40 * 2.250 + (21.48)
 T = 26.88
 T = 27 vehicle trips
 with 44% (12 vph) entering and 56% (15 vph) exiting.

SATURDAY DAILY

T = 42.04 * (X)
 T = 42.04 * 2.250
 T = 94.59
 T = 94 vehicle trips
 with 50% (47 vpd) entering and 50% (47 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR

$$\frac{\text{ITE LUC 820 Saturday Midday Trip Rate}}{\text{ITE LUC 820 Saturday Daily Trip Rate}} = \frac{\text{ITE LUC 826 Saturday Midday Trip Rate}}{\text{ITE LUC 826 Saturday Daily Trip Rate}}$$

$$\frac{4.82}{49.97} = \frac{(Y)}{42.04} \quad Y = 4.05508905$$

T = Y * 2.250
 T = 9.124
 T = 9 vehicle trips
 with 52% (5 vph) entering and 48% (4 vph) exiting.

(same distribution split as ITE LUC 820 during the Saturday midday peak hour of generator)

Institute of Transportation Engineers (ITE)

Land Use Code (LUC) 933 - Fast-Food Restaurant without Drive-Through Window

Average Vehicle Trips Ends vs: 1,000 Sq. Feet Gross Floor Area
Independent Variable (X): 1.350

AVERAGE WEEKDAY DAILY

T = 716.00 * (X)
T = 716.00 * 1.350
T = 966.60
T = 968 vehicle trips
with 50% (484 vpd) entering and 50% (484 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

T = 43.87 * (X)
T = 43.87 * 1.350
T = 59.22
T = 59 vehicle trips
with 60% (35 vph) entering and 40% (24 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

T = 26.15 * (X)
T = 26.15 * 1.350
T = 35.30
T = 35 vehicle trips
with 51% (18 vph) entering and 49% (17 vph) exiting.

SATURDAY DAILY

T = 696.00 * (X)
T = 696.00 * 1.350
T = 939.60
T = 940 vehicle trips
with 50% (470 vpd) entering and 50% (470 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

T = 54.55 * (X)
T = 54.55 * 1.350
T = 73.64
T = 74 vehicle trips
with 49% (36 vph) entering and 51% (38 vph) exiting.

Institute of Transportation Engineers (ITE)

Land Use Code (LUC) 853 - Convenience Market with Gasoline Pumps

Average Vehicle Trips Ends vs: Vehicle Fueling Positions
Independent Variable (X): 10

AVERAGE WEEKDAY DAILY

$$T = 542.60 * (X)$$

$$T = 542.60 * 10$$

$$T = 5426.00$$

T = 5,426 vehicle trips

with 50% (2,713 vpd) entering and 50% (2,713 vpd) exiting.

WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 16.57 * (X)$$

$$T = 16.57 * 10$$

$$T = 165.70$$

T = 166 vehicle trips

with 50% (83 vph) entering and 50% (83 vph) exiting.

WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC

$$T = 19.07 * (X)$$

$$T = 19.07 * 10$$

$$T = 190.70$$

T = 191 vehicle trips

with 50% (96 vph) entering and 50% (95 vph) exiting.

SATURDAY DAILY

$$T = 204.47 * (X)$$

$$T = 204.47 * 10$$

$$T = 2044.70$$

T = 2,044 vehicle trips

with 50% (1,022 vpd) entering and 50% (1,022 vpd) exiting.

SATURDAY MIDDAY PEAK HOUR OF GENERATOR

$$T = 10.00 * (X)$$

$$T = 10.00 * 10$$

$$T = 100.00$$

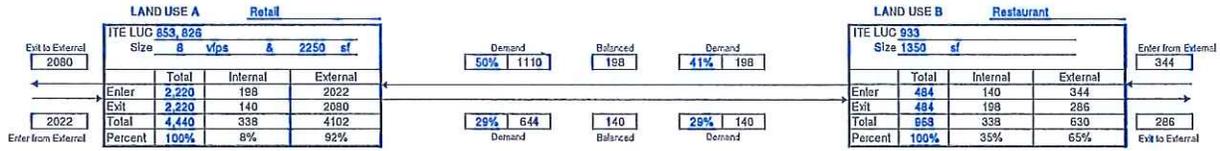
T = 100 vehicle trips

with 51% (51 vph) entering and 49% (49 vph) exiting.

Analyst: Susannah E. Theriault
 Date: May 12, 2016

**MULTI-USE DEVELOPMENT
 TRIP GENERATION
 AND INTERNAL CAPTURE SUMMARY**

Name of Dvlpt: Cumberland Farms
 Time Period: Weekday Daily



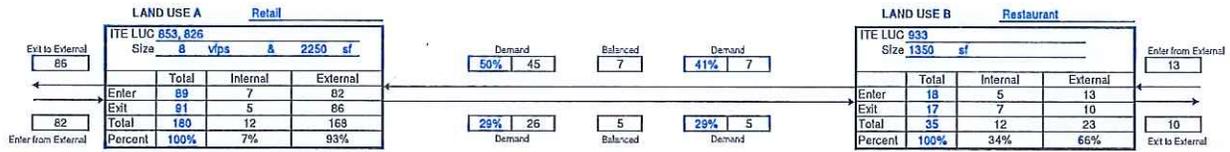
| | Enter | Exit | Total | Single-Use Trip Gen Est. | Internal Capture |
|--------------|-------------|-------------|-------------|--------------------------|------------------|
| Land Use A | 2022 | 2080 | 4102 | 4440 | |
| Land Use B | 344 | 286 | 630 | 968 | |
| TOTAL | 2366 | 2366 | 4732 | 5408 | 13% |

Based on ITE Trip Generation Handbook, June 2004.

Analyst: Susannah E. Theriault
 Date: May 12, 2016

**MULTI-USE DEVELOPMENT
 TRIP GENERATION
 AND INTERNAL CAPTURE SUMMARY**

Name of Dvlpt: Cumberland Farms
 Time Period: Weekday PM Peak Hour



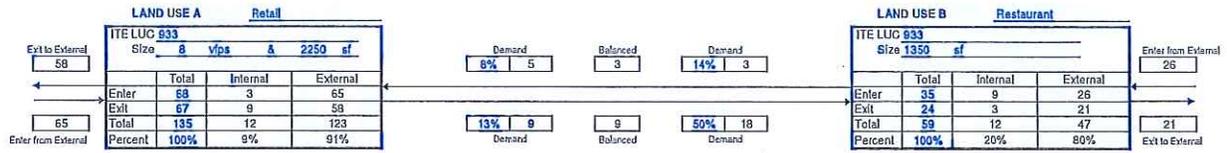
| | Enter | Exit | Total | Single-Use Trip Gen Est. | External Capture |
|--------------|-----------|-----------|------------|--------------------------|------------------|
| Land Use A | 82 | 86 | 168 | 180 | |
| Land Use B | 13 | 10 | 23 | 35 | |
| TOTAL | 95 | 96 | 191 | 215 | 11% |

Based on ITE *Trip Generation Handbook*, June 2004.

Analyst: Susannah E. Theriault
 Date: May 12, 2016

**MULTI-USE DEVELOPMENT
 TRIP GENERATION
 AND INTERNAL CAPTURE SUMMARY**

Name of Dvlpt: Cumberland Farms
 Time Period: Weekday AM Peak Hour



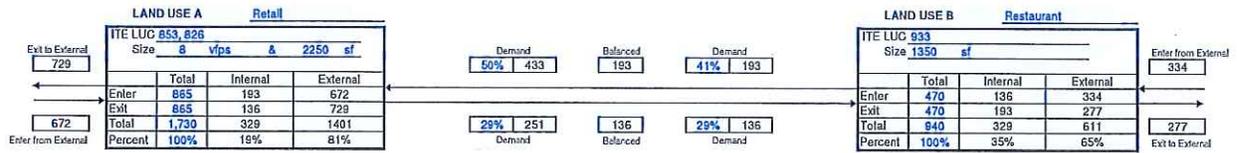
| | Enter | Exit | Total | Single-Use Trip Gen Est. | Internal Capture |
|--------------|-----------|-----------|------------|--------------------------|------------------|
| Land Use A | 65 | 58 | 123 | 135 | |
| Land Use B | 26 | 21 | 47 | 59 | |
| TOTAL | 91 | 78 | 170 | 194 | 13% |

Based on ITE Trip Generation Handbook, June 2004.

Analyst: Susannah E. Theriault
 Date: May 12, 2016

**MULTI-USE DEVELOPMENT
 TRIP GENERATION
 AND INTERNAL CAPTURE SUMMARY**

Name of Dvlpt: Cumberland Farms
 Time Period: Saturday Daily



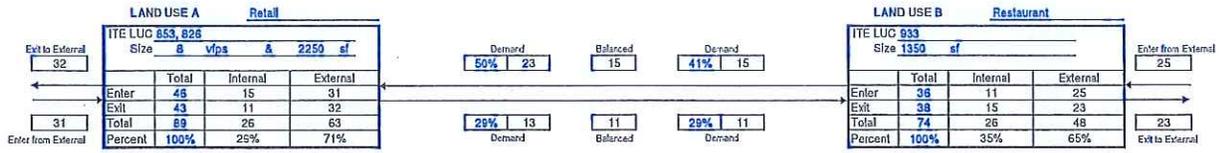
| | Enter | Exit | Total | Single-Use Trip Gen Est. | Internal Capture |
|--------------|-------------|-------------|-------------|--------------------------|------------------|
| Land Use A | 672 | 729 | 1401 | 1730 | |
| Land Use B | 334 | 277 | 611 | 940 | 25% |
| TOTAL | 1006 | 1006 | 2012 | 2670 | 25% |

Based on ITE Trip Generation Handbook, June 2004.

Analyst: Susannah E. Therault
 Date: May 12, 2016

**MULTI-USE DEVELOPMENT
 TRIP GENERATION
 AND INTERNAL CAPTURE SUMMARY**

Name of Dvlpt: Cumberland Farms
 Time Period: Saturday Midday Peak Hour



| | Enter | Exit | Total | Single-Use Trip Gen Est. | Internal Capture |
|--------------|-----------|-----------|------------|--------------------------|------------------|
| Land Use A | 31 | 32 | 63 | 89 | |
| Land Use B | 25 | 23 | 48 | 74 | |
| TOTAL | 56 | 55 | 111 | 163 | 32% |

Based on ITE Trip Generation Handbook, June 2004.

**Table F.14 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 851—Convenience Market (Open 24 Hours)**

| SIZE (1,000 SQ. FT. GFA) | LOCATION | WEEKDAY SURVEY DATE | NO. OF INTERVIEWS | TIME PERIOD | PASS-BY TRIP (%) | NON-PASS-BY TRIPS (%) | | | ADJ. STREET PEAK HOUR VOLUME | SOURCE |
|--------------------------|---------------------|---------------------|-------------------|----------------|------------------|-----------------------|----------|-------|------------------------------|-------------------------------|
| | | | | | | PRIMARY | DIVERTED | TOTAL | | |
| 3 | Overland Park, KS | Aug. 1987 | 68 | 4:30-5:30 p.m. | 34 | 53 | 13 | 66 | — | — |
| 3 | Overland Park, KS | July 1987 | 68 | 4:30-5:30 p.m. | 28 | 50 | 22 | 72 | — | — |
| ~1.9 | Billings, MT | 1987 | 461 | 4:00-6:00 p.m. | 62 | 13 | 25 | 38 | — | ITE Montana Section Tech Comm |
| <50.0 | Chicago suburbs, IL | 1987 | 72 | 3:00-6:00 p.m. | 28 | — | — | 72 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 54 | 3:00-6:00 p.m. | 78 | — | — | 22 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 34 | 3:00-6:00 p.m. | 69 | — | — | 31 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 100 | 3:00-6:00 p.m. | 63 | — | — | 37 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 43 | 3:00-6:00 p.m. | 43 | — | — | 57 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 135 | 3:00-6:00 p.m. | 39 | — | — | 61 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 74 | 3:00-6:00 p.m. | 53 | — | — | 47 | — | Kenig, O'Hara, Humes, Flock |
| <50.0 | Chicago suburbs, IL | 1987 | 80 | 3:00-6:00 p.m. | 64 | — | — | 36 | — | Kenig, O'Hara, Humes, Flock |

Average Pass-By Trip Percentage: 51

"—" means no data were provided

**Table F.15 Pass-By and Non-Pass-By Trips Weekday, AM Peak Period
Land Use Code 853—Convenience Market with Gasoline Pumps**

| SIZE (1,000 SQ. FT. GFA) | LOCATION | WEEKDAY SURVEY DATE | NO. OF INTERVIEWS | TIME PERIOD | PASS-BY TRIP (%) | NON-PASS-BY TRIPS (%) | | | ADJ. STREET PEAK HOUR VOLUME | SOURCE |
|--------------------------|---------------------|---------------------|-------------------|----------------|------------------|-----------------------|----------|-------|------------------------------|-----------------------|
| | | | | | | PRIMARY | DIVERTED | TOTAL | | |
| 2.8 | Louisville area, KY | 1993 | — | 7:00-9:00 a.m. | 54 | 11 | 35 | 46 | 1,240 | Barton-Aschman Assoc. |
| 2.4 | Louisville area, KY | 1993 | — | 7:00-9:00 a.m. | 48 | 17 | 35 | 52 | 1,210 | Barton-Aschman Assoc. |
| 4.2 | Louisville area, KY | 1993 | 47 | 7:00-9:00 a.m. | 62 | 19 | 19 | 38 | 1,705 | Barton-Aschman Assoc. |
| 2.6 | Crestwood, KY | 1993 | — | 7:00-9:00 a.m. | 72 | 15 | 13 | 28 | 940 | Barton-Aschman Assoc. |
| 3.7 | Louisville area, KY | 1993 | 49 | 7:00-9:00 a.m. | 66 | 16 | 18 | 34 | 990 | Barton-Aschman Assoc. |
| 3.0 | New Albany, IN | 1993 | 62 | 7:00-9:00 a.m. | 74 | 10 | 16 | 26 | 790 | Barton-Aschman Assoc. |
| 2.3 | Louisville, KY | 1993 | 58 | 7:00-9:00 a.m. | 64 | 5 | 31 | 36 | 1,255 | Barton-Aschman Assoc. |
| 2.2 | New Albany, IN | 1993 | 79 | 7:00-9:00 a.m. | 56 | 6 | 38 | 44 | 635 | Barton-Aschman Assoc. |
| 3.6 | Louisville area, KY | 1993 | 49 | 7:00-9:00 a.m. | 67 | 4 | 29 | 33 | 1,985 | Barton-Aschman Assoc. |

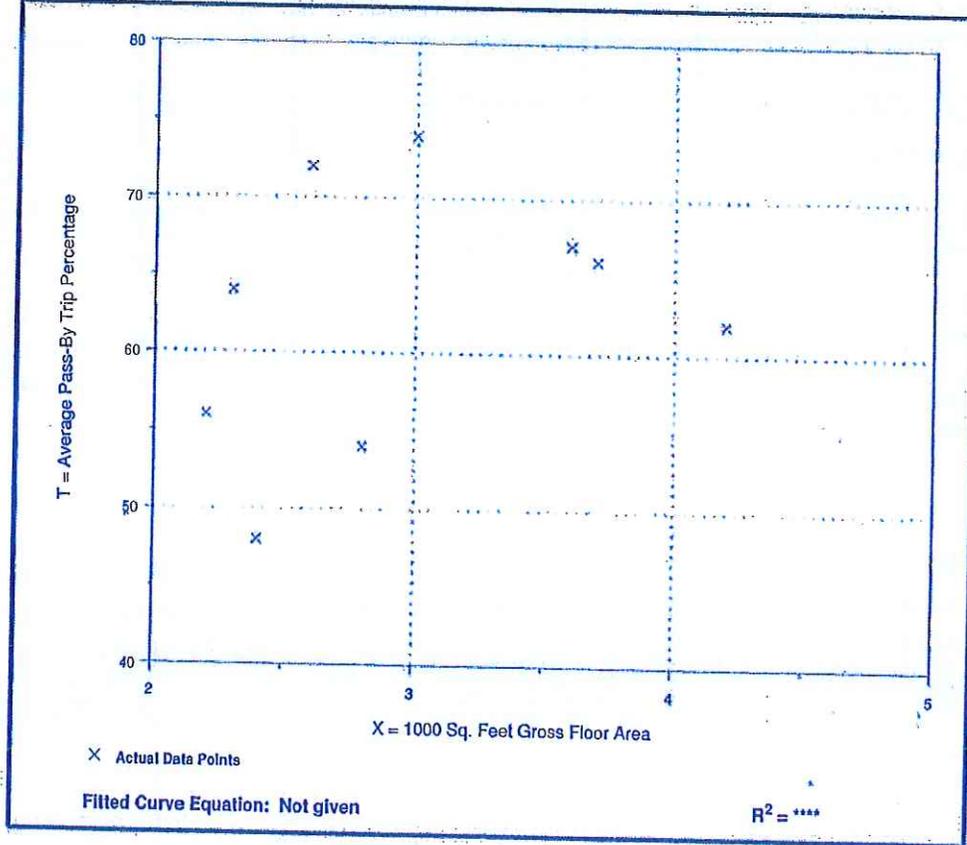
Average Pass-By Trip Percentage: 63

"—" means no data were provided

Figure F.11 Convenience Market with Gasoline Pumps (853)

Average Pass-By Trip Percentage vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday, A.M. Peak Period
Number of Studies: 9
Average 1000 Sq. Feet GFA: 3

Data Plot



**Table F.16 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 853—Convenience Market with Gasoline Pumps**

| SIZE (1,000 SQ. FT. GFA) | LOCATION | WEEKDAY SURVEY DATE | NO. OF INTERVIEWS | TIME PERIOD | PASS-BY TRIP (%) | NON-PASS-BY TRIPS (%) | | | ADJ. STREET PEAK HOUR VOLUME | SOURCE |
|--------------------------------|------------------------|---------------------------|----------------------|----------------|---------------------|-----------------------|----------|-------|------------------------------------|---------------------------|
| | | | | | | PRIMARY | DIVERTED | TOTAL | | |
| 2.8 | Louisville area, KY | 1993 | — | 4:00–6:00 p.m. | 62 | 11 | 27 | 38 | 2,075 | Barton-Aschman Assoc. |
| 2.4 | Louisville area, KY | 1993 | — | 4:00–6:00 p.m. | 50 | 13 | 29 | 42 | 2,655 | Barton-Aschman Assoc. |
| 4.2 | Louisville area, KY | 1993 | 61 | 4:00–6:00 p.m. | 58 | 26 | 16 | 42 | 2,300 | Barton-Aschman Assoc. |
| 2.6 | Crestwood, KY | 1993 | 68 | 4:00–6:00 p.m. | 67 | 15 | 18 | 33 | 950 | Barton-Aschman Assoc. |
| 3.7 | Louisville area, KY | 1993 | 70 | 4:00–6:00 p.m. | 61 | 16 | 23 | 39 | 2,175 | Barton-Aschman Assoc. |
| 3.0 | New Albany, IN | 1993 | 80 | 4:00–6:00 p.m. | 65 | 15 | 20 | 35 | 1,165 | Barton-Aschman Assoc. |
| 2.3 | Louisville, KY | 1993 | 67 | 4:00–6:00 p.m. | 57 | 16 | 27 | 43 | 1,954 | Barton-Aschman Assoc. |
| 2.2 | New Albany, IN | 1993 | 115 | 4:00–6:00 p.m. | 40 | 16 | 36 | 52 | 820 | Barton-Aschman Assoc. |
| 3.6 | Louisville area, KY | 1993 | 60 | 4:00–6:00 p.m. | 56 | 17 | 27 | 44 | 2,505 | Barton-Aschman Assoc. |
| 2.6 | Seminole Co., FL | 1989 | 82 | 4:00–6:00 p.m. | 73 | 20 | 7 | 27 | — | Tipton Associates Inc. |
| 2.6 | Seminole Co., FL | 1989 | 98 | 4:00–6:00 p.m. | 81 | 15 | 4 | 19 | — | Tipton Associates Inc. |
| 2.6 | Seminole Co., FL | 1989 | 115 | 4:00–6:00 p.m. | 69 | 16 | 15 | 31 | — | Tipton Associates Inc. |
| 2.6 | Volusia Co., FL | 1989 | 98 | 4:00–6:00 p.m. | 74 | 15 | 11 | 26 | — | Tipton Associates Inc. |
| 2.4 | Volusia Co., FL | 1989 | 38 | 4:00–6:00 p.m. | 74 | 24 | 2 | 26 | — | Tipton Associates Inc. |
| 2.7 | Volusia Co., FL | 1989 | 82 | 4:00–6:00 p.m. | 87 | 8 | 5 | 13 | — | Tipton Associates Inc. |
| 2.6 | Seminole Co., FL | 1989 | 99 | 2:00–4:00 p.m. | 64 | 28 | 8 | 36 | — | Tipton Associates Inc. |
| 2.4 | Volusia Co., FL | 1989 | 38 | 2:00–4:00 p.m. | 68 | 21 | 11 | 32 | — | Tipton Associates Inc. |

Average Pass-By Trip Percentage: 66

“—” means no data were provided

Figure F.12 Convenience Market with Gasoline Pumps (853)

Average Pass-By Trip Percentage vs: 1000 Sq. Feet Gross Floor Area
 On a: Weekday, P.M. Peak Period
 Number of Studies: 17
 Average 1000 Sq. Feet GFA: 3

Data Plot

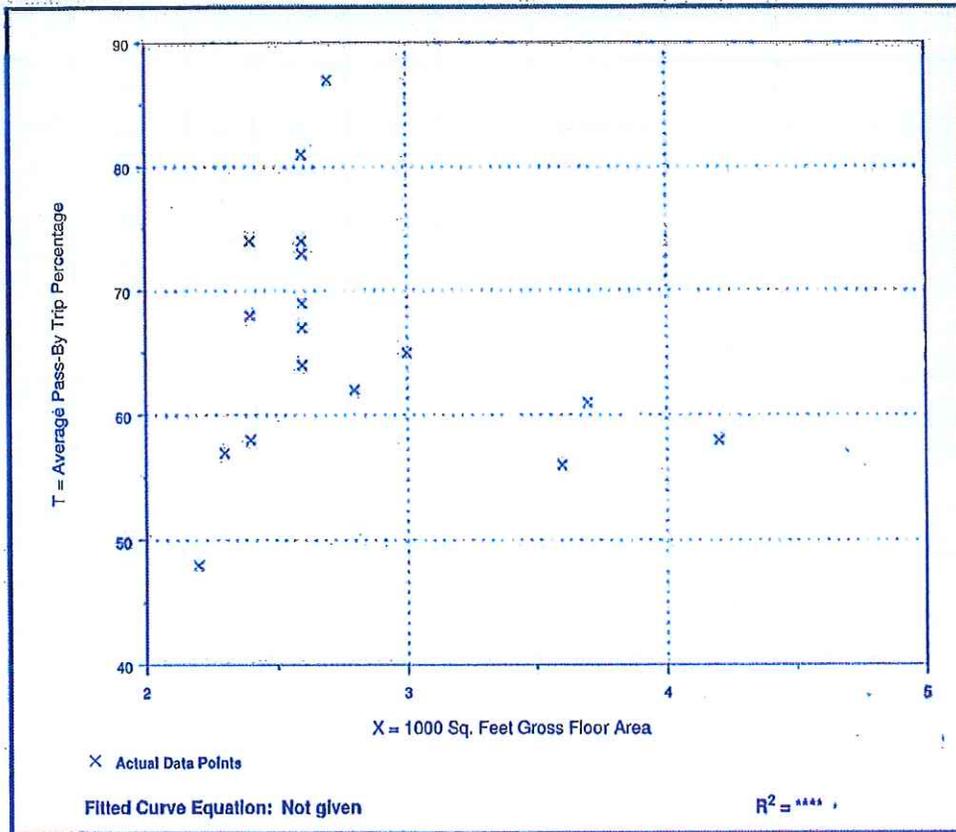
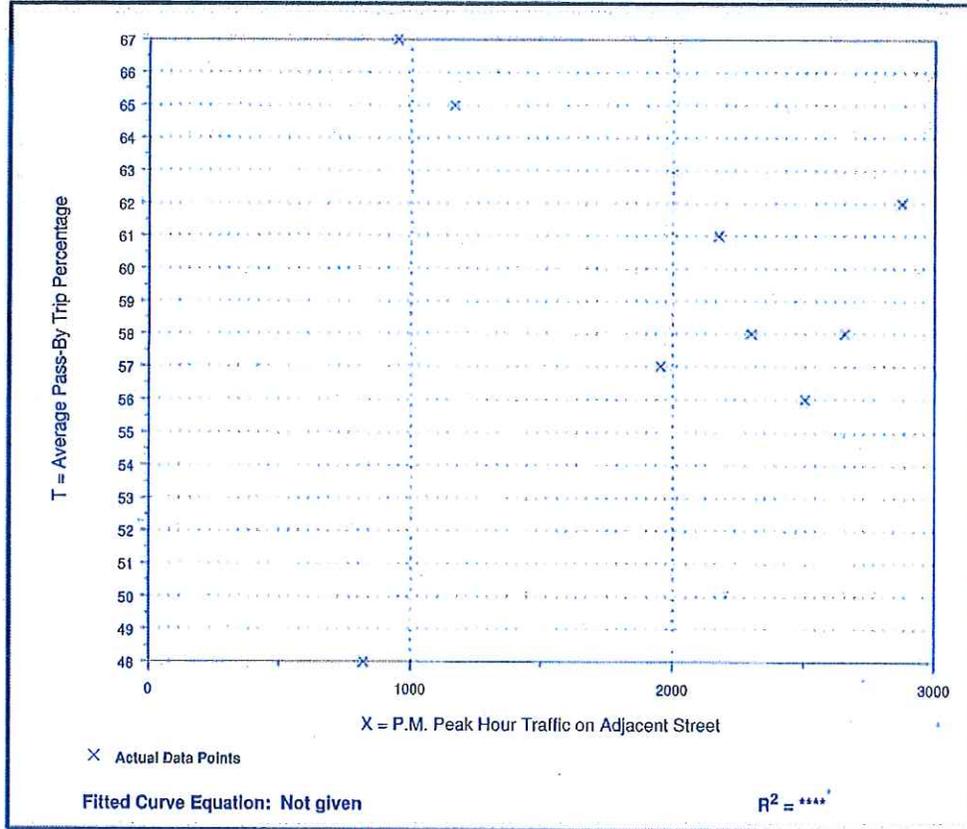


Figure F.13 Convenience Market with Gasoline Pumps (853)

Average Pass-By Trip Percentage vs: P.M. Peak Hour Traffic on Adjacent Street
On a: Weekday, P.M. Peak Period
Number of Studies: 9
Avg. P.M. Peak Hr. Traf. on Adj. Street: 1,933

Data Plot



8

CUMBERLAND FARMS SITE PLAN APPLICATION
190 BATH ROAD, BRUNSWICK, MAINE

WAIVER REQUESTS

(Revised)

Pursuant to Section 205.3.A. of the Brunswick Zoning Ordinance, and due to the unique shape of the subject parcel, the required location of the fuel service area, and the location of the sewer easement on the south side of the parcel, Cumberland Farms respectfully requests the following waivers from the Cook's Corner Design Standards:

1. Corner Lot Treatment: The proposed redesign meets the required minimum setbacks from all street frontages. Due to the unique shape of the parcel, the location of the sewer easement, and for safety reasons, the fuel service area must however be located in the front of the store with clear visibility from the retail cashier location. As such, Cumberland Farms requests a waiver from the design standard requiring no parking, vehicular travel, or service areas to be located between the building and property lines on both streets.
2. Corner Buildings: The design of the redeveloped structure is two-story with a pitched roof and dormers. Due to the nature of the business as well as required parking, the second story does not have useable floor area and Cumberland Farms requests a waiver from this design standard.
3. Entrance (Corner Lot): Due to the unique shape of the parcel and the necessary location of the placement of the fuel service area within a straight visual line from the retail cashier, Cumberland Farms requests a waiver from the design requirement that the entrance be located on the corner.
4. Side Lot Parking: Due to the unique shape of the parcel, some of the parking spaces along the sideline will extend closer to Thomas Point Road than the front façade of the building, although not closer than the canopy structure for the fuel service area. To the extent that a waiver is required, Cumberland Farms requests a waiver from this design standard.
5. Relationship of Building to Thomas Point Road: Due to the unique shape of the subject parcel, the need to orient the retail building facing Bath Road, and the location of the underground fuel storage tanks, the side of the structure facing Thomas Point Road is further than 25 feet from the property line. The Design Guidelines reference the "front lot line" and Thomas Road is the side lot line for this project. To the extent that a waiver is required, Cumberland Farms request such waiver.
6. Relationship of Building to Bath Road: Due to the unique shape of the parcel, the required location of the fuel service area, and the need for vehicles to safely access the fuel service area, the building is located approximately 112 feet from the front lot line which is further than the maximum 100-foot setback in the Design Guidelines. Cumberland Farms therefore requests a waiver from this Design Standard.
7. Public Sidewalks and Esplanades: Due to the unique shape of the parcel, the required location of the fuel service area, and the location of the sewer easement, there is inadequate room for a sidewalk along the public streets.

August 31, 2016

Ms. Anna Breinich
Director of Planning and Development
Town of Brunswick
85 Union Street
Brunswick, ME 04011

Re: Cumberland Farms, Inc.
Map CC1 Lot 28
190 Bath Road
Brunswick, ME 04011

Sub: Drainage Memorandum Revision

Dear Ms. Breinich,

MHF Design Consultants, Inc., on behalf of our client, Cumberland Farms Inc., is pleased to provide the following information summarizing the proposed site re-development project relative to the effects it will have on stormwater management on the surrounding areas at the above referenced site. Please refer to the attached Proposed Site Re-Development Plans, dated July 11, 2016, last revised August 26, 2016, as prepared by this office.

The property is located on a parcel of land that is approximately 1.12 Ac in size and identified as Tax Map CC1, Lot 28 and is located in the Cooks Corner Center zoning district at the southeast intersection of Bath Road and Route 24. The lot is currently occupied by a 6,883 sf Cumberland Farms Convenience Store which includes an AT&T Retail shop and Papa John's Pizza shop. The site also includes a fuel dispensing area with 4 dispensers (8 fueling locations), an overhead canopy, 16 striped parking spaces and many additional un-striped paved areas accessed by driveways located along both Bath Road and Thomas Point Road.

Cumberland Farms Inc. proposes to raze the existing building and fuel dispensing area and construct a new standalone Cumberland Farms convenience store (4,786 sf), a new fuel canopy with five (5) dispensers (10 fueling locations), new fuel piping and two (2) new 20,000 gallon double wall fiberglass underground fuel storage tanks. Site improvements will also include a reconfigured parking area, new trash enclosure, bike rack and modified entrance driveways. New utility connections including water, gas, electric and sewer are proposed along with new landscaping to enhance the site.

Re-development of this parcel will result in a decrease in onsite impervious coverage of approximately 11,267 sf which will in turn reduce both the peak rate and volume of runoff discharging into the Bath Road and Thomas Point Road closed drainage systems. The proposed on-site stormwater management system includes installing several deep sump, hooded catch basins and the installation of a hydrodynamic separator prior to discharge into the existing closed drainage system in Bath Road which will significantly improve the stormwater quality. While



there is an existing closed drainage system currently onsite, it appears that the pipes are undersized and that little or no pretreatment of the stormwater is provided before leaving the site.

Based on the reduction in impervious coverage of over 1/4-ac and the implementation of a new stormwater management system, we believe that the owner is improving the current conditions while reducing peak rates of runoff and volume discharging from the site and that there will be no negative impact on the abutting properties as a result of the proposed redevelopment project.

Please review the attached information and should you have any questions, please feel free to call our office at your convenience.

Sincerely,
MHF Design Consultants, Inc.

A handwritten signature in black ink, appearing to read 'Chris Tymula', is written over the typed name and title.

Chris Tymula
Project Manager

F:\Projects\Eng\375115\3751-Drainage Memo--Rev1.doc

Cc: Dalina Boryszewski - Cumberland Farms, Inc. (EB Upload)
Sandra Guay - Woodman Edmands Danylik Austin Smith & Jacques, P.A.

PROPOSED SITE RE-DEVELOPMENT PLANS

for

ASSESSORS MAP CC1 LOT 28

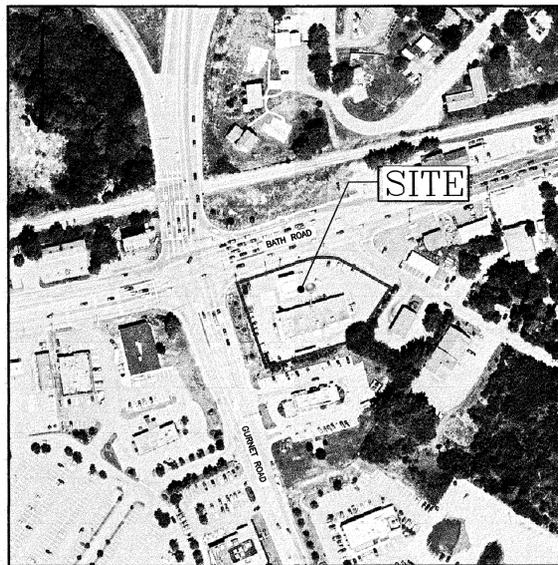
190 BATH ROAD

BRUNSWICK, ME 04011

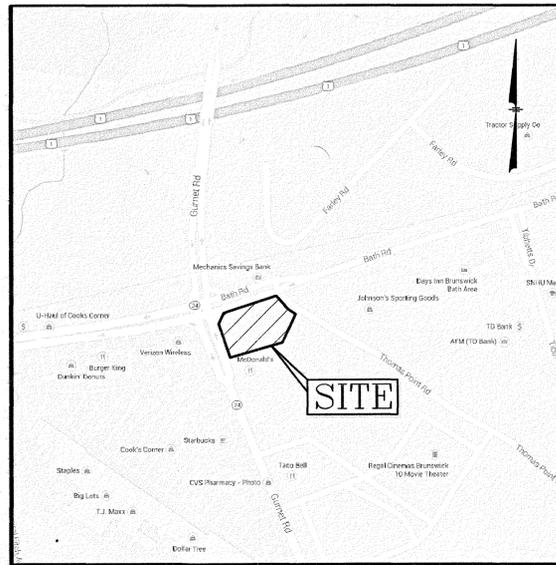
Prepared for:



100 CROSSING BLVD, FRAMINGHAM, MASSACHUSETTS 01702



AERIAL IMAGE
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

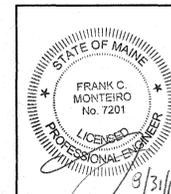
INDEX TO DRAWINGS

- CFG01.0 TITLE SHEET
- CFG02.0 ALTA/ACSM LAND TITLE SURVEY
- CFG03.0 DEMOLITION PLAN
- CFG04.0 SITE PLAN
- CFG05.0 GRADING & DRAINAGE PLAN
- CFG06.0 EROSION & SEDIMENTATION CONTROL PLAN
- CFG07.0 UTILITY PLAN
- CFG08.0 LANDSCAPE PLAN
- CFG09.0 DETAIL SHEET
- CFG09.1 DETAIL SHEET
- CFG09.2 DETAIL SHEET
- CFG09.3 DETAIL SHEET
- CFG10.0 LIGHTING PLAN
- CFG10.1 FIXTURE SPECIFICATION SHEET
- CFG11.0 FIRE SUPPRESSION PLAN (BY OTHERS)
- CFG12.0 PROPOSED CANOPY PLAN & ELEVATIONS
- CFG13.0 SIGN PLAN
- CFG16.0 TRUCK TURN PLAN (CFG TANKER)
- A1.1 FLOOR PLAN & PARTITION TYPES *
- A3.1 EXTERIOR ELEVATIONS *
- A3.2 EXTERIOR ELEVATIONS *
- DS1.1 DOWNSPOUT LOCATION PLAN *
- L1.1 EXTERIOR BUILDING LIGHTING PLAN *

* ARCHITECTURAL PLANS FOR PERMITTING USE ONLY.
CONTRACTOR TO REFER TO STAMPED, SIGNED, SEALED
PLANS LABELED "FOR CONSTRUCTION".



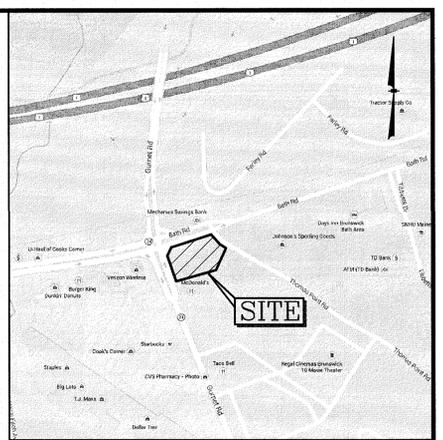
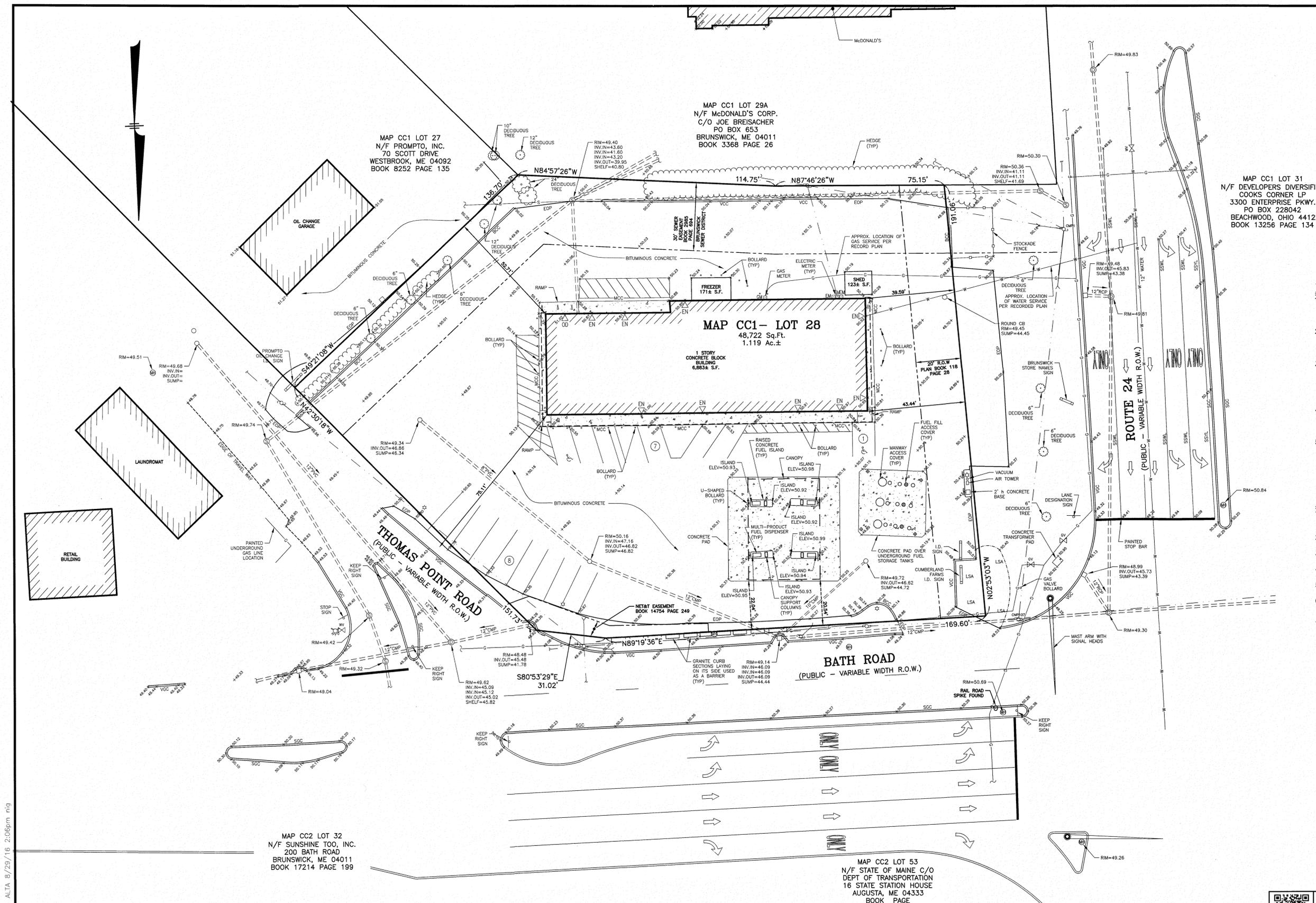
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| REVISIONS | | | |
|-----------|---------|---------|---------------------------|
| NO. | DATE | REV. BY | DESCRIPTION |
| 1 | 8/7/16 | CMT | REV. SHEET CFG13.0 |
| 2 | 8/26/16 | CMT | REV. CFG01.0-CFG08.0, TTP |
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| | | | |
| | | | |
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| | |
|-------------------|------------------------|
| 48,722 FEET | 190 BATH ROAD |
| 1.119 ACRES | BRUNSWICK, MAINE 04011 |
| V# L0589 | SCALE: AS NOTED |
| Store# 5585 | DATE: JULY 11, 2016 |
| Gas Station# 1818 | FILE: 3751SP.dwg |
| | DRAWN BY: CMT |
| | CHECKED BY: FCM |
| | TITLE SHEET |
| | CFG01.0 |

F:\Projects\3751\3751SP.dwg Model 8/29/16 2:43pm nlg



LOCATION MAP
(NOT TO SCALE)

- NOTES:**
- 1) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
 - 2) ELEVATIONS SHOWN HEREON ARE ON NGVD 1929. CURB ELEVATIONS SHOWN ARE AT THE "TOE" OF CURB. CURBS ARE 0.50'± HIGH.
 - 3) THE SURVEY TRACT IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF BRUNSWICK, MAINE CUMBERLAND COUNTY, PANEL 15 OF 35, COMMUNITY PANEL NUMBER 230042 0015 B; EFFECTIVE DATE: JANUARY 3, 1986.
 - 4) REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE #NCS-727776-HOU1, EFFECTIVE: APRIL 23 2015.
 - 5) NONE OF THE SURVEY TRACT LIES WITHIN THE BOUNDS OF ANY ADJACENT STREETS, ROADS OR WAYS.

- PLAN REFERENCES:**
- 1) CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.) PLAN BOOK 197 PAGE 350.
 - 2) C.C.R.D. PLAN BOOK 195 PAGE 161.
 - 3) C.C.R.D. PLAN BOOK 118 PAGE 28.
 - 4) C.C.R.D. PLAN BOOK 66 PAGE 68.
 - 5) C.C.R.D. PLAN BOOK 66 PAGE 58.
 - 6) STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP. D.O.T. FILE NO. 3-350 DATED APRIL, 1987.
 - 7) STANDARD BOUNDARY SURVEY ON ROUTE 24, BRUNSWICK, MAINE MADE FOR McDONALD'S CORPORATION; SCALE: 1"=20'; DATE: APRIL 2, 1993 BY OWEN HASKELL, INC. COPY OBTAINED FROM THE TOWN OF BRUNSWICK PLANNING DEPARTMENT.

CERTIFICATION:
TO: CUMBERLAND FARMS, INC., HINCKLEY, ALLEN & SNYDER AND FIRST AMERICAN TITLE INSURANCE COMPANY

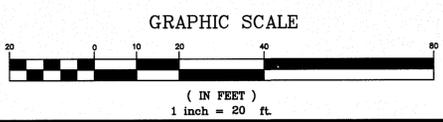
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B, 8, 9, 10, 11B, 12, 13 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 7, 2015.



Gordon D. Hislop Jr.
DATE OF PLAT OR MAP: 8/31/16

LEGEND

| | | | |
|-----|---------------------------------|-----|-------------------|
| VCC | VERTICAL GRANITE CURB | U | UTILITY POLE |
| SGC | SLOPED GRANITE CURB | DM | DRAIN MANHOLE |
| BCC | BITUMINOUS CONCRETE LIP CURBING | SM | SEWER MANHOLE |
| OSW | OVERHEAD SERVICE WIRES | TMH | TELEPHONE MANHOLE |
| SSL | SINGLE SOLID WHITE LINE | CB | CATCH BASIN |
| BWL | BROKEN WHITE LINE | WL | WATER LINE |
| S | SIGN | WV | WATER VALVE |
| TB | TEST BORING | FH | FIRE HYDRANT |
| TL | TREELINE | GV | GAS VALVE |
| CE | CONTOUR ELEVATION | GL | GAS LINE |
| SE | SPOT ELEVATION | | |



OWNER OF RECORD:
LHB ENTERPRISES
3 BATTERY WEAR UNIT 3411
BOSTON, MASSACHUSETTS 02109
BOOK 13060 PAGE 174



| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

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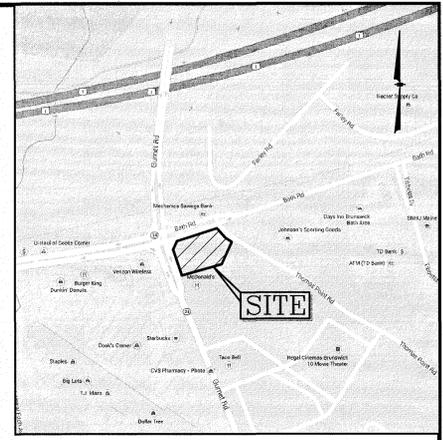
190 BATH ROAD
BRUNSWICK, MAINE 04011

SCALE: 1" = 20'
DATE: JULY 11, 2016
FILE: 3751TWS.dwg
DRAWN BY: MJK
CHECKED BY: FCM

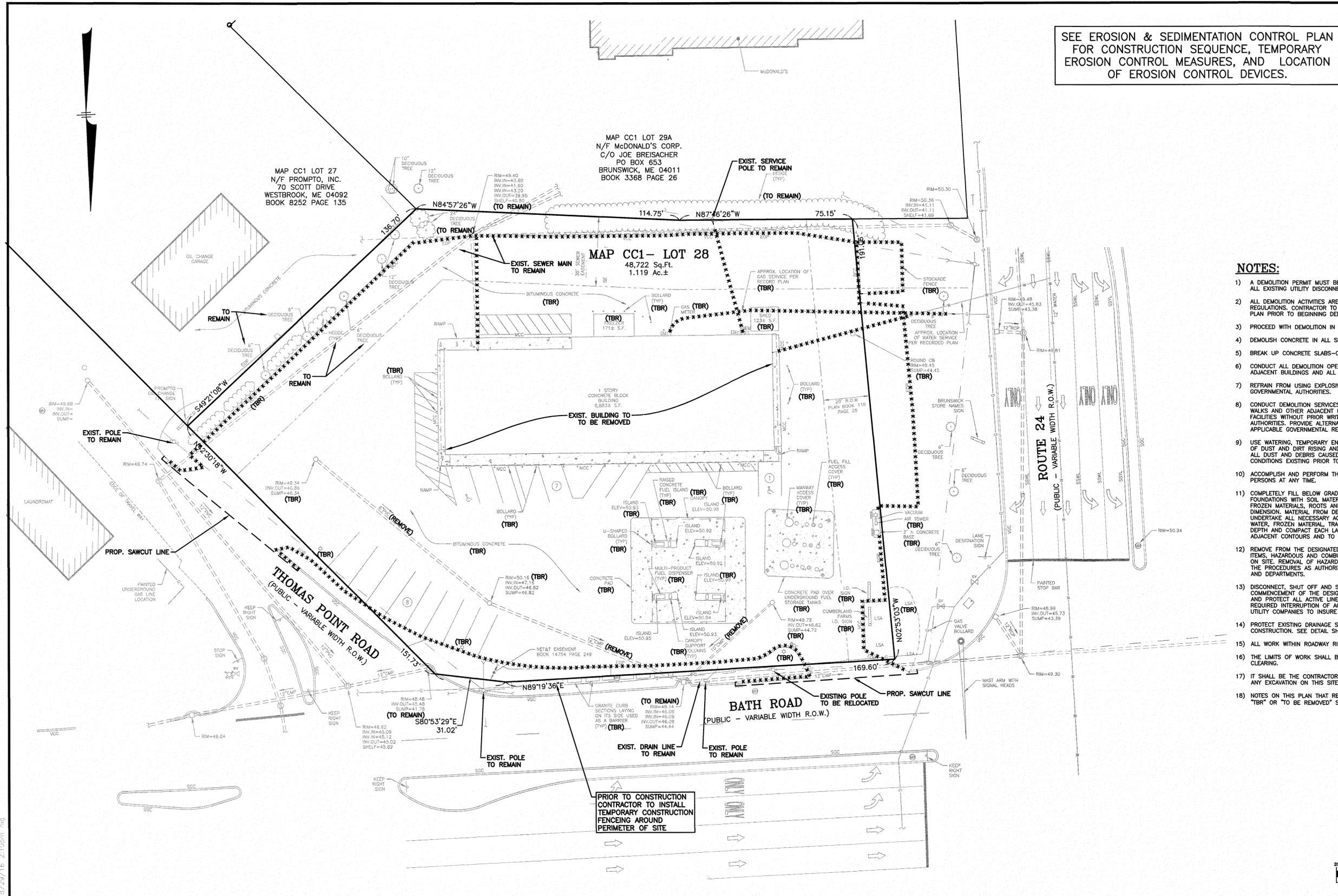
ALTA/ACSM LAND TITLE SURVEY CFG02.0

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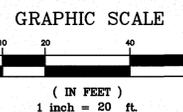
SEE EROSION & SEDIMENTATION CONTROL PLAN FOR CONSTRUCTION SEQUENCE, TEMPORARY EROSION CONTROL MEASURES, AND LOCATION OF EROSION CONTROL DEVICES.



LOCATION MAP (NOT TO SCALE)



- NOTES:**
- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF BRUNSWICK PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
 - 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
 - 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 - 4) DEMOLISH CONCRETE IN ALL SECTIONS.
 - 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
 - 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 - 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 - 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 - 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
 - 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
 - 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
 - 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO TOWN OF BRUNSWICK AND MDOT STANDARDS.
 - 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
 - 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

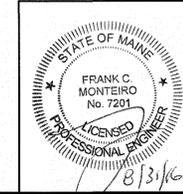


LEGEND

| | | | |
|---|-------------------|-------|--------------------------|
| ○ | UTILITY POLE | — | OVERHEAD SERVICE WIRES |
| ⊙ | DRAIN MANHOLE | — | DOUBLE SOLID YELLOW LINE |
| ⊙ | SEWER MANHOLE | — | SINGLE SOLID WHITE LINE |
| ⊙ | TELEPHONE MANHOLE | — | SIGN |
| □ | CATCH BASIN | ⊕ | OBSERVATION WELL |
| — | WATER LINE | — | TREELINE |
| ⊕ | WATER VALVE | — | CONTOUR ELEVATION |
| ⊕ | FIRE HYDRANT | — | GAS LINE |
| ⊕ | GAS VALVE | (TBR) | TO BE REMOVED |
| | | — | TO BE REMOVED |



PRIOR TO CONSTRUCTION CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION FENCEING AROUND PERIMETER OF SITE



| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
1.119 ACRES
V# L0589
Store# 5585
Gas Station# 1818

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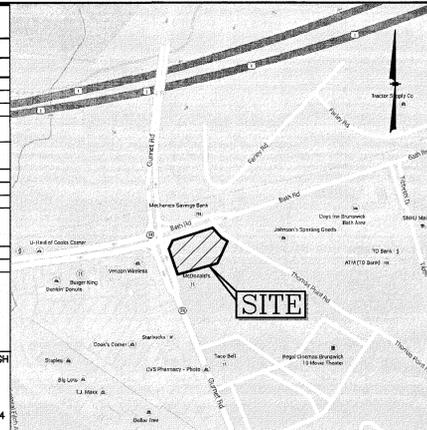
Cumberland Farms Inc.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

DEMOLITION PLAN
CFG03.0

SCALE: 1" = 20'
DATE: JULY 11, 2016
FILE: 3751SP.dwg
DRAWN BY: CMT
CHECKED BY: FCM

TABLE OF ZONING REGULATIONS - BRUNSWICK, ME

| ZONE: COOKS CORNER CENTER DISTRICT (CCD) | | |
|--|---|---|
| DESCRIPTION | REQUIRED | PROVIDED |
| MINIMUM LOT AREA | 15,000 SF | 48,722 SF |
| MINIMUM LOT FRONTAGE | 60' | 199.03' (ALONG BATH ROAD) |
| MINIMUM FRONT YARD BUILDING SETBACK ON THOMAS POINT ROAD | 0' | 31.3' (CANOPY) |
| MAXIMUM FRONT YARD BUILDING SETBACK ON BATH ROAD | 25' | MIN=31.3' (CANOPY) 104.4' (C-STORE) |
| MINIMUM FRONT YARD BUILDING SETBACK ON BATH ROAD | 100' | (C-STORE) MIN=108.7' (CANOPY) MIN=36.2' |
| MINIMUM SIDE YARD BUILDING SETBACK | 0' | 46.2' (BUILDING) |
| MINIMUM REAR YARD BUILDING SETBACK | 0' ON CORNER LOT | 32.8' (BUILDING) |
| PARKING SPACE DIMENSIONS | NOT PROVIDED | 10'x20' |
| MINIMUM NUMBER PARKING SPACES | 4 SPACES/1000 SF FLOOR AREA = (4,786 / 1,000) x 4 = 21 SPACES REQUIRED | 21 SPACES (INCLUDES 2 EMPLOYEE SPACES) |
| MAXIMUM BUILDING HEIGHT | 40' | 32'-10" |
| MAXIMUM LOT COVERAGE | 80% | 33,299 SF± (68.3%) |
| FREESTANDING SIGN AREA, HEIGHT & SETBACK | 1 SIGN ALLOWED PER 250 LF OF LOT FRONTAGE: (1) MONUMENT SIGN, MAX. 32 SF, 10' HIGH, NO MIN. FRONT SETBACK OR (1) POLE SIGN, MAX. 25 SF, 15' HIGH, 5' SETBACK TO SIDE & REAR PROPERTY LINES & NO MIN. FRONT SETBACK | 543.41 LF FRONTAGE (2) 9' HIGH, 31.5 SF SIGN MONUMENT SIGNS PROPOSED |
| WALL SIGN AREA (COOKS CORNER CENTER) | 25 SF MAX. WALL SIGNAGE OR 10% OF PRINCIPAL WALL FACADE, WHICHEVER IS GREATER | 103.5' WALL FACADE x 13'-10" HIGH = 1,431 SF 10% = 143 SF ALLOWED (1) 37.4 SF SIGN FACING BATH ROAD (1) 24.5 SF SIGN FACING ROUTE 24 TOTAL WALL SIGNS = 62.1 SF |
| GASOLINE CANOPY SIGNS | 15% MAX. SF/SIDE OF CANOPY OR TOTAL AREA SHALL NOT EXCEED 9% OF TOTAL SF OF ENTIRE CANOPY | 24' WIDE CANOPY x 3'-8" HIGH = 88 SF 915% = 13.2 SF ALLOWED/SIDE (3) 11 SF SIGNS PROPOSED |



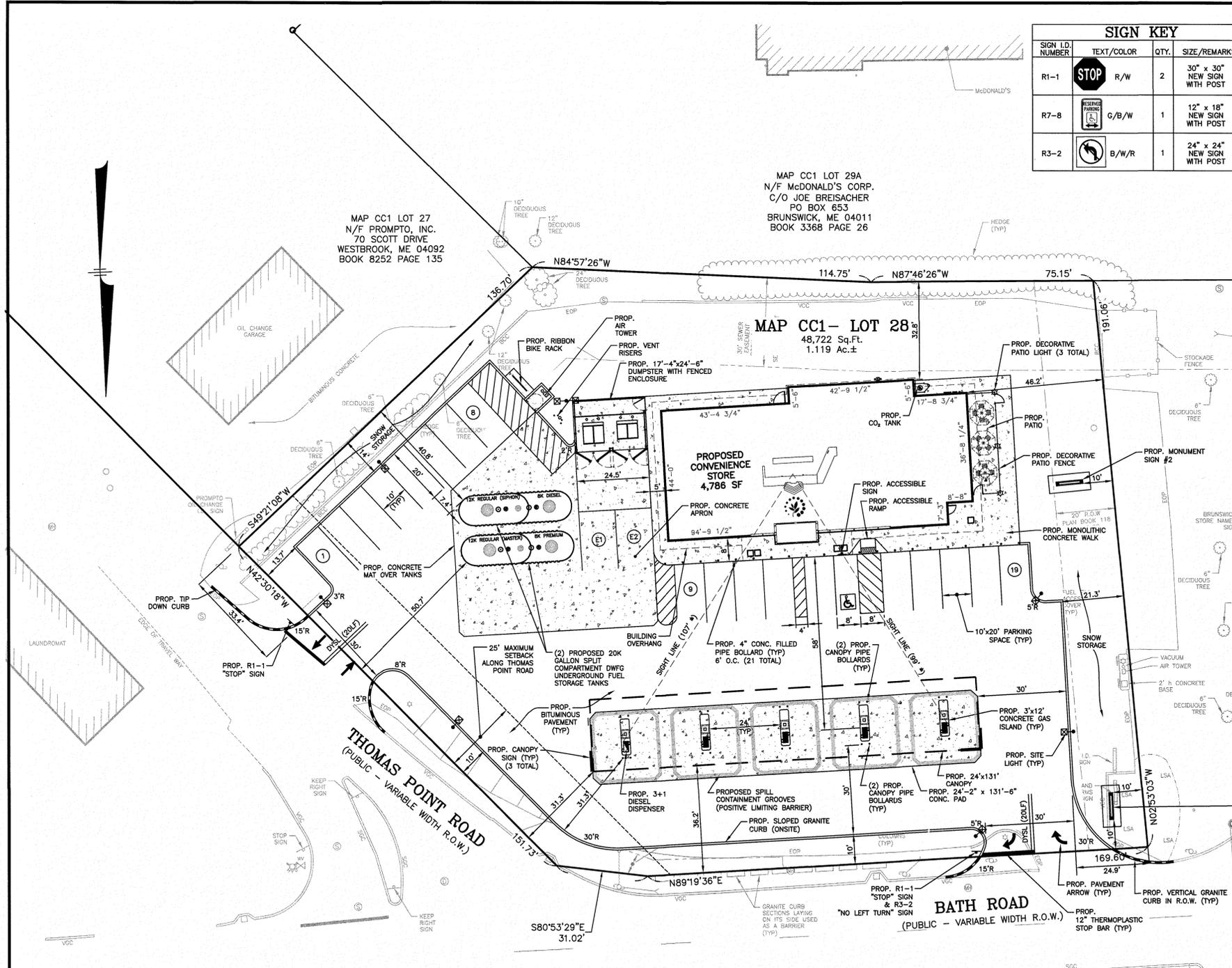
SIGN KEY

| SIGN I.D. NUMBER | TEXT/COLOR | QTY. | SIZE/REMARKS |
|------------------|------------|------|------------------------------|
| R1-1 | STOP R/W | 2 | 30" x 30" NEW SIGN WITH POST |
| R7-8 | G/B/W | 1 | 12" x 18" NEW SIGN WITH POST |
| R3-2 | B/W/R | 1 | 24" x 24" NEW SIGN WITH POST |

MAP CC1 LOT 29A
N/F McDONALD'S CORP.
C/O JOE BREISACHER
PO BOX 653
BRUNSWICK, ME 04011
BOOK 3368 PAGE 26

MAP CC1 LOT 27
N/F PROMPTO, INC.
70 SCOTT DRIVE
WESTBROOK, ME 04092
BOOK 8252 PAGE 135

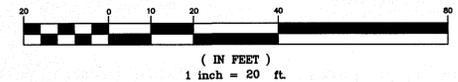
MAP CC1 - LOT 28
48,722 Sq.Ft.
1.119 Ac.±



NOTES:

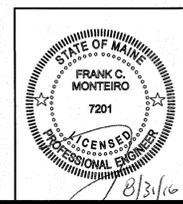
- THE BOUNDARY INFORMATION SHOWN HEREON FOR MAP CC1 LOT 28 IS THE RESULT OF A STANDARD BOUNDARY SURVEY BY THIS OFFICE.
- ZONING DISTRICT: COOKS CORNER CENTER DISTRICT (CCD)
- LOT AREA = 48,722 Sq.Ft.± = 1.119 Ac.±
- EXISTING USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 6,883 SF CONVENIENCE STORE, A FUEL DISPENSING AREA WITH 4 DISPENSERS (8 FUELING POSITIONS), AN OVERHEAD CANOPY, AN AT&T RETAIL STORE AND A PAPA JOHN'S PIZZA.
PROPOSED USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 4,786 SF CONVENIENCE STORE AND A FUEL DISPENSING AREA WITH 5 DISPENSERS (10 FUELING POSITIONS) AND AN OVERHEAD CANOPY.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY 26, 1991, REVISED JULY 23, 2004.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF BRUNSWICK AND THE STATE OF MAINE.
- THE SURVEY TRACT IS LOCATED IN ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL #230042 0015 B FOR THE TOWN OF BRUNSWICK, MAINE CUMBERLAND COUNTY. EFFECTIVE DATE: JANUARY 3, 1986.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY CUMBERLAND FARMS.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION. SIGNAGE SHALL COMPLY WITH THE LAND USE CODE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
- ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
- ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON PROPERTY.
- EXISTING IMPERVIOUS COVERAGE = 44,566 SF± (91.5%)
PROPOSED IMPERVIOUS COVERAGE = 33,299 SF± (68.3%)

GRAPHIC SCALE



LEGEND

| | | | |
|---|---------------------------------|---|------------------------------------|
| ○ | IRON PIN FOUND | — | TREELINE |
| □ | CONCRETE BOUND FOUND | — | UTILITY POLE |
| △ | RAILROAD SPIKE FOUND | — | DRAIN MANHOLE |
| ○ | DRILL HOLE FOUND | — | SEWER MANHOLE |
| — | VERTICAL GRANITE CURB | — | TELEPHONE MANHOLE |
| — | SLOPED GRANITE CURB | — | CATCH BASIN |
| — | BITUMINOUS CONCRETE LIP CURBING | — | WATER LINE |
| — | BITUMINOUS CONCRETE BERM | — | WATER VALVE |
| — | OVERHEAD SERVICE WIRES | — | FIRE HYDRANT |
| — | DOUBLE SOLID YELLOW LINE | — | GAS VALVE |
| — | SINGLE SOLID WHITE LINE | — | GAS LINE |
| — | BROKEN WHITE LINE | — | UNDERGROUND TELEPHONE LINE |
| — | SIGN | — | UNDERGROUND ELECTRIC AND TELEPHONE |
| — | OBSERVATION WELL | | |
| — | TEST PIT | | |
| — | TEST BORING | | |



REVISIONS

| NO. | DATE | REV. BY. | DESCRIPTION |
|-----|---------|----------|-----------------------------------|
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
1.119 ACRES
V# L0589
Store# 5585
Gas Station# 1818

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

190 BATH ROAD
BRUNSWICK, MAINE 04011

CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 11, 2016
FILE: 3751SP.dwg
DRAWN BY: CMT
CHECKED BY: FCM

SITE PLAN
CFG04.0

MHF PROJECT NO. 375115 SHEET 4 OF 12

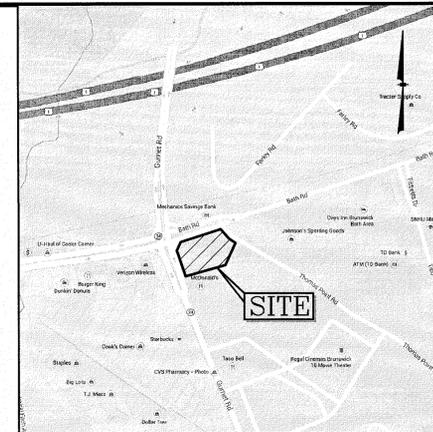
F:\Projects\375115\3751SP.dwg SP 8/29/16 2:29pm nlg

| FROM: STRUCTURE NUMBER | PIPE SIZE (INCHES) | TYPE OF PIPE | APPROX PIPE LENGTH (FEET) | SLOPE OF PIPE (FT./FT.) | TO: STRUCTURE NUMBER |
|------------------------|--------------------|--------------|---------------------------|-------------------------|----------------------|
| CB-2 | 12 | HDPE | 53 | 0.005 | CB-1 |
| CB-1 | 12 | HDPE | 68 | 0.005 | DMH-1 |
| CB-5 | 12 | HDPE | 63 | 0.005 | CB-4 |
| CB-4 | 12 | HDPE | 103 | 0.005 | CB-3 |
| CB-3 | 12 | HDPE | 65 | 0.005 | DMH-1 |
| DMH-1 | 12 | HDPE | 15 | 0.005 | EX CB-A |

DRAINAGE STRUCTURES

| | |
|--|---|
| <p>CB-1 RIM=49.30 INV.IN=46.60 INV.OUT=46.50</p> <p>CB-2 RIM=49.85 INV.IN=47.35(RD) INV.OUT=46.85</p> <p>CB-3 RIM=49.95 INV.IN=48.80 INV.OUT=46.50</p> <p>CB-4 RIM=49.60 INV.IN=47.20 INV.OUT=47.10</p> <p>CB-5 RIM=50.00 INV.IN=48.00(RD) INV.OUT=47.50</p> | <p>DMH-1 (FD) RIM=50.20 INV.S IN=46.17 (CB'S) INV.OUT=46.17</p> |
|--|---|

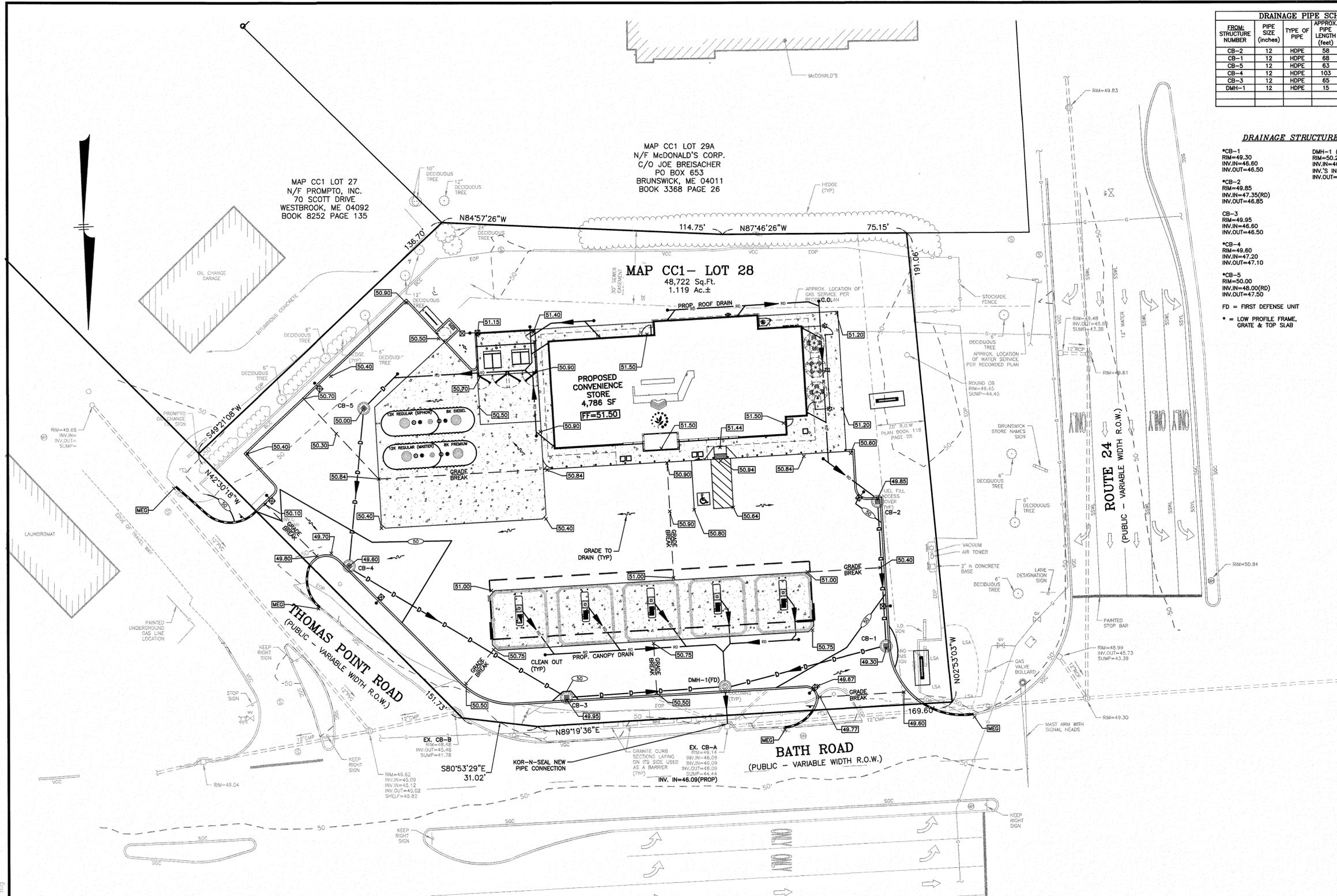
FD = FIRST DEFENSE UNIT
 * = LOW PROFILE FRAME, GRATE & TOP SLAB



LOCATION MAP
(NOT TO SCALE)

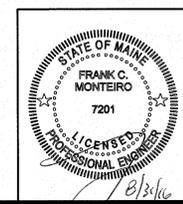
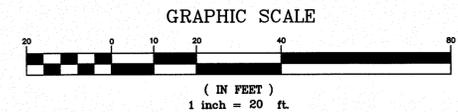
NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35).
- ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (811) PRIOR TO COMMENCING ANY EXCAVATION.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MDT AND THE TOWN OF BRUNSWICK, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SEE UTILITY PLAN FOR DETAILED UTILITY LAYOUT.
- CONTRACTOR IS TO FIELD ADJUST GRADES FOR THE TANK PAD TO SHED WATER.
- CONTRACTOR TO INCORPORATE RECOMMENDATIONS MADE IN THE GEOTECHNICAL ENGINEERING EXPLORATION EVALUATION AS PREPARED BY ENVIRONMENTAL COMPLIANCE SERVICES, INC. (ECS) DATED JULY 16, 2015.



LEGEND

| | | | |
|---|---------------------------------|---|------------------------------------|
| ○ | IRON PIN FOUND | — | TREELINE |
| □ | CONCRETE BOUND FOUND | — | UTILITY POLE |
| △ | RAILROAD SPIKE FOUND | ⊙ | DRAIN MANHOLE |
| ⊙ | DRILL HOLE FOUND | ⊙ | SEWER MANHOLE |
| — | VERTICAL GRANITE CURB | ⊙ | TELEPHONE MANHOLE |
| — | SLOPED GRANITE CURB | □ | CATCH BASIN |
| — | BITUMINOUS CONCRETE LIP CURBING | — | WATER LINE |
| — | BITUMINOUS CONCRETE BERM | — | WATER VALVE |
| — | OVERHEAD SERVICE WIRES | — | FIRE HYDRANT |
| — | DOUBLE SOLID YELLOW LINE | — | GAS VALVE |
| — | SINGLE SOLID WHITE LINE | — | GAS LINE |
| — | BROKEN WHITE LINE | — | UNDERGROUND TELEPHONE LINE |
| — | SIGN | — | UNDERGROUND ELECTRIC AND TELEPHONE |
| ⊕ | OBSERVATION WELL | — | WETLAND LINE |
| ⊕ | TEST PIT | — | SPOT ELEVATION |
| ⊕ | TEST BORING | — | CONTOUR ELEVATION |



| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
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 Store# 5585
 Gas Station# 1818

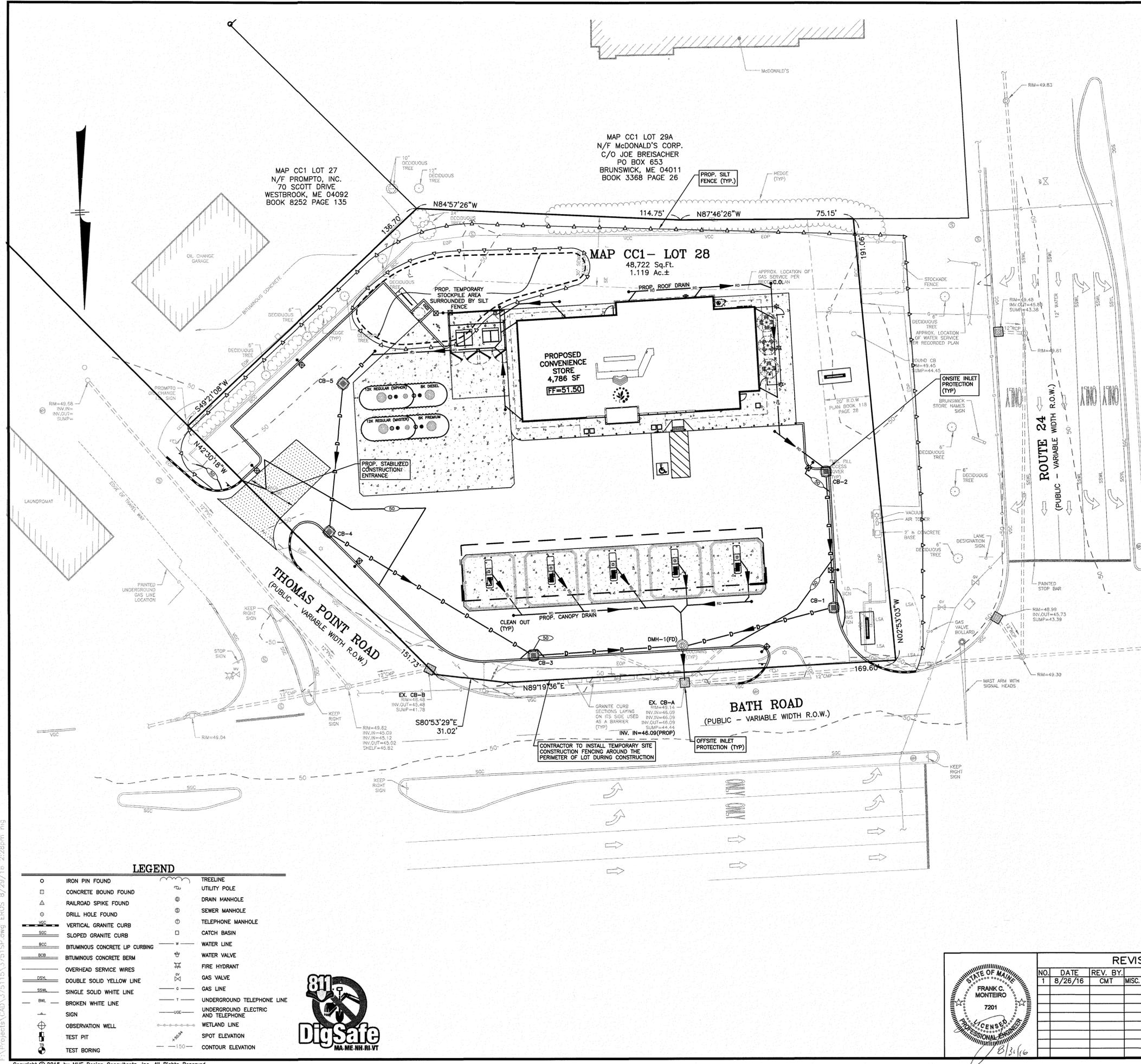
MHF Design Consultants, Inc.
 44 Stiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
 ENGINEERS • PLANNERS • SURVEYORS
 www.mhfdesign.com

Cumberland Farms
 100 CROSSING BLVD.
 FRAMINGHAM, MA 01702

SCALE: 1" = 20'
 DATE: JULY 11, 2016
 FILE: 3751SP.dwg
 DRAWN BY: CMT
 CHECKED BY: FCM

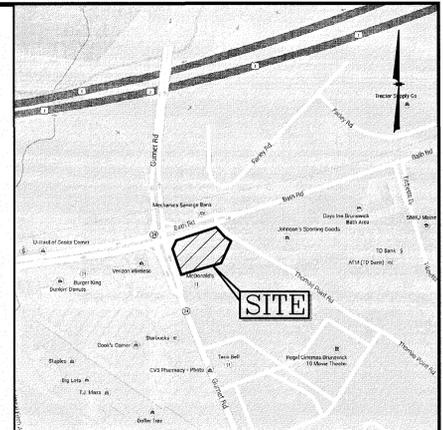
GRADING & DRAINAGE PLAN
 CFG05.0

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CONSTRUCTION SEQUENCE:

- 1) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 2) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED. CONSTRUCT CONSTRUCTION ENTRANCE AS SHOWN ON PLAN.
- 3) REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION. THE DOWN GRADIENT PORTION OF THE STOCKPILE SHALL BE ENCIRCLED WITH EITHER SILT FENCE OR A STRAW OR HAYBALE BARRIER INSTALLED ACCORDING TO DETAILS SHOWN ON THIS PLAN.
- 4) CONSTRUCT DETENTION BASIN AND CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- 5) PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- 6) INSTALL UNDERGROUND UTILITIES.
- 7) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 8) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. SEE LANDSCAPE PLAN FOR MULCHING SPECIFICATIONS.
- 9) BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
- 10) FINISH PAVING ALL DRIVES AND PARKING AREAS.
- 11) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12) NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGRADED AREAS.
- 13) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

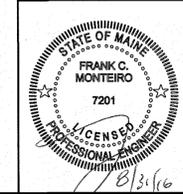
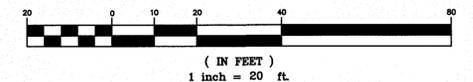


LOCATION MAP
(NOT TO SCALE)

EROSION CONTROL MEASURES & MAINTENANCE

1. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED.
2. INSTALLATION OF STONE CHECK DAMS, SILTATION FENCES AND ORANGE CONSTRUCTION FENCE SHALL BE COMPLETED PRIOR TO THE START OF THE SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
3. STONE CHECK DAMS, SILTATION FENCES, AND ORANGE CONSTRUCTION FENCE SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY 0.5" OF RAINFALL.
4. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
5. THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING WITH EITHER PERMANENT MEASURES OR TEMPORARY MEASURES. IN NO CASE SHALL ANY DISTURBED AREAS BE LEFT UNSTABILIZED WITH EITHER PERMANENT OR TEMPORARY EROSION CONTROL MEASURES FOR MORE THAN 72 HOURS, OR AS NEEDED TO ENSURE SUFFICIENT STABILIZATION DUE TO WEATHER OR OTHER CONDITIONS. SIMULTANEOUS WORK IN MULTIPLE AREAS MAY BE PERMITTED AS NEEDED, SUBJECT TO THE ABOVE, HOWEVER THE CONTRACTOR SHALL NOT DISTURB AREAS THAT CANNOT REASONABLY BE PROPERLY STABILIZED AND MAINTAINED WITHIN 72 HOURS.
6. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 6" OF LOAM INSTALLED WITH MIX. SEED MIXTURE SHALL BE:
 - A. SLOPE AND DETENTION MIX - 3LBS/1000SF (TYPE 2):
 - PERENNIAL SWEET PEA - 20%
 - WILD LUPINE - 5%
 - WHITE TICK TREFOIL - 15%
 - SHRUB CLOVER - 15%
 - B. MIX LAWN MIX - 3LBS/1000SF (TYPE 1):
 - PERENNIAL PEGRAM - 10%
 - ANNUAL PEGRAM - 5%
 - KENTUCKY BLUEGRASS - 25%
 - CRESTED RED FESCUE - 45%
 - CHEWINGS RYEGRASS - 15%
7. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-10-10 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
8. HAY MULCH AND SLOPE PROTECTION BLANKET SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. SLOPE PROTECTION BLANKET SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR THE DETAILS.
9. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM APRIL 15 TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
10. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
11. EROSION CONTROL ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS. DISCOVERY OF SILT BUILD-UP IN CATCH BASIN SUMPS OR ANY OTHER STRUCTURE SHALL REQUIRE CLEANING.
12. ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY.
13. UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION - AS DESCRIBED ON AFOREMENTIONED PLAN - SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.
14. CALCIUM CHLORIDE AND/OR WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.
15. IF, DURING CONSTRUCTION, IT COMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY OR OWNER.
16. OVER WINTER STABILIZATION (IF NEEDED)
 - A. PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
 - B. DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
 - C. APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
 - D. USE MULCH AND MULCH NETTING OR AN EROSION CONTROL BLANKET OR MIX FOR ALL SLOPES GREATER THAN 5% OR OTHER AREAS EXPOSED TO DIRECT WIND.
 - E. INSTALL EROSION CONTROL BLANKETS IN ALL DRAINAGEWAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
 - F. SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.
17. WINTER CONSTRUCTION (IF NEEDED)
 - A. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
 - B. AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
 - C. TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
 - D. AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
 - E. IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM AREAS DUE TO BE SEEDED AND MULCHED.
 - F. LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
 - G. A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.
 - H. ALL DITCHES OR SWALES WHICH DO NOT SHOW A MIN. OF 85% VEGETATION BY OCT. 15 OR WHICH ARE DISTURBED AFTER OCT. 15 SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOWS.
 - I. AFTER NOV. 15 INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER FOOT.

GRAPHIC SCALE



| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
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48,722 FEET
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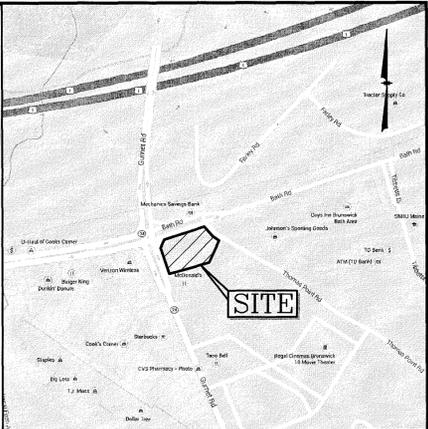
Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 11, 2016
FILE: 3751SP.dwg
DRAWN BY: CMT
CHECKED BY: FCM

EROSION & SEDIMENTATION CONTROL PLAN CFG06.0

| SEWER PIPE SCHEDULE | | | | | |
|-----------------------|--------------------|--------------|----------------------------|-------------------------|---------------------|
| FROM STRUCTURE NUMBER | PIPE SIZE (inches) | TYPE OF PIPE | APPROX. PIPE LENGTH (feet) | SLOPE OF PIPE (ft./ft.) | TO STRUCTURE NUMBER |
| BLDG. SEWER | 4 | SDR 35 PVC | 42 | 0.020 | WYE #1 |
| BLDG. GR. TRAP | 4 | SDR 35 PVC | 15 | 0.020 | GREASE TRAP |
| GR. TRAP | 4 | SDR 35 PVC | 8 | 0.020 | WYE #1 |
| WYE #1 | 6 | SDR 35 PVC | 41 | 0.1540 | EXIST. SEWER |

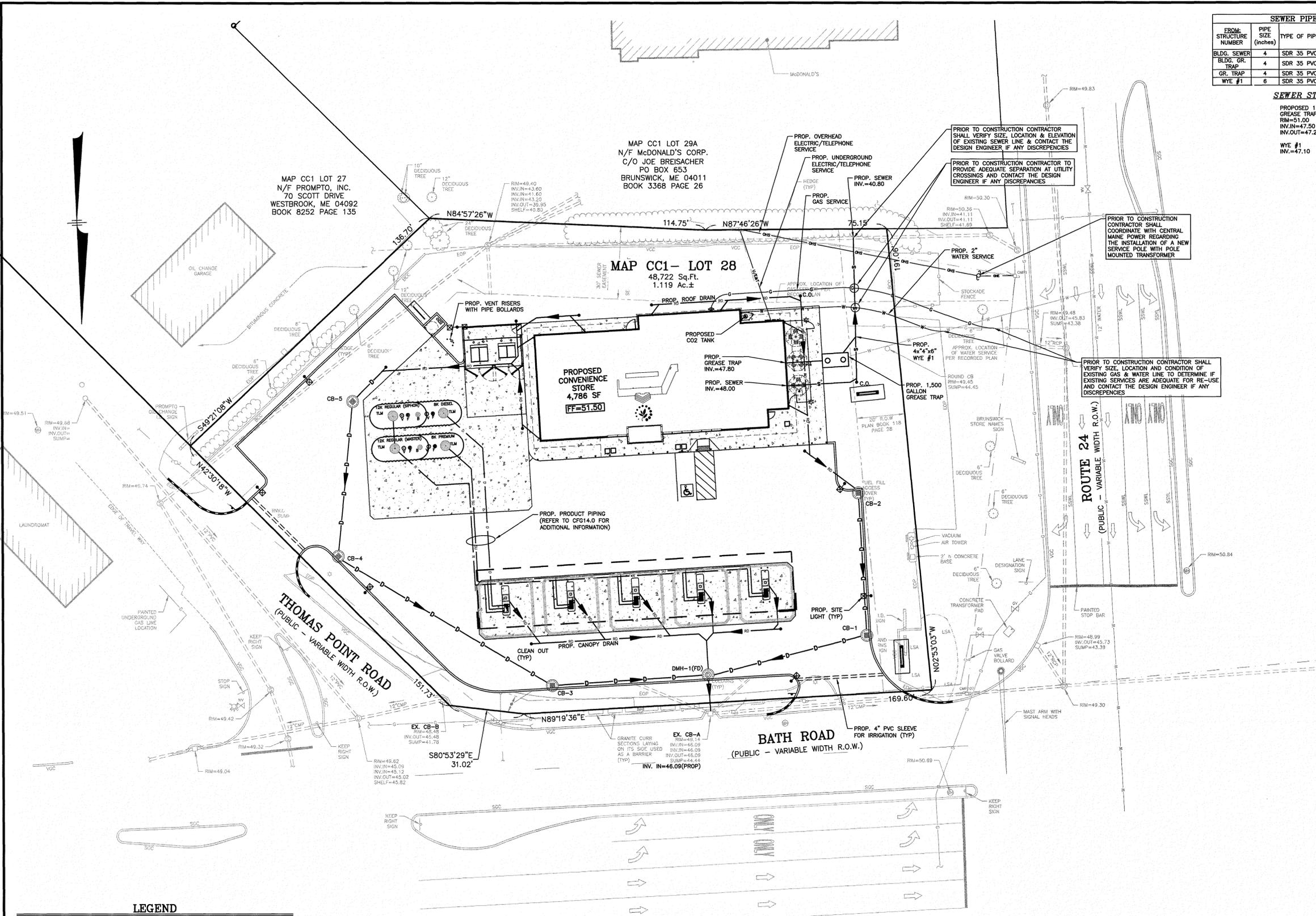
SEWER STRUCTURES
 PROPOSED 1,500 GALLON GREASE TRAP
 RIM=51.00
 INV.IN=47.50
 INV.OUT=47.25
 WYE #1
 INV.=47.10



LOCATION MAP
(NOT TO SCALE)

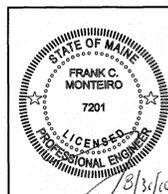
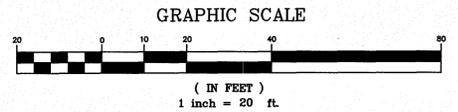
NOTES:

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 3) ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) ALL WATER, SEWER AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TOWN OF BRUNSWICK STANDARDS AND SPECIFICATIONS.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MAINE DOT AND BRUNSWICK DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 13) ELECTRICAL CONDUIT WITHIN 20' OF TANKS OR DISPENSERS MAY NEED TO BE RIGID METAL CONDUIT WITH CONCRETE ENCASEMENT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND/OR TOWN ELECTRICAL INSPECTOR AS REQUIRED.



LEGEND

| | |
|-----------------------------------|--------------------------------------|
| ○ IRON PIN FOUND | — TREELINE |
| △ CONCRETE BOUND FOUND | — UTILITY POLE |
| ◻ RAILROAD SPIKE FOUND | ○ DRAIN MANHOLE |
| ○ DRILL HOLE FOUND | ○ SEWER MANHOLE |
| — VERTICAL GRANITE CURB | ○ TELEPHONE MANHOLE |
| — SLOPED GRANITE CURB | □ CATCH BASIN |
| — BITUMINOUS CONCRETE LIP CURBING | — WATER LINE |
| — BITUMINOUS CONCRETE BERM | — WATER VALVE |
| — OVERHEAD SERVICE WIRES | — FIRE HYDRANT |
| — DOUBLE SOLID YELLOW LINE | — GAS VALVE |
| — SINGLE SOLID WHITE LINE | — GAS LINE |
| — BROKEN WHITE LINE | — UNDERGROUND TELEPHONE LINE |
| — SIGN | — UNDERGROUND ELECTRIC AND TELEPHONE |
| — OBSERVATION WELL | |
| — TEST PIT | |
| — TEST BORING | |



| REVISIONS | | | |
|-----------|---------|---------|-----------------------------------|
| NO. | DATE | REV. BY | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
 1.119 ACRES
 V# L0589
 Store# 5585
 Gas Station# 1818

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 44 Stiles Road, Suite One
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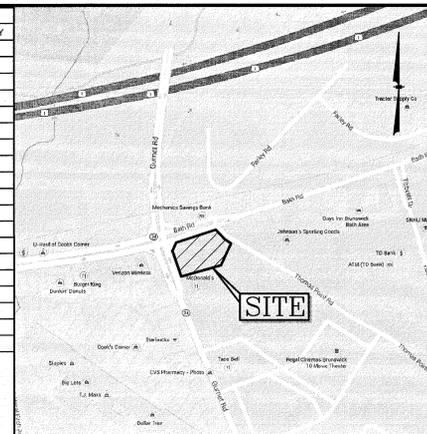
Cumberland Farms
 100 CROSSING BLVD.
 FRAMINGHAM, MA 01702

SCALE: 1" = 20'
 DATE: JULY 11, 2016
 FILE: 3751SP.dwg
 DRAWN BY: CMT
 CHECKED BY: FCM

UTILITY PLAN
 CFG07.0

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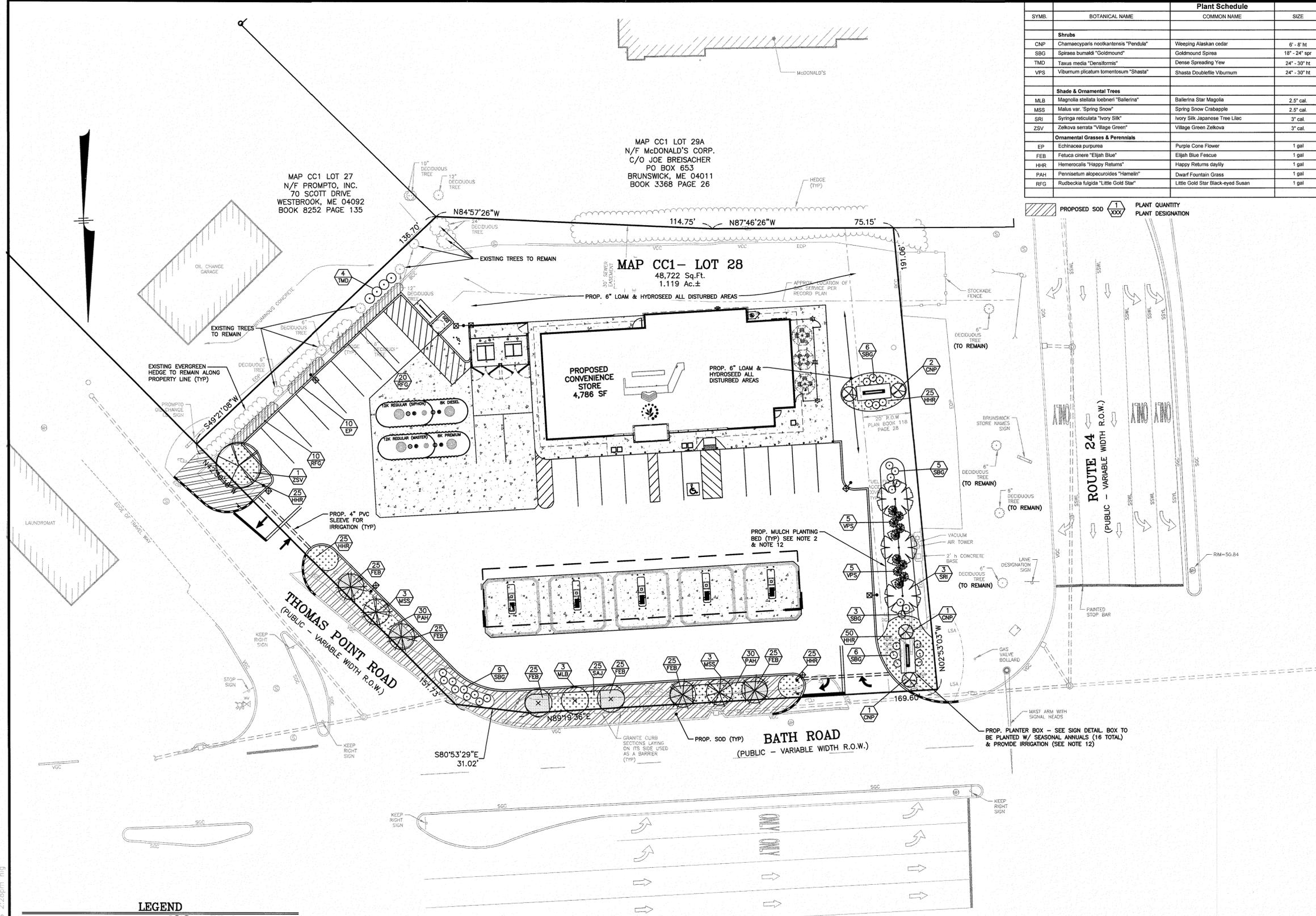
| Plant Schedule | | | | | |
|--|--|-----------------------------------|---------------|-----------------|----------|
| SYMB. | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | QUANTITY |
| Shrubs | | | | | |
| CNP | Chamaecyparis nootkensis "Pendula" | Weeping Alaskan cedar | 6' - 8' ht | B & B | 4 |
| SBG | Spiraea bumaldi "Goldmound" | Goldmound Spiraea | 18" - 24" spr | 3 gal. | 29 |
| TMD | Taxus media "Densaformis" | Dense Spreading Yew | 24" - 30" ht | B & B or 5 gal. | 4 |
| VPS | Viburnum plicatum tomentosum "Shasta" | Shasta Doublefile Viburnum | 24" - 30" ht | B & B or 5 gal. | 10 |
| Shade & Ornamental Trees | | | | | |
| MLB | Magnolia stellata loebneri "Ballerina" | Ballerina Star Magnolia | 2.5' cal. | B & B | 3 |
| MSS | Malus var. "Spring Snow" | Spring Snow Crabapple | 2.5' cal. | B & B fruitless | 6 |
| SRI | Syringa reticulata "Ivory Silk" | Ivory Silk Japanese Tree Lilac | 3' cal. | B & B | 3 |
| ZSV | Zelkova serrata "Village Green" | Village Green Zelkova | 3' cal. | B & B | 1 |
| Ornamental Grasses & Perennials | | | | | |
| EP | Echinacea purpurea | Purple Cone Flower | 1 gal | 24" o.c. | 10 |
| FEB | Fetula cinerea "Elijah Blue" | Elijah Blue Fescue | 1 gal | 12" o.c. | 150 |
| HHR | Hemerocallis "Happy Returns" | Happy Returns daylily | 1 gal | 18" o.c. | 150 |
| PAH | Pennisetum alopecuroides "Hamelin" | Dwarf Fountain Grass | 1 gal | 18" o.c. | 100 |
| RFG | Rudbeckia fulgida "Little Gold Star" | Little Gold Star Black-eyed Susan | 1 gal | 23" o.c. | 30 |



MAP CC1 LOT 27
N/F PROMPTO, INC.
70 SCOTT DRIVE
WESTBROOK, ME 04092
BOOK 8252 PAGE 135

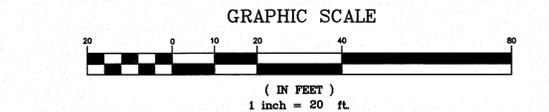
MAP CC1 LOT 29A
N/F McDONALD'S CORP.
C/O JOE BREISACHER
PO BOX 653
BRUNSWICK, ME 04011
BOOK 3368 PAGE 26

MAP CC1- LOT 28
48,722 Sq.Ft.
1.119 Ac.±



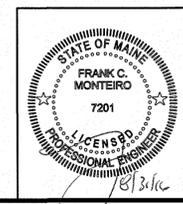
NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
 - 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
 - PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
 - ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
 - ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA. ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
 - APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE
- | SEED MIX (SLOPES LESS THAN 4:1) | LBS/ACRE |
|---------------------------------|----------|
| CREeping RED FESCUE | 20 |
| TALL FESCUE | 15 |
| PERENNIAL RYEGRASS | 5 |
| | 42 |
- | SLOPE MIX (SLOPES GREATER THAN 4:1) | LBS/ACRE |
|-------------------------------------|----------|
| CREeping RED FESCUE | 20 |
| TALL FESCUE | 20 |
| BIRDSFOOT TREEFOIL | 8 |
| | 48 |
- FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
 - NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
 - ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND TOWN PRIOR TO INSTALLATION.
 - PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
 - EXPOSED SOILS SHALL BE SEED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
 - THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED, SOD AREAS AND SHRUB BEDS. THE SYSTEM SHALL INCLUDE A TIMER WITH RAIN SENSOR AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. IRRIGATION SYSTEM SHALL BE ROUTED TO PYLON SIGN PLANTER BED AND PLANTER BED ALONG BUILDING.



LEGEND

| | |
|------------------------|--------------------------------------|
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| □ CONCRETE BOUND FOUND | — UTILITY POLE |
| △ RAILROAD SPIKE FOUND | — DRAIN MANHOLE |
| ○ DRILL HOLE FOUND | — SEWER MANHOLE |
| — VCC | — TELEPHONE MANHOLE |
| — SGC | — CATCH BASIN |
| — BCC | — WATER LINE |
| — BCB | — WATER VALVE |
| — OSH | — FIRE HYDRANT |
| — DSN | — GAS VALVE |
| — SSW | — GAS LINE |
| — BWL | — UNDERGROUND TELEPHONE LINE |
| — SIGN | — UNDERGROUND ELECTRIC AND TELEPHONE |
| — OBSERVATION WELL | — WETLAND LINE |
| — TEST PIT | — SPOT ELEVATION |
| — TEST BORING | — CONTOUR ELEVATION |



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48,722 FEET
1.119 ACRES
V# L0589
Store# 5585
Gas Station# 1818

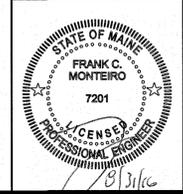
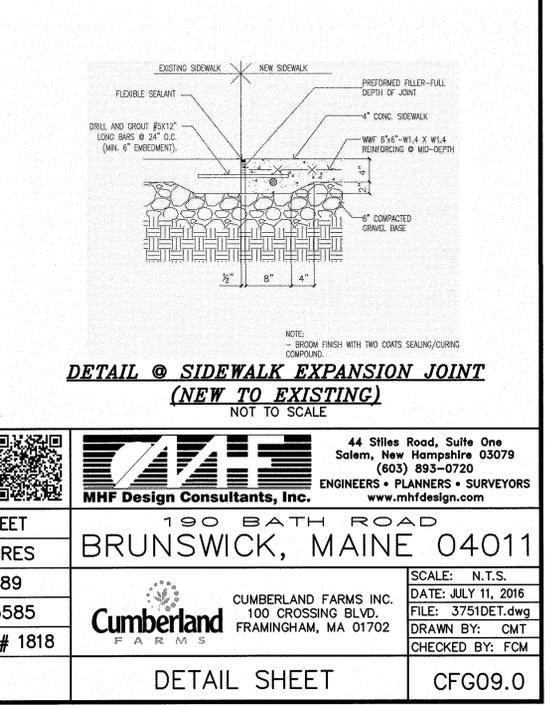
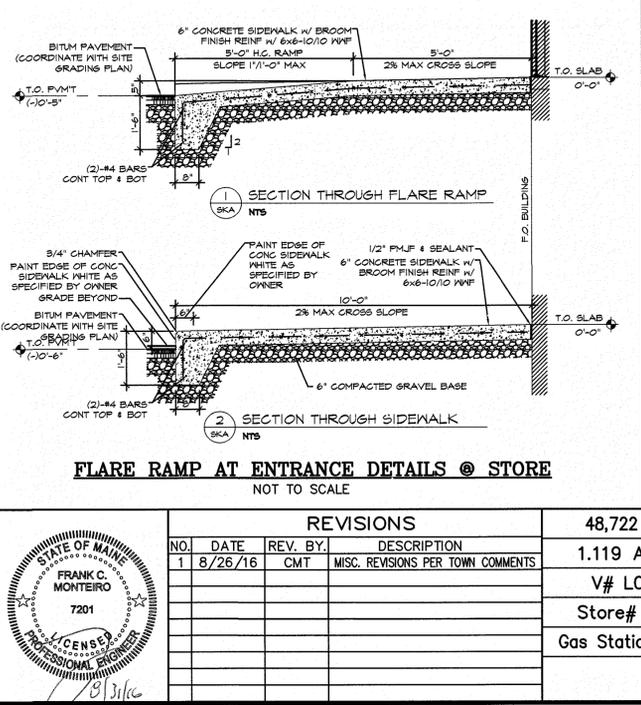
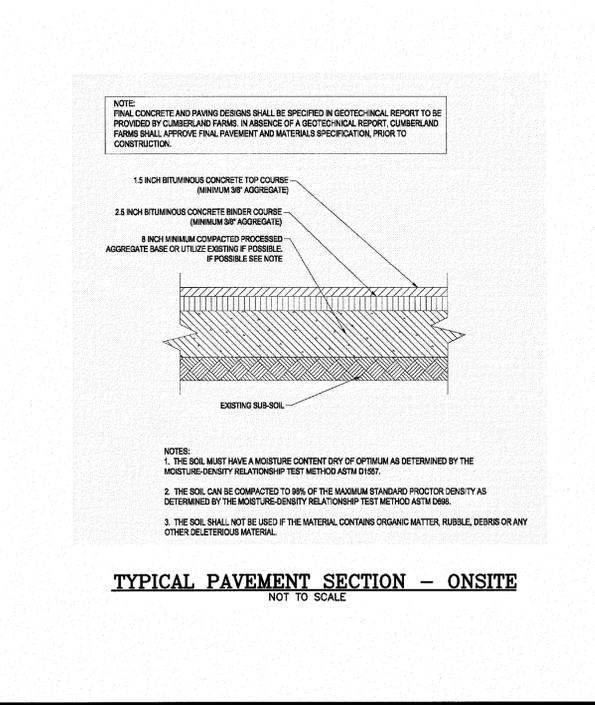
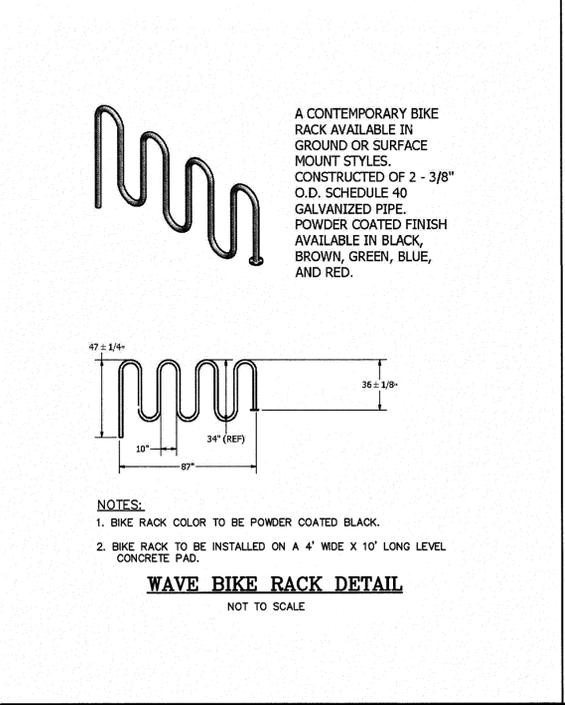
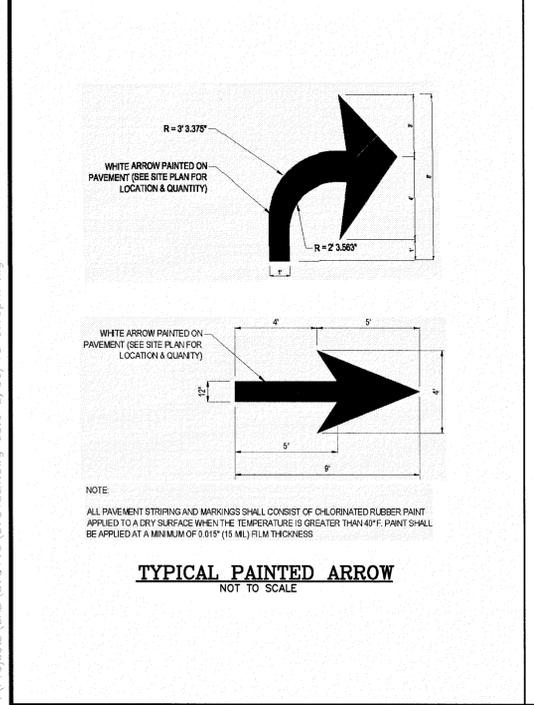
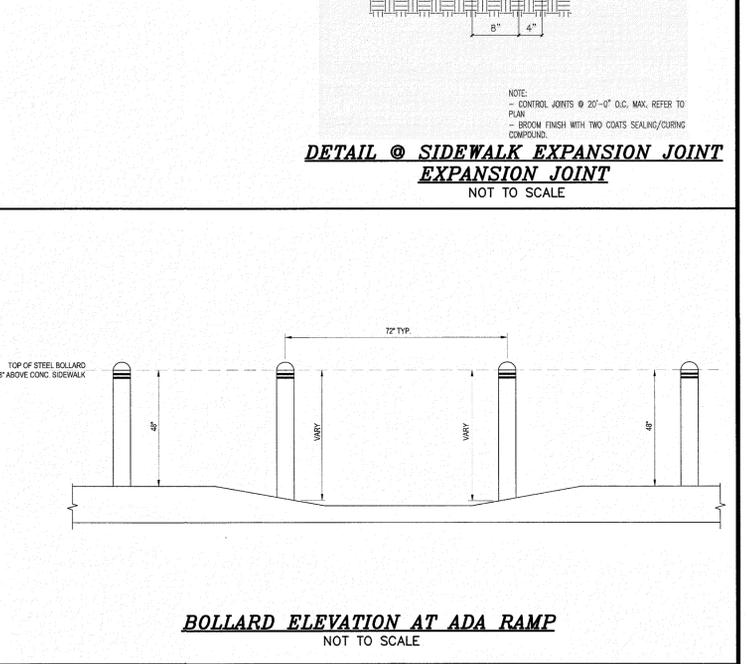
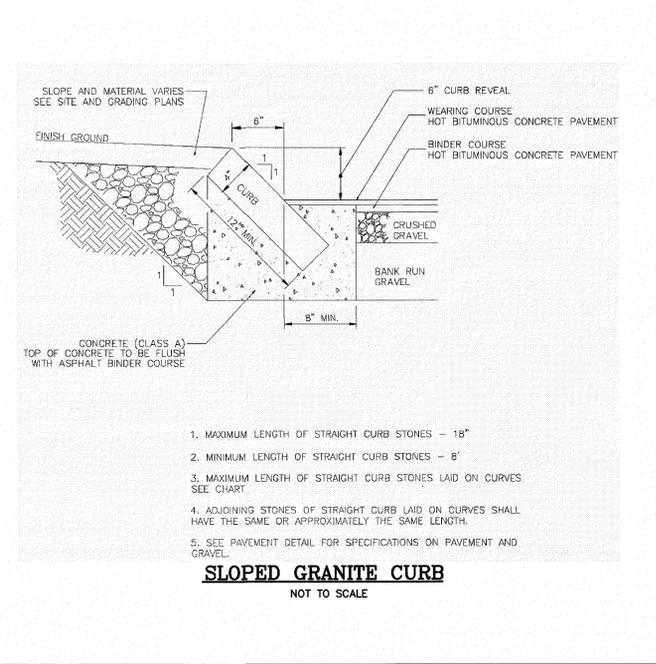
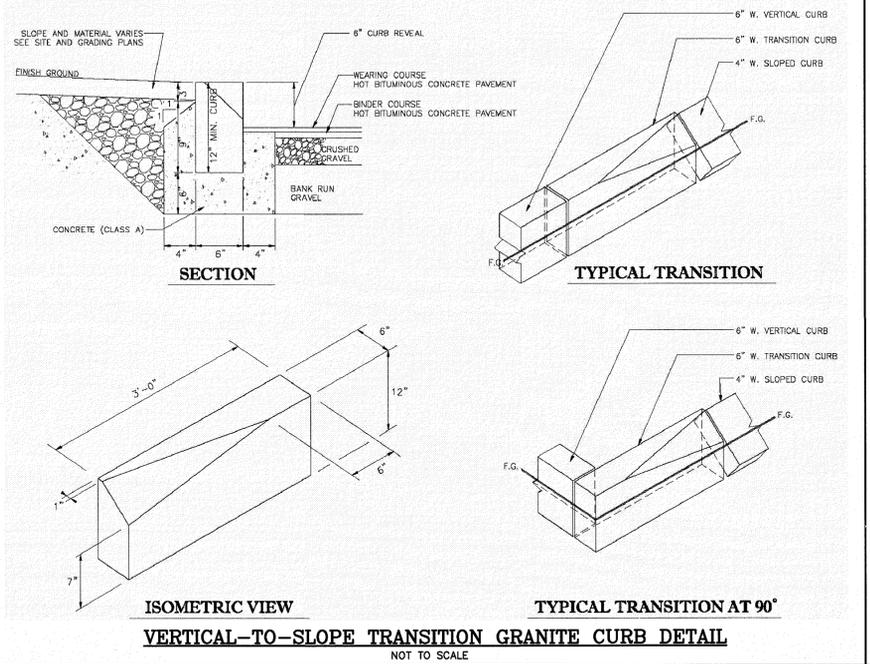
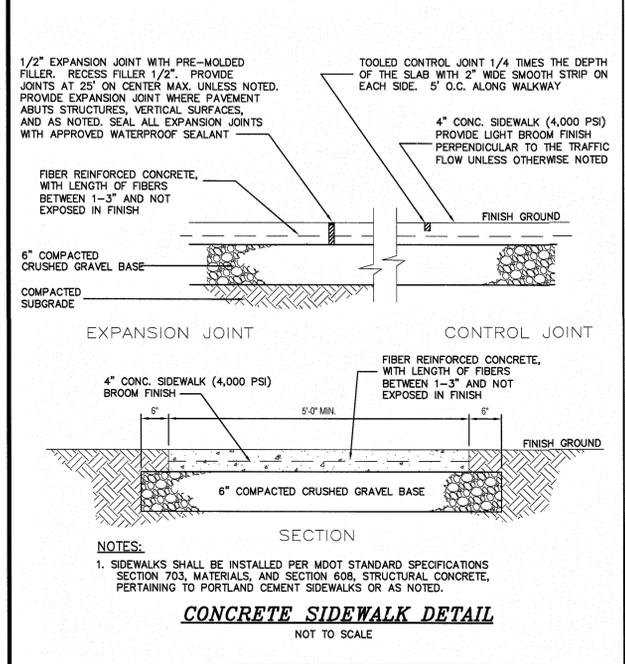
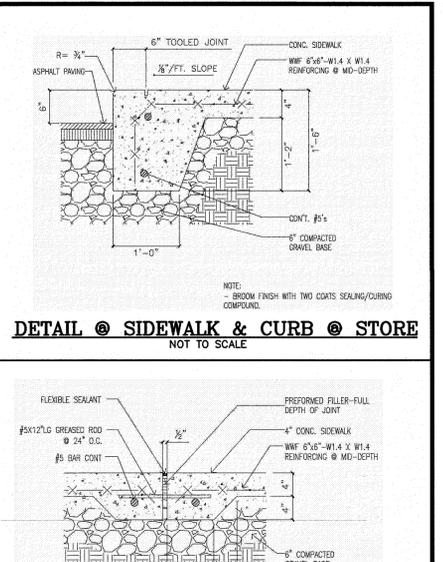
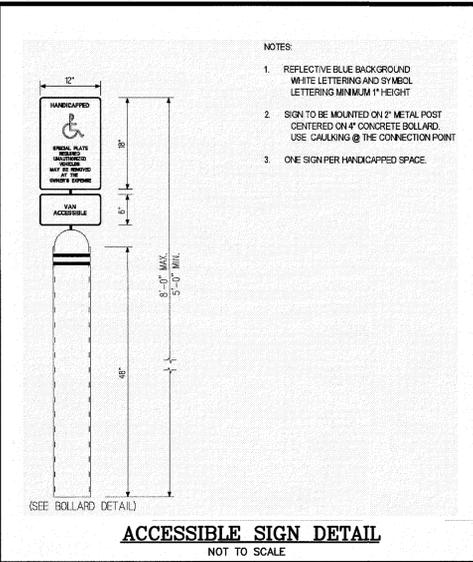
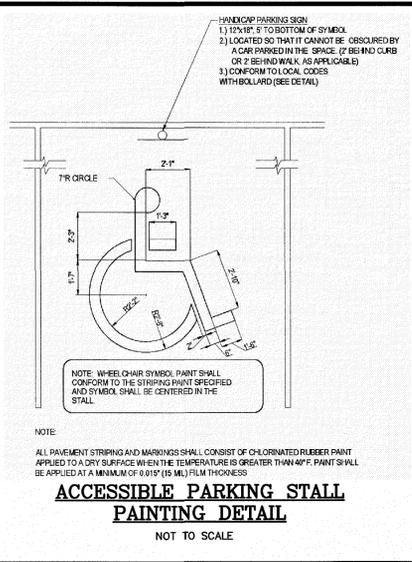
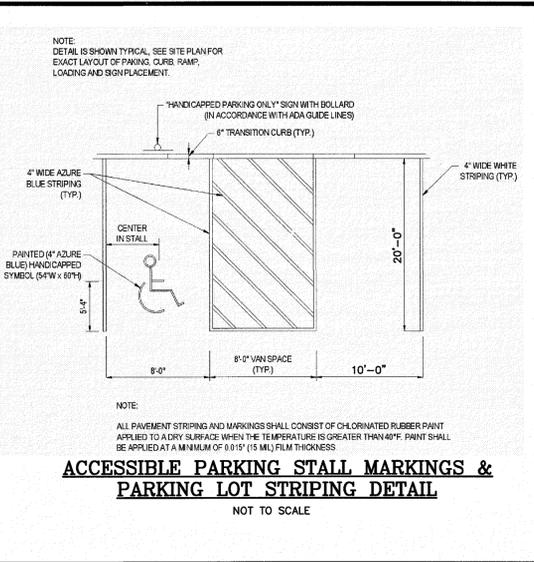
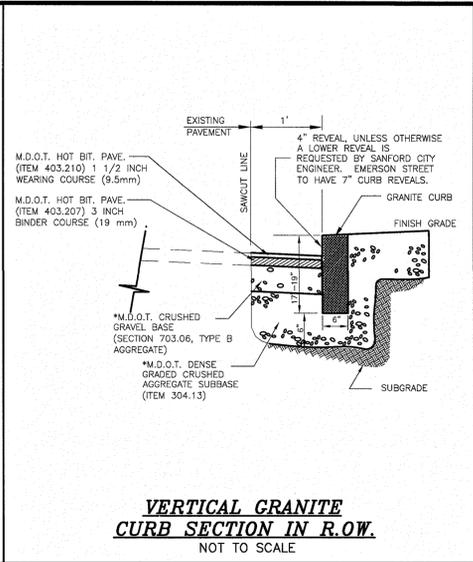
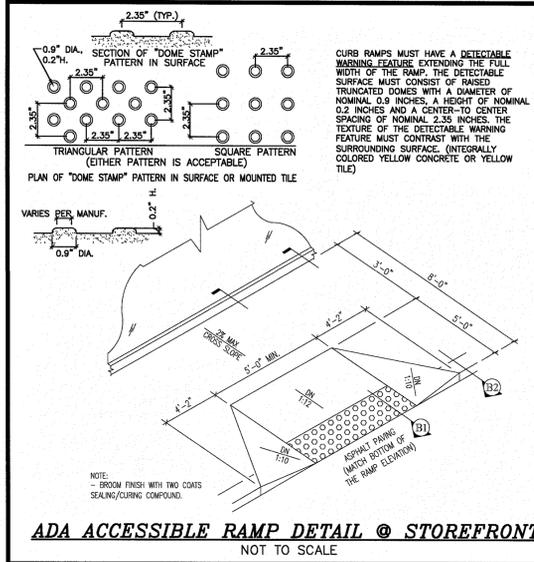
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190 BATH ROAD
BRUNSWICK, MAINE 04011

CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 11, 2016
FILE: 3751SP.dwg
DRAWN BY: CMT
CHECKED BY: FCM

LANDSCAPE PLAN
CFG08.0



| REVISIONS | | | |
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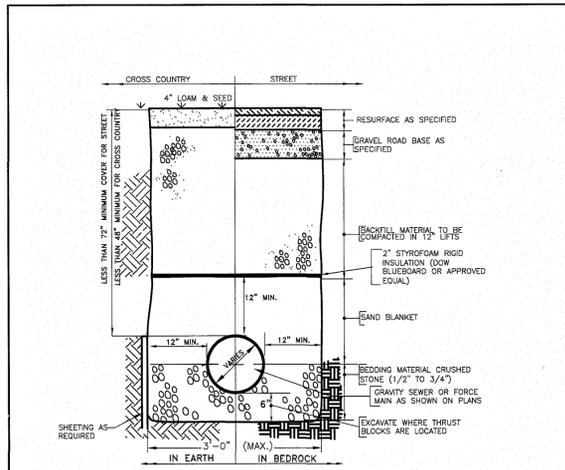
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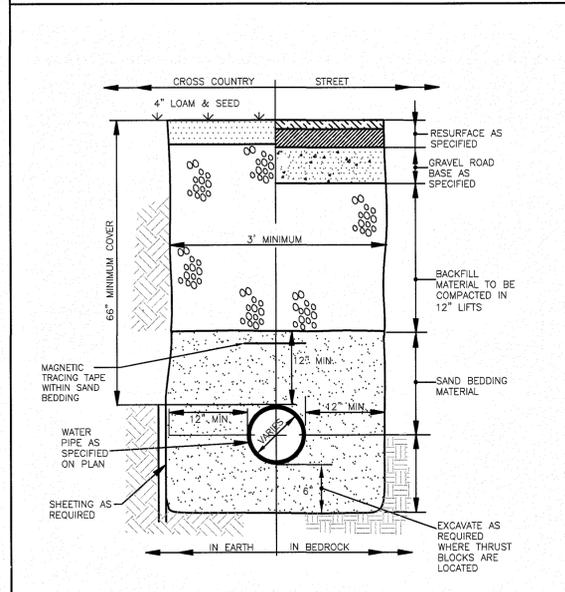
Cumberland Farms
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DATE: JULY 11, 2016
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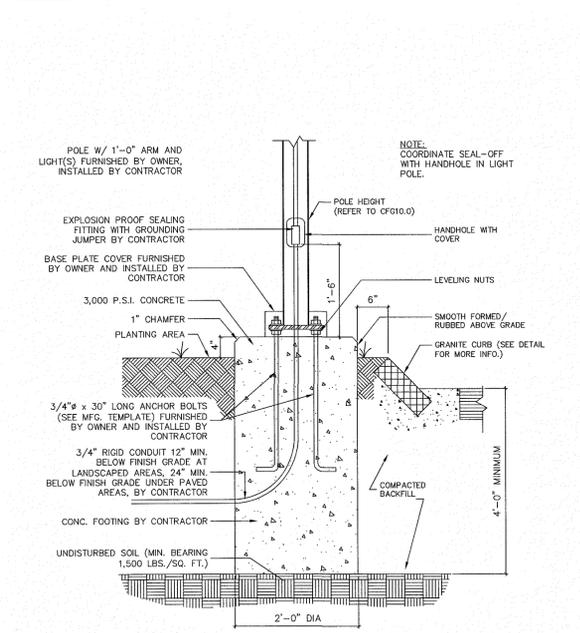
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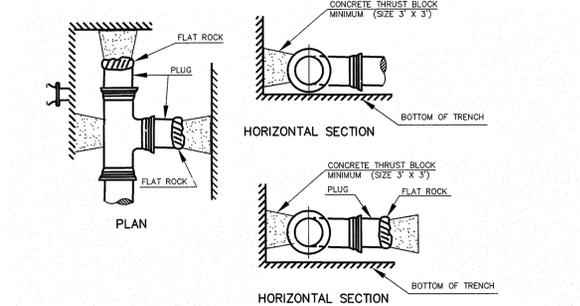
TYPICAL TRENCH SECTION FOR SANITARY SEWER SERVICE WITH LESS THAN 6' OF COVER
NOT TO SCALE



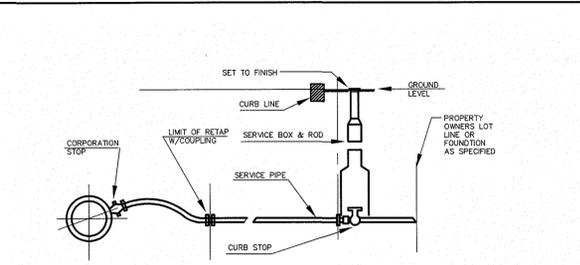
TYPICAL TRENCH SECTION FOR WATER SERVICE
NOT TO SCALE



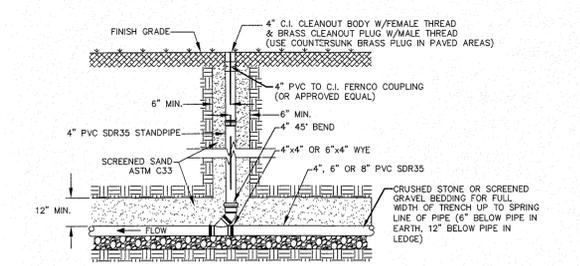
LIGHT POLE DETAIL
NOT TO SCALE



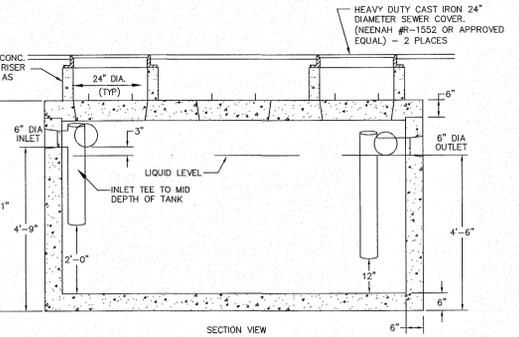
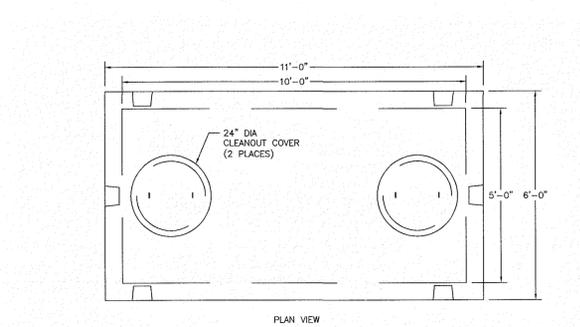
THRUST BLOCK DETAILS
NOT TO SCALE



TYPICAL SERVICE CONNECTION
NOT TO SCALE

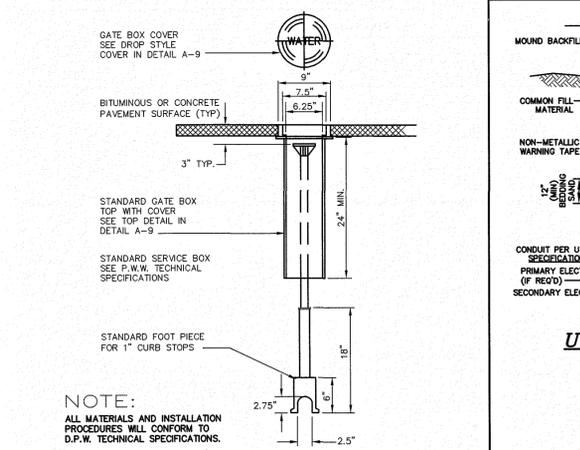


TYPICAL SEWER SERVICE CLEANOUT
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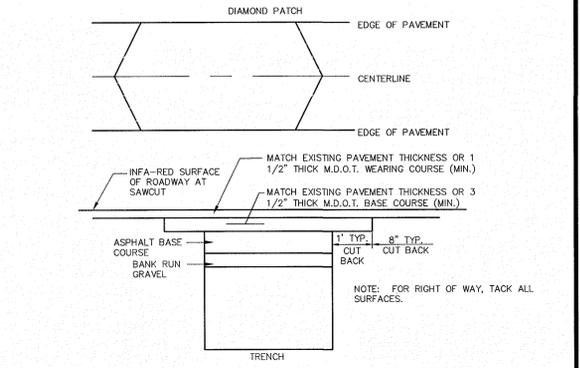


- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. FINAL DESIGN OF GREASE TRAP TO MEET ALL LOCAL AND STATE REQUIREMENTS.
 3. ALL REINFORCEMENT PER ASTM C1227-93.
 4. DESIGNED FOR H-20 LOADING.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 6. TEES AND BAFFLES SOLD SEPARATELY.
 7. GREASE TRAP AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUAL.
 8. CONTRACTOR TO PROVIDE DESIGN ENGINEER SHOP DRAWINGS PRIOR TO CONSTRUCTION.

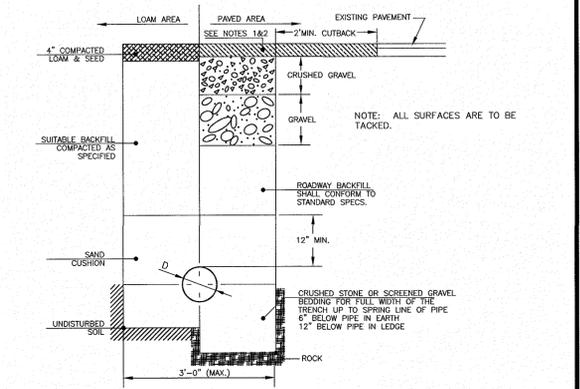
1,500 GALLON GREASE TRAP DETAIL
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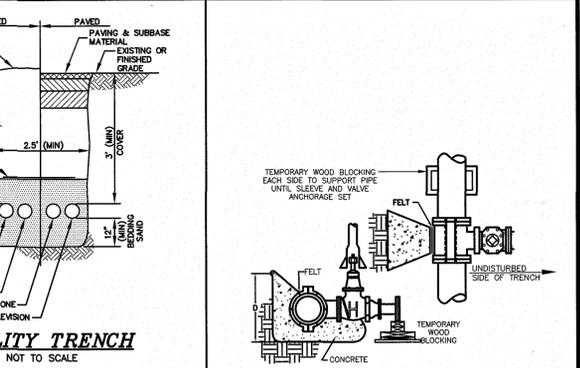
SERVICE BOX INSTALLATION IN PAVEMENT
NOT TO SCALE



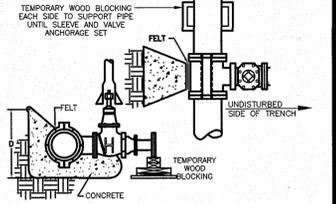
TYPICAL PAVEMENT REPAIR DETAIL
NOT TO SCALE



TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



TAPPING VALVE AND SLEEVE DETAIL
NOT TO SCALE



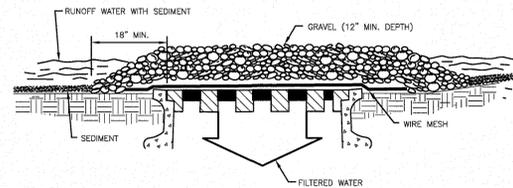
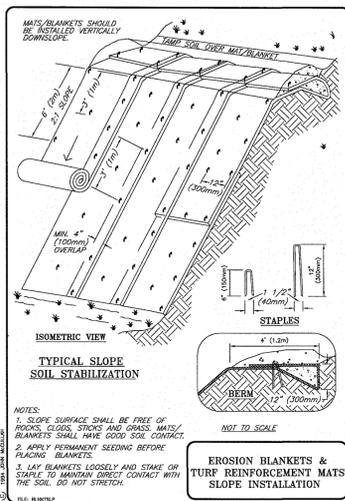
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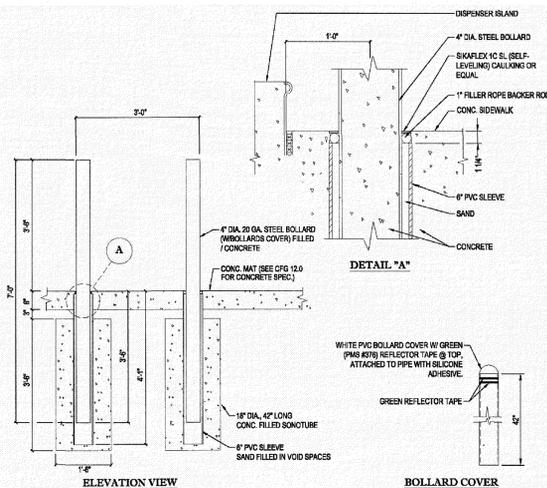


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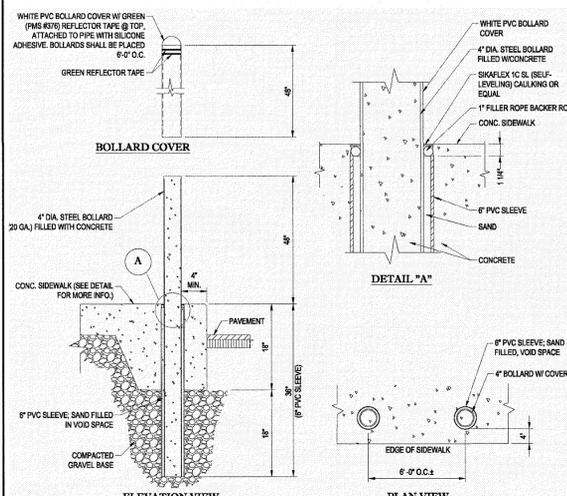
- 1) A WIRE MESH SHOULD BE PLACED OVER THE DROP INLET OR CURB OPENING SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12 INCHES AROUND THE OPENING ARE COVERED BY THE MESH. THE MESH MAY BE ORDINARY HARDWARE CLOTH OR WIRE MESH WITH OPENINGS UP TO 1/2 INCH.
- 2) THE WIRE MESH SHOULD BE COVERED WITH CLEAN COARSE AGGREGATE SUCH AS SEWER STONE FOR A MINIMUM DEPTH OF 12 INCHES.
- 3) THE COARSE AGGREGATE SHOULD EXTEND AT LEAST 18 INCHES ON ALL SIDES OF THE DRAIN OPENING.

MAINTENANCE: ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

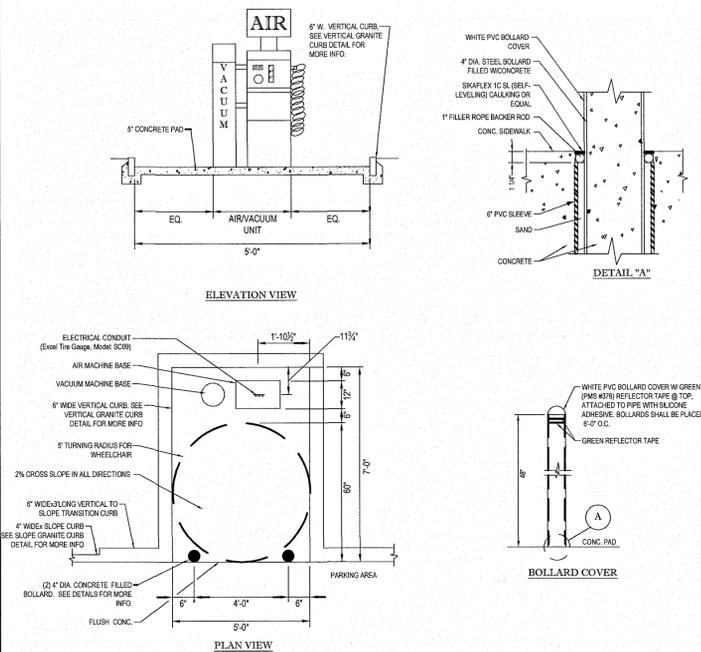
ON-SITE INLET PROTECTION DETAIL



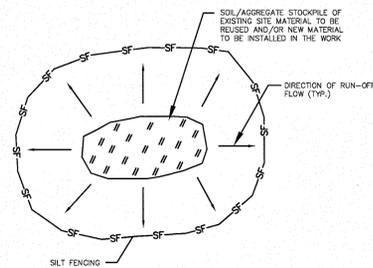
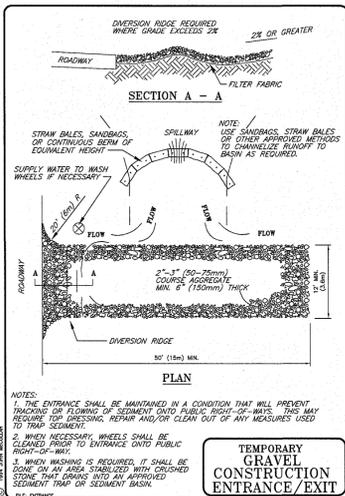
CANOPY BOLLARD DETAIL



BOLLARD SET IN CONCRETE WALK

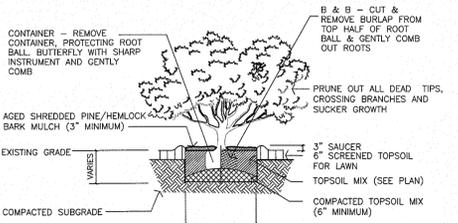


AIR TOWER DETAIL

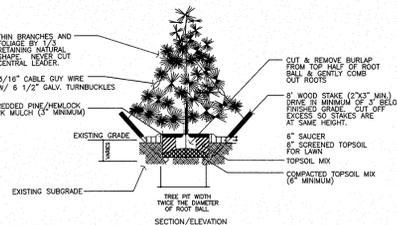


NOTES:
 1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

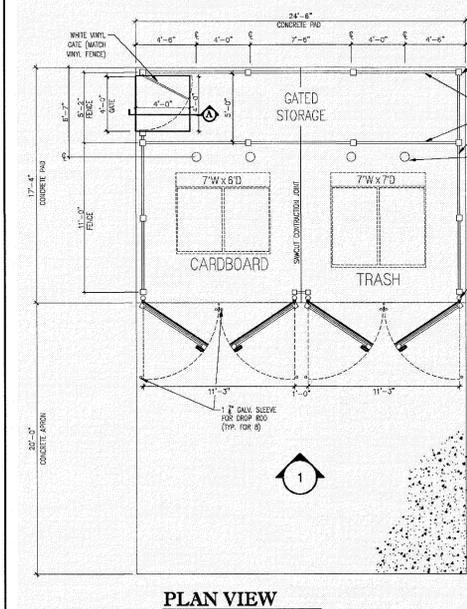
MATERIALS STOCKPILE DETAIL



TYPICAL SHRUB PLANTING



TYPICAL EVERGREEN TREE PLANTING

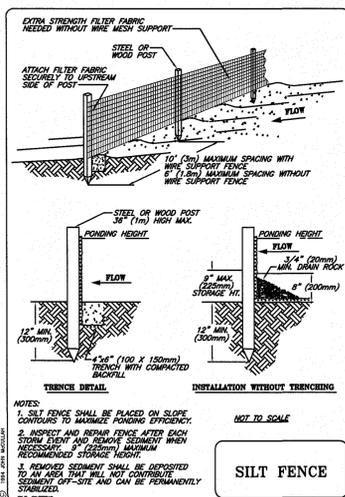


DUMPSTER ENCLOSURE - GATE ELEVATION DETAILS

DUMPSTER ENCLOSURE - GATE ELEVATION DETAILS

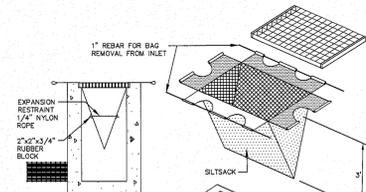
DUMPSTER DETAIL

DETAIL @ RAMP - "A"

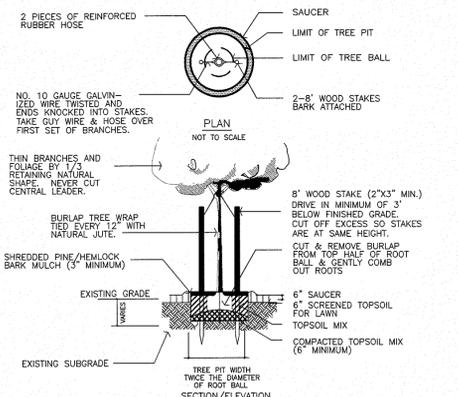


LOW POINT SEDIMENTATION CONTROL BARRIER

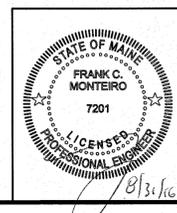
LOW POINT SEDIMENTATION CONTROL BARRIER



SILT SACK DETAIL-ON OR OFF SITE



TYPICAL TREE PLANTING



| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
 1.119 ACRES
 V# L0589
 Store# 5585
 Gas Station# 1818

MHF Design Consultants, Inc.

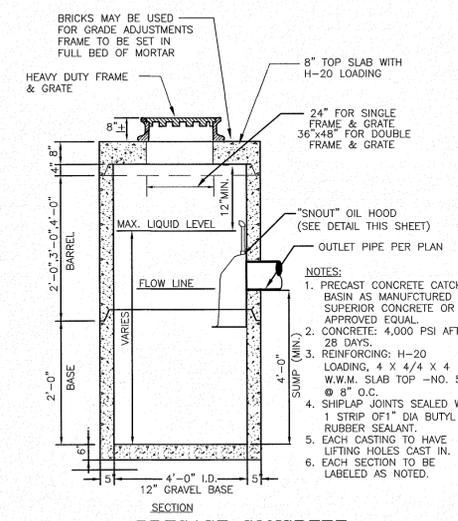
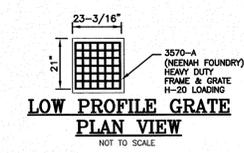
190 BATH ROAD
BRUNSWICK, MAINE 04011

44 Stiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
 ENGINEERS • PLANNERS • SURVEYORS
 www.mhfdesign.com

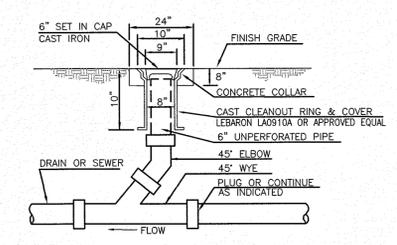
CUMBERLAND FARMS INC.
 100 CROSSING BLVD.
 FRAMINGHAM, MA 01702

SCALE: N.T.S.
 DATE: JULY 11, 2016
 FILE: 3751DET.dwg
 DRAWN BY: CMT
 CHECKED BY: FCM

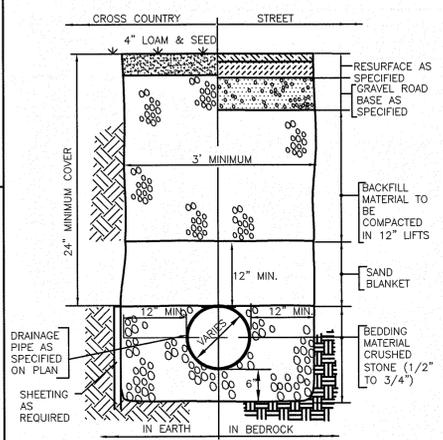
DETAIL SHEET
 CFG09.2



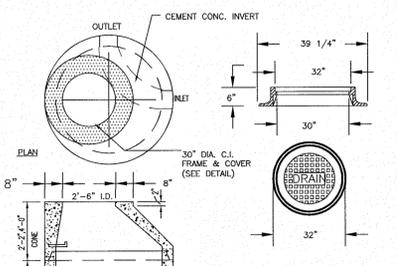
PRECAST CONCRETE CATCH BASIN WITH HOOD
NOT TO SCALE



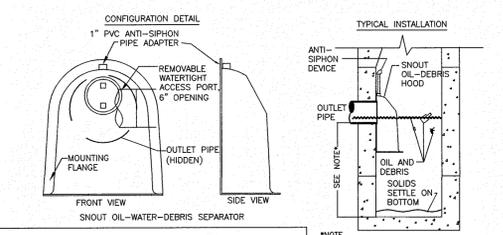
TYPICAL CLEANOUT
NOT TO SCALE



TYPICAL TRENCH SECTION FOR STORM DRAIN
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE
MAXIMUM PIPE DIAMETER 30" NOT TO SCALE



NOTES:
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 Mt. Archer Rd., Linc. Ct 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7545 WEB SITE: www.bestmp.com OR PRE-APPROVED EQUAL.
2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
3. ALL HOODS SHALL BE EQUIPPED WITH A WATER-TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL).
4. THE SIDE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
5. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
A. INSTALLATION INSTRUCTIONS
B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
D. 3/8" STAINLESS STEEL BOLTS
E. ANCHOR SHIELDS

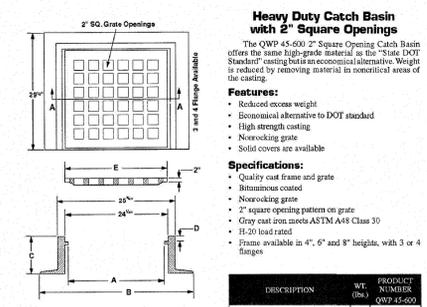
INSTALLATION DETAIL
FOAM GASKET W/ PSA BACKING (TRIM TO LENGTH)
MOUNTING FLANGE (ANCHOR W/ BOLT SEE DETAIL A)
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW AND STRUCTURE TO PIPE INVERT. (SEE DETAIL B) MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".
DRILLED HOLE
ANCHOR SHIELD
STAINLESS BOLT
EXPANSION CONE (NARROW END OUT)

HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

| DESCRIPTION | DATE | SCALE |
|--|----------|-------|
| OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION | 09/08/00 | NONE |
| SNOUT OIL-DEBRIS SEPARATOR | 08/11/16 | NONE |

US Patent # 6126817

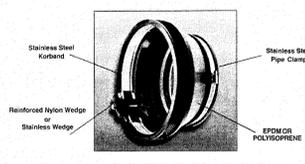
SNOUT - OIL - WATER - DEBRIS SEPARATOR
NOT TO SCALE



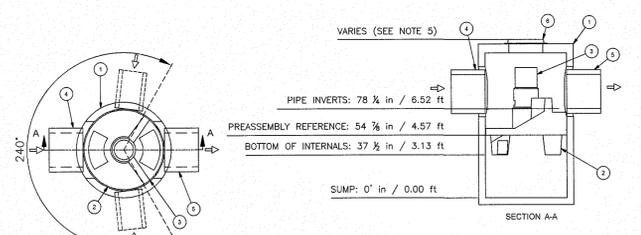
| DESCRIPTION | WT. (LBS) | PRODUCT NUMBER |
|------------------------------|-----------|----------------|
| 24" x 4" CB Frame 3 Flg. #45 | 115 | 6205600 |
| 24" x 4" CB Frame 4 Flg. #45 | 140 | 6205700 |
| 24" x 6" CB Frame 3 Flg. #45 | 180 | 6205800 |
| 24" x 6" CB Frame 4 Flg. #45 | 205 | 6205900 |
| 24" x 8" CB Frame 3 Flg. #45 | 205 | 6206400 |
| 24" x 8" CB Frame 4 Flg. #45 | 230 | 6206500 |
| 24" x 2' CB Sq. Grate #45 | 130 | 6210400 |

CATCH BASIN FRAME & GRATE DETAIL
NOT TO SCALE

KOR-N-SEAL® I & II
FLEXIBLE PIPE-TO-MANHOLE CONNECTORS
SPECIFICATION SHEET



KOR-N-SEAL DETAIL
NOT TO SCALE



"FIRST DEFENSE" UNIT DETAIL - FD-6HC
(OR APPROVED EQUAL)
NOT TO SCALE

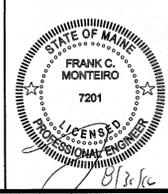
GENERAL NOTES:
1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
2. THE DIAMETER OF THE INLET & OUTLET PIPES MAY BE NO MORE THAN 24".
3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).
4. INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK (REFER TO PROJECT PLANS).
5. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DIAMETER.
6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.

PRODUCT SPECIFICATIONS:
A. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
B. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF EXCAVATION (AREA AND DEPTH) AS SHOWN IN THE PROJECT PLANS AND SHALL NOT EXCEED THE CONDITIONS FOR THE DESIGN FLOW RATE, SEDIMENT HEIGHT, OR PARTICLE SIZE (D₅₀) OF THE DESIGN FLOW RATE AND/OR SIZE OF THE PIPE OF 24" WORKING AT 0.75 OF THE PIPE SIZE.
C. THE TREATMENT SYSTEM SHALL REMOVE GREATER THAN OR EQUAL TO 90% OF THE TARGET PARTICLE SIZE (D₅₀) OF THE DESIGN FLOW RATE AND/OR SIZE OF THE PIPE OF 24" WORKING AT 0.75 OF THE PIPE SIZE.
D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ON-LINE FLOW RATES OF UP TO 18 CFS WITHOUT CAUSING UPSTREAM SURCHARGE CONDITIONS. FULL-SCALE INDEPENDENT LABORATORY TESTING SHALL DEMONSTRATE EFFLUENT CONTROL OF LESS THAN OR EQUAL TO 5 MG/L FOR ALL FLOWS UP TO 18 CFS.
E. THE TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE SILT AND SAND SIZE PARTICLES. ANALYSIS OF CAPTURED SEDIMENT FROM FULL-SCALE FIELD INSTALLATIONS SHALL DEMONSTRATE PARTICLE SIZES PREDOMINANTLY IN THE 20-MICRON RANGE.

PARTS LIST

| ITEM | SIZE (IN) | DESCRIPTION |
|------|-----------|------------------------------------|
| 1 | 72 | I.D. PRECAST MANHOLE |
| 2 | | LEDGER SUPPORT |
| 3 | | SEPARATION MODULE |
| 4 | 30 | INLET PIPE (BY OTHERS) |
| 5 | 30 | OUTLET PIPE (BY OTHERS) |
| 6 | 30 | FRAME AND COVER (OR GRATE) (ROUND) |

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.



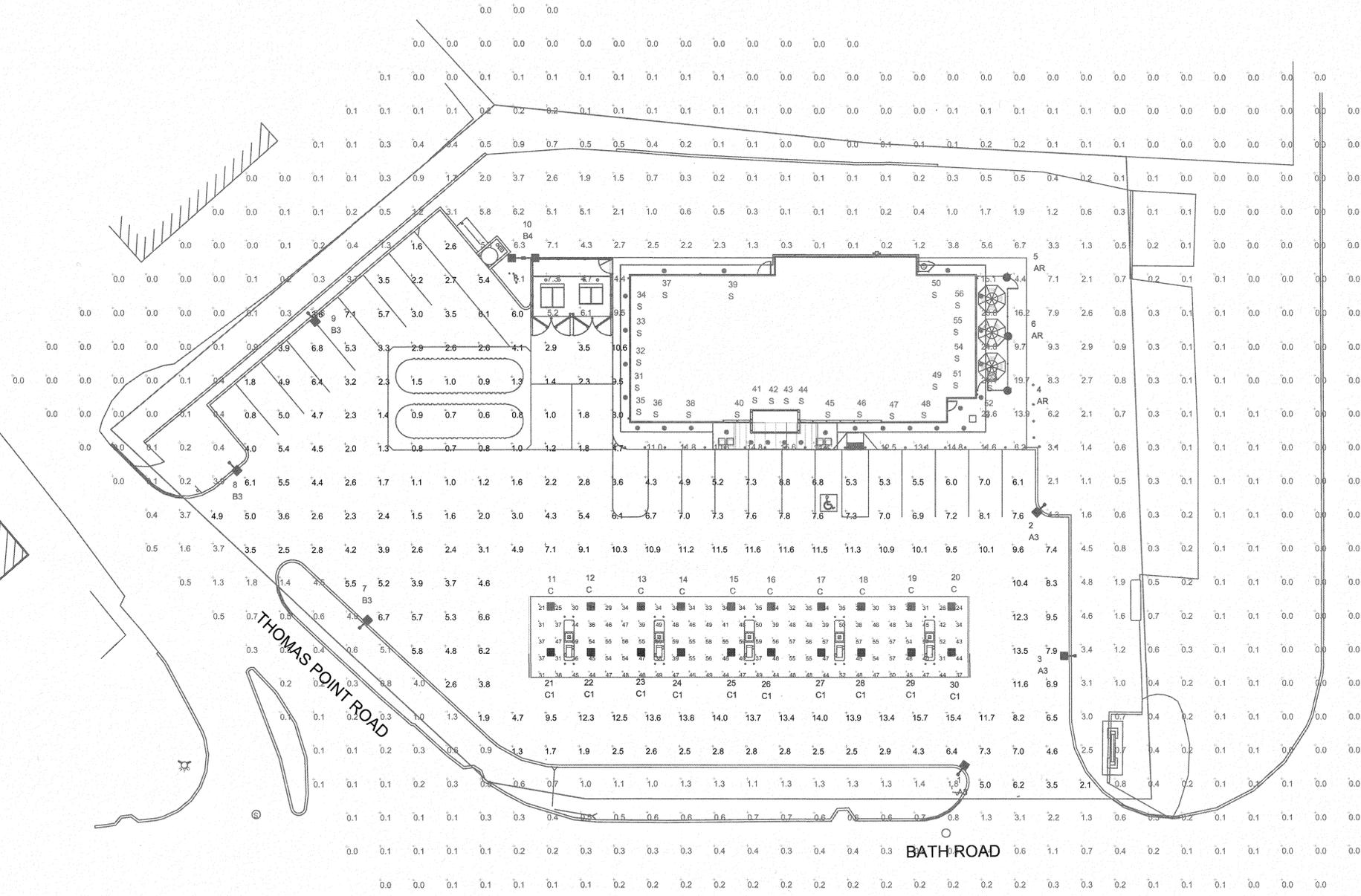
| REVISIONS | | | |
|-----------|---------|----------|-----------------------------------|
| NO. | DATE | REV. BY. | DESCRIPTION |
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
1.119 ACRES
V# L0589
Store# 5585
Gas Station# 1818

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

190 BATH ROAD
BRUNSWICK, MAINE 04011
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702
SCALE: N.T.S.
DATE: JULY 11, 2016
FILE: 3751DET.dwg
DRAWN BY: CMT
CHECKED BY: FCM
CFG09.3

NOTE:
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.



| LumNo | Label | MTG. HGT. |
|-------|-------|-----------|
| 1 | A3 | 15 |
| 2 | A3 | 15 |
| 3 | A3 | 15 |
| 4 | AR | 8 |
| 5 | AR | 8 |
| 6 | AR | 8 |
| 7 | B3 | 15 |
| 8 | B3 | 15 |
| 9 | B3 | 15 |
| 10 | B4 | 15 |
| 11 | C | 14 |
| 12 | C | 14 |
| 13 | C | 14 |
| 14 | C | 14 |
| 15 | C | 14 |
| 16 | C | 14 |
| 17 | C | 14 |
| 18 | C | 14 |
| 19 | C | 14 |
| 20 | C | 14 |
| 21 | C1 | 14 |
| 22 | C1 | 14 |
| 23 | C1 | 14 |
| 24 | C1 | 14 |
| 25 | C1 | 14 |
| 26 | C1 | 14 |
| 27 | C1 | 14 |
| 28 | C1 | 14 |

| LUM NO. | LABEL | MTG. HT. |
|---------|-------|----------|
| 29 | C1 | 14 |
| 30 | C1 | 14 |
| 31 | S | 12 |
| 32 | S | 12 |
| 33 | S | 12 |
| 34 | S | 12 |
| 35 | S | 12 |
| 36 | S | 12 |
| 37 | S | 12 |
| 38 | S | 12 |
| 39 | S | 12 |
| 40 | S | 12 |
| 41 | S | 16.228 |
| 42 | S | 16.945 |
| 43 | S | 16.945 |
| 44 | S | 16.228 |
| 45 | S | 12 |
| 46 | S | 12 |
| 47 | S | 12 |
| 48 | S | 12 |
| 49 | S | 12 |
| 50 | S | 12 |
| 51 | S | 12 |
| 52 | S | 12 |
| 53 | S | 12 |
| 54 | S | 12 |
| 55 | S | 12 |
| 56 | S | 12 |

| CALCULATION SUMMARY | | | | | |
|---------------------|-------|------|-----|---------|---------|
| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| CANOPY | 44.08 | 59 | 21 | 2.10 | 2.81 |
| PAVED AREA | 5.44 | 15.7 | 0.6 | 9.07 | 26.17 |
| UNDEFINED AREA | 1.23 | 24.8 | 0.0 | N.A. | N.A. |

| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-----|-------|-------------|--------|-------|------------|-------------|------------------------------------|-----------------------------------|
| SYMBOL | QTY | LABEL | ARRANGEMENT | LUMENS | LLF | ARR. WATTS | TOTAL WATTS | MANUFACTURER | DESCRIPTION |
| ☐ | 3 | A3 | SINGLE | 7896 | 1.040 | 134 | 402 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-XX-700-57K |
| ☐ | 3 | AR | SINGLE | 7985 | 1.040 | 92 | 276 | CREE INC. | ARE-EDR-5M-R5-04-E-UL-XX-700-57K |
| ☐ | 3 | B3 | SINGLE | 8480 | 1.040 | 134 | 402 | CREE INC. | ARE-EDG-4MB-DA-06-E-UL-700-57K |
| ☐ | 1 | B4 | BACK-BACK | 8480 | 1.040 | 268 | 268 | CREE INC. | ARE-EDG-4MB-DA-06-E-UL-700-57K |
| ☐ | 10 | C | SINGLE | 12060 | 1.040 | 134 | 1340 | CREE, INC. | CAN-304-5M-RS-06-E-UL-XX-700-57K |
| ☐ | 10 | C1 | SINGLE | 13696 | 1.040 | 134 | 1340 | CREE, INC. | CAN-304-PS-RS-06-E-UL-XX-700-57K |
| ☐ | 26 | S | SINGLE | 1757 | 1.000 | 19.8 | 514.8 | Cree Lighting - Recessed Downlight | LR618L-40K-120V-A-DR +RC6 HOUSING |

| REV | BY | DATE | DESCRIPTION |
|-----|----|------|-------------|
| | | | |

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LUMINAIRE RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED IN CONFORMANCE WITH ILLUMINATED PRODUCTS CONSTRUCTION LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: LAYOUT BY: TAS
1" = 20'

TWG SIZE: DATE: 5/18/18
D

DRAWING NUMBER: RL-3730-S1

PROJECT NAME: CUMBERLAND FARMS BRUNSWICK, ME

CFG 10.0

PAGE 1 OF 2



RL-3730-S1

CFG 10.1

AREA

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 3 | A3 |

ARE-EDG-3MB-DA-06-E-UL-XX-700-57K

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 3 | B3 |
| | 1 | B4 |

ARE-EDG-4MB-DA-06-E-UL-700-57K

Cree Edge™ Series

Product Description
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing extends wind load requirements and features an integral, weatherlight LED driver compartment and high performance aluminum heat sink. Back-mounting options: Adjustable Arm, Cover Arm, or Side Arm (details on page 2). Includes a half-inch gasket.
Applications: Parking lots, walkways, campuses, car washways, office complexes, and interior walkways.

| Performance Summary | |
|--|--|
| Patented NanoStar™ Product Technology | |
| Made in the U.S.A. of U.S. and imported parts | |
| CRI: 90+ (vs. 80-90, 9000K vs. 10000 standard) | |
| Limited Warranty: 10 years on luminaire/10 years on Colorfast DeluxGuard™ finish | |

| Product | QTY | Label | Mounting | LED Count (x105) | Status | Voltage | Color Options | Beam Spread | Options |
|-----------------------------------|-----|-------|----------|------------------|----------|---------|---------------|-------------|---------|
| ARE-EDG-3MB-DA-06-E-UL-XX-700-57K | 3 | A3 | DA Mount | 10 | Standard | 120V | White | 30° | None |
| ARE-EDG-4MB-DA-06-E-UL-700-57K | 1 | B4 | DA Mount | 10 | Standard | 120V | White | 30° | None |

Ordering Information
Source: ARE-EDG-DA-06-E-UL-XX-700-57K

Product Specifications
CONSTRUCTION & MATERIALS
• Slim, low profile, aluminum and steel components
• Includes a half-inch gasket
• Includes a half-inch gasket
• Includes a half-inch gasket

ELECTRICAL SYSTEM
• Input Voltage: 120V or 277V (50/60Hz, Class I drivers)
• Power Factor: 0.9 or full load
• Total Harmonic Distortion: 10% or less
• Integral 10KV surge suspension protection standard

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 3 | AR |

ARE-EDR-5M-R5-04-E-UL-XX-700-57K

Cree Edge™ Series

Product Description
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherlight LED driver compartment, spun vented cover, high performance aluminum heat sink and half-inch gasket.
Applications: Auto Dealerships, parking lots, campuses, facade lighting and general site lighting applications.

| Performance Summary | |
|--|--|
| Patented NanoStar™ Product Technology | |
| Made in the U.S.A. of U.S. and imported parts | |
| CRI: 90+ (vs. 80-90, 9000K vs. 10000 standard) | |
| Limited Warranty: 10 years on luminaire/10 years on Colorfast DeluxGuard™ finish | |

| Product | QTY | Label | Mounting | LED Count (x105) | Status | Voltage | Color Options | Beam Spread | Options |
|----------------------------------|-----|-------|----------|------------------|----------|---------|---------------|-------------|---------|
| ARE-EDR-5M-R5-04-E-UL-XX-700-57K | 3 | AR | R5 Mount | 10 | Standard | 120V | White | 30° | None |

| Product | QTY | Label | Mounting | LED Count (x105) | Status | Voltage | Color Options | Beam Spread | Options |
|----------------------------------|-----|-------|----------|------------------|----------|---------|---------------|-------------|---------|
| ARE-EDR-5M-R5-04-E-UL-XX-700-57K | 3 | AR | R5 Mount | 10 | Standard | 120V | White | 30° | None |

Ordering Information
Source: ARE-EDR-R5-04-E-UL-XX-700-57K

Product Specifications
CONSTRUCTION & MATERIALS
• Slim, low profile, aluminum and steel components
• Includes a half-inch gasket
• Includes a half-inch gasket

ELECTRICAL SYSTEM
• Input Voltage: 120V or 277V (50/60Hz, Class I drivers)
• Power Factor: 0.9 or full load
• Total Harmonic Distortion: 10% or less
• Integral 10KV surge suspension protection standard

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

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|---------|------|--------|--------|--------|---------|
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| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
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RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

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| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
• Suitable for wet locations
• Includes a half-inch gasket

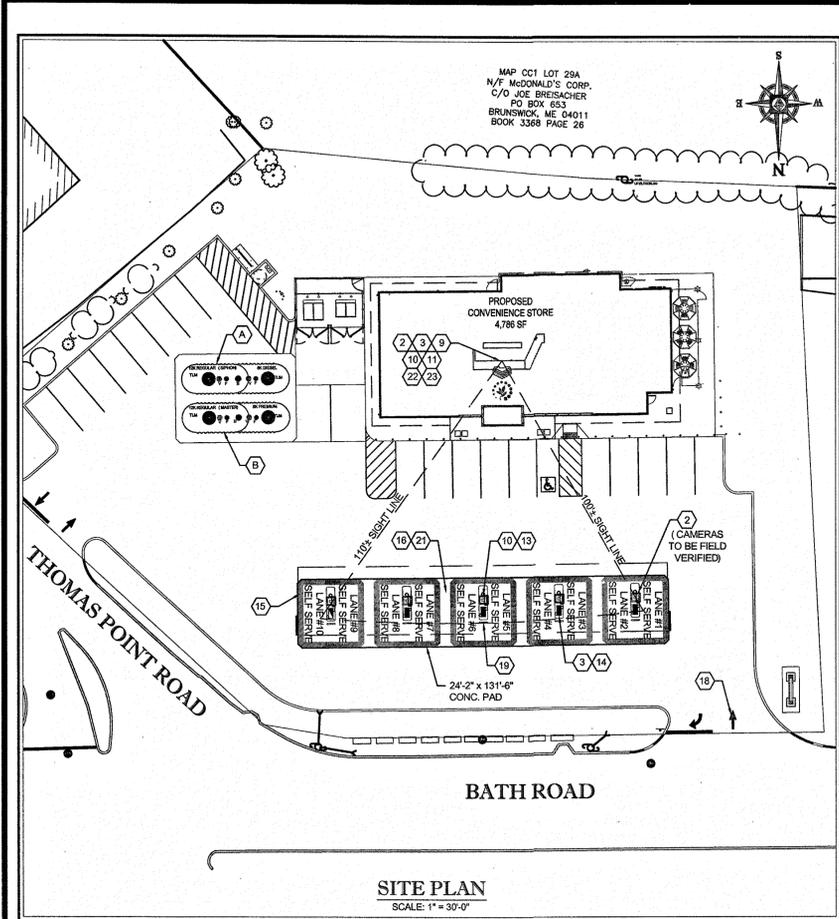
RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

| Ambient | LMF | 25K hr | 50K hr | 75K hr | 100K hr |
|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | 1.30 | 1.30 | 1.30 | 1.30 |
| 60% | 1.40 | 1.40 | 1.40 | 1.40 | 1.40 |
| 50% | 1.50 | 1.50 | 1.50 | 1.50 | 1.50 |
| 40% | 1.60 | 1.60 | 1.60 | 1.60 | 1.60 |
| 30% | 1.70 | 1.70 | 1.70 | 1.70 | 1.70 |
| 20% | 1.80 | 1.80 | 1.80 | 1.80 | 1.80 |
| 10% | 1.90 | 1.90 | 1.90 | 1.90 | 1.90 |

REGULATORY & VOLUNTARY QUALIFICATIONS
• UL Listed
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RECOMMENDED Cree Edge™ Series Luminaire Maintenance Factors (LMF)

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|---------|------|--------|--------|--------|---------|
| 100% | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| 90% | 1.10 | 1.10 | 1.10 | 1.10 | 1.10 |
| 80% | 1.20 | 1.20 | 1.20 | 1.20 | 1.20 |
| 70% | 1.30 | | | | |



MISCELLANEOUS CHARTS

VEHICLE CAPACITY

| TYPE | FULL SERVE | SELF SERVE |
|---|------------|------------|
| FUELING | - | 10 |
| WAITING TO BE FUELED | - | 5 |
| TOTALS | - | 15 |
| TOTAL NUMBER OF DISPENSING UNITS: (5) GASOLINE AND DIESEL | | |
| TOTAL NUMBER OF FUELING POSITIONS: (10) GASOLINE AND DIESEL | | |

U/G STORAGE TANKS

| TANK | CAPACITY | PRODUCT | TANK TYPE | INSTALL DATE |
|--------------|------------|---------------|-----------|--------------|
| A SPLIT TANK | 12,000 GAL | REG. GASOLINE | DWFG | PROPOSED |
| B SPLIT TANK | 8,000 GAL | DIESEL | DWFG | PROPOSED |
| C SPLIT TANK | 12,000 GAL | REG. GASOLINE | DWFG | PROPOSED |
| D SPLIT TANK | 8,000 GAL | PREMIUM | DWFG | PROPOSED |

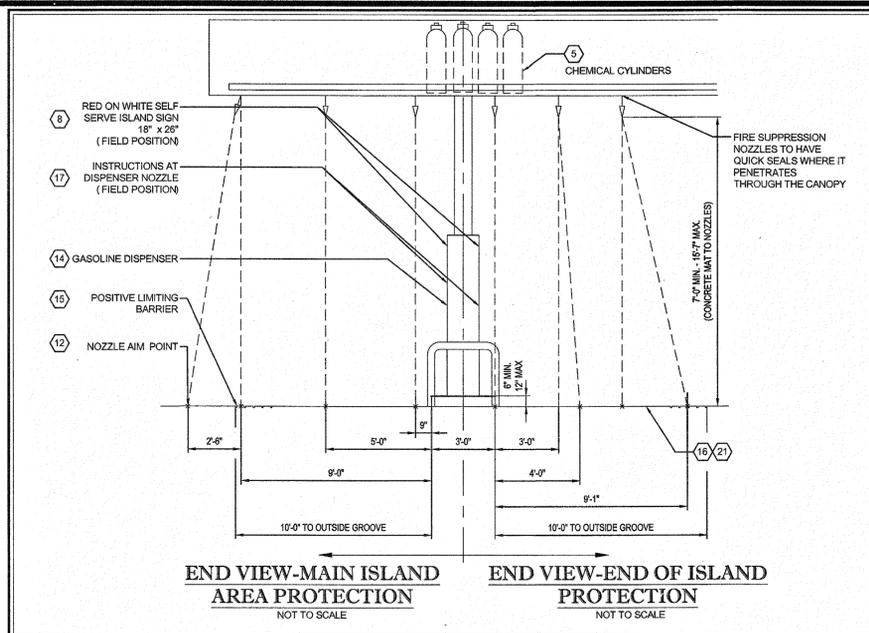
CCTV CAMERAS

| LANE # | FULL/SELF SERVE | SELF SERVE | FULL SERVE |
|------------|-----------------|------------|------------|
| LANE #12 | -- | 1 | -- |
| LANE #3/4 | -- | 1 | -- |
| LANE #5/6 | -- | 1 | -- |
| LANE #7/8 | -- | 1 | -- |
| LANE #9/10 | -- | 1 | -- |

SITE SPECIFIC SYSTEM COMPONENT TABLE *

| NUMBER OF SYSTEMS REQ'D | NUMBER OF NOZZLES REQ'D | NUMBER OF CYL. REQ'D | CYLINDER SIZE & QTY. |
|-------------------------|-------------------------|----------------------|---------------------------|
| (1) 9'-8" LONG SYSTEM | (24) PER SYSTEM | (4) PER SYSTEM | ATD-358C=0 ATD-808C=4 |
| (5) TOTAL SYSTEMS | (120) TOTAL NOZZLES | (20) TOTAL CYLINDERS | ATD-358C=0 ATD-808C=20 |

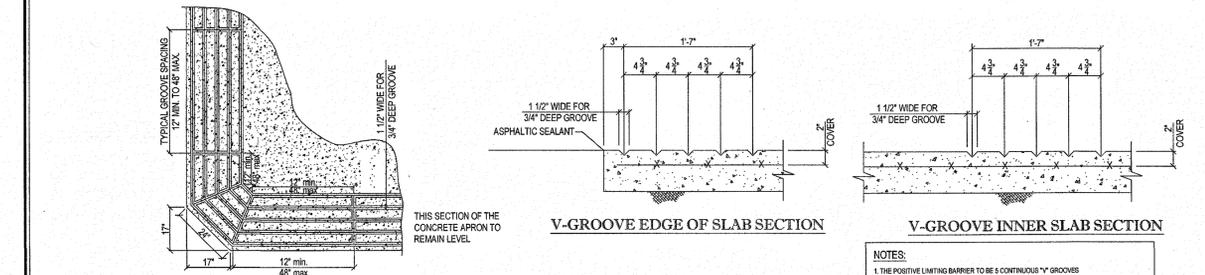
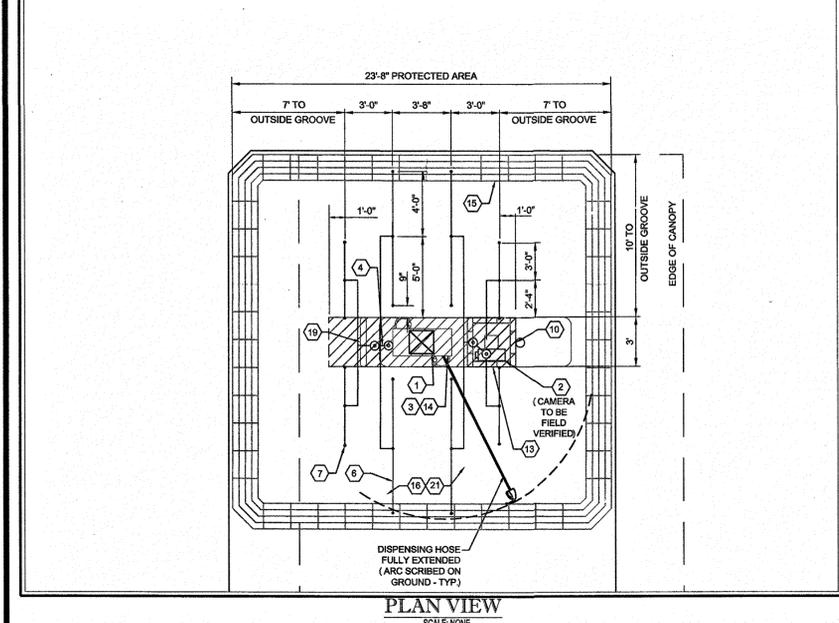
* INCLUDES MAIN AND END OF ISLAND PROTECTION.



SPECIAL NOTE:
IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE UL LISTED PYRO-CHEM INC. "THE ATTENDANT II" TECHNICAL MANUAL, THE TECHNICAL MANUAL SHALL GOVERN.
NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICT

SPECIAL INSTALLATION NOTES:

- DO NOT PAINT THE HEAT SENSORS.
- PITCH ELECTRICAL CONDUIT AWAY FROM THE ELECTRICAL JUNCTION BOXES.
- ALL CONDUIT RUNS AND JUNCTION BOXES ARE TO BE SECURED TO THE TOP OF THE PURLINS AS DETAILED ON THIS DRAWING.
- ALL RIGID METAL CONDUIT THREADS TO BE SEALED USING TEFLON PASTE FOR WATERTIGHT INSTALLATION.



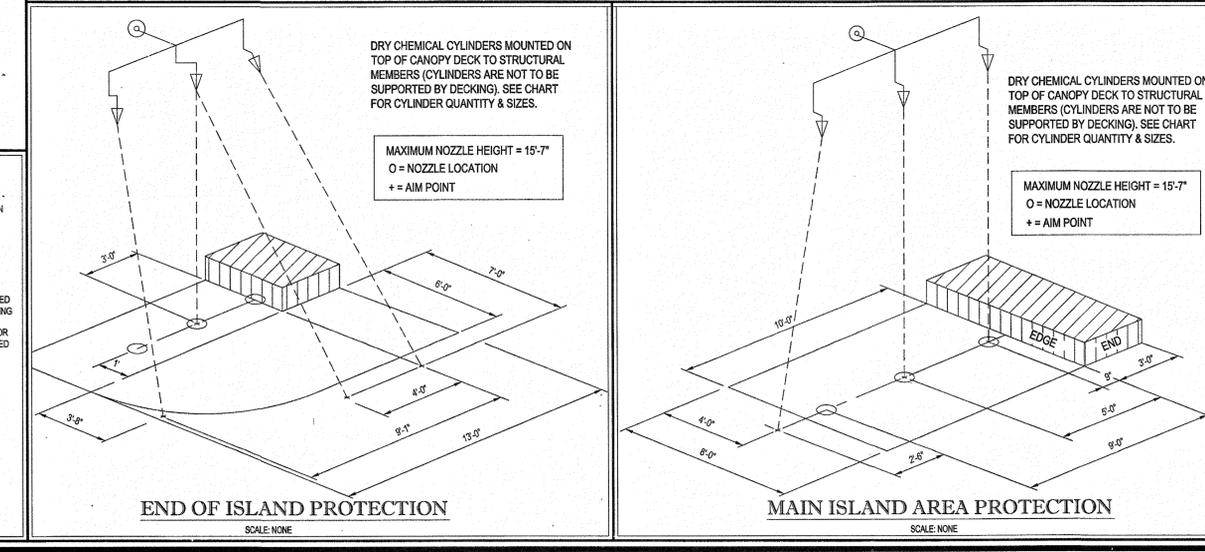
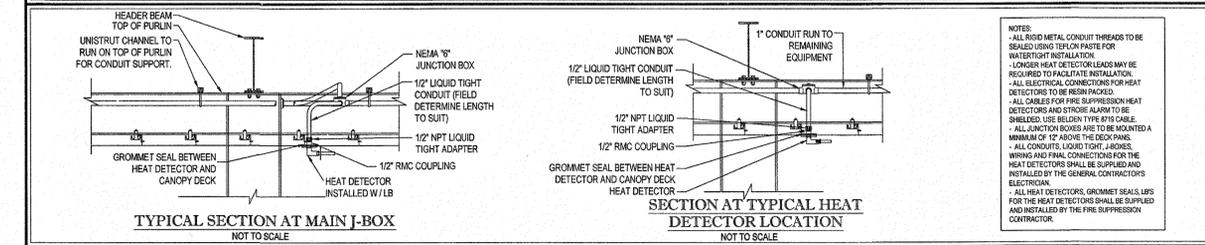
TYPICAL APRON CORNER AND GROOVE SPACING DETAIL

15 POSITIVE LIMITING BARRIER SAWCUTS AND PATTERNS
NOT TO SCALE

POSITIVE LIMITING BARRIER NOTE:
CONTRACTOR TO VERIFY LOCATION OF POSITIVE LIMITING BARRIER WITH CUMBERLAND FARMS PRIOR TO INSTALLATION.

NOTES:

- THE POSITIVE LIMITING BARRIER TO BE A CONTINUOUS "Y" GROOVE: 1 1/2" WIDE x 3/4" DEEP, ON 3/4" CENTERS WITH CROSS INTERCONNECTING GROOVES, EQUALLY SPACED ON MIN. 12" MAX. 48" CENTERS.
- "Y" GROOVES SHALL BE TROWELED IN CONCRETE SLAB.
- "Y" GROOVES SHALL BE A CONSTANT WIDTH AND DEPTH FOR THE ENTIRE APRON.
- GROOVES MUST BE KEPT CLEAN OF DIRT AND DEBRIS.



LEGEND

- 150° HIGH TEMP. AUTOMATIC THERMOSTAT INSTALLED ON 15 FOOT MAXIMUM CENTERS INTERCONNECTED TO FIRE SUPPRESSION SYSTEM. CENTER OF EACH ISLAND ABOVE DISPENSERS.
- CCTV CAMERA MOUNTED TO CANOPY COLUMN AT ISLAND WITH CCTV MONITOR(S) LOCATED NEAR CASH REGISTER AT THE TRANSACTION AREA WITHIN THE BUILDING. CCTV MONITORS SHALL DISPLAY ALL CAMERA ANGLES SIMULTANEOUSLY ON THE SCREEN WITH A MINIMUM PICTURE FRAME OF 5 INCHES BY 6.5 INCHES PER CAMERA.
- INTERCOM SPEAKERS AT EACH DISPENSER WITH MASTER CONTROL LOCATED AT CENTRAL CONTROL AREA.
- OVERHEAD FIRE SUPPRESSION PIPING (SUPPLY).
- DRY CHEMICAL CYLINDERS AS REQUIRED BY MANUFACTURER OF SUPPRESSION SYSTEM WITH REFERENCE TO UL APPROVED INSTALLATION AND MAINTENANCE MANUAL.
- OVERHEAD FIRE SUPPRESSION PIPING (DISTRIBUTION).
- NOZZLE.
- NO SMOKING AND TURN OFF ENGINE SIGN.
- GASOLINE DISPENSER CONTROL CONSOLE EQUIPMENT WITH COMPLETE EQUIPMENT SHUTDOWN EMERGENCY MODE UL APPROVED.
- HAND OPERATED 40 LB FIRE EXTINGUISHER.
- CONTROL CENTER.
- FIRE SUPPRESSION STRIKE POINT - FOR END OF ISLAND NOZZLE AIM POINTS REFER TO THE UL LISTED PYRO-CHEM, INC. "THE ATTENDANT II" TECHNICAL MANUAL.
- SUPPORT COLUMN.
- GASOLINE OR DIESEL DISPENSER UL APPROVED WITH AUTOMATIC CREDIT CARD READING DEVICE.
- POSITIVE LIMITING BARRIER AROUND PERIMETER OF SELF SERVE GASOLINE DISPENSING AREA.
- SELF SERVE GASOLINE DISPENSING AREA.
- APPROPRIATE INSTRUCTIONS FOR USE AT EACH SELF SERVE DISPENSING NOZZLE.
- TRAFFIC FLOW ARROWS.
- SAFETY BARRIAGE.
- LIGHTING WITHIN SELF SERVE DISPENSING AREA.
- CONCRETE MAT SURROUNDING THE DISPENSING AREA SHALL BE MADE AS LEVEL AS POSSIBLE.
- FACILITY.
- MANUAL RELEASE LOCATED IN CONTROL CENTER CONVENIENT TO ATTENDANT. REMOTE RELEASE ENGINEERED BY FACTORY, INSTALLED BY AUTHORIZED FIRE SUPPRESSION CONTRACTOR.

NOTES

- NOTES TAKEN FROM MAINE DEPARTMENT OF PUBLIC SAFETY CHAPTER 34 "SPECIAL REGULATIONS FOR ATTENDED SELF-SERVICE GASOLINE FACILITIES" PAGE 3 & 4.
- NO ONE SHALL CONSTRUCT, RECONSTRUCT, CONVERT OR ALTER ANY SERVICE STATION TO PROVIDE ATTENDED SELF-SERVICE GASOLINE DISPENSING WITHOUT FIRST NOTIFYING THE OFFICE OF THE STATE FIRE MARSHAL IN WRITING OF THE TYPE AND ADDRESS OF THE FACILITY.
 - EVERY GASOLINE SERVICE STATION SHALL BE UNDER THE DIRECT CONTROL OF THE OWNER, OPERATOR OR DULY AUTHORIZED EMPLOYEE WHO SHALL BE ON DUTY AT ALL TIMES THAT GASOLINE IS BEING SOLD OR DISPENSED.
 - EACH FACILITY SHALL BE EQUIPPED WITH A FIXED FIRE EXTINGUISHING SYSTEM INSTALLED IN ACCORDANCE WITH NFPA1962A, CODE FOR MOTOR DISPENSING FACILITIES AND REPAIR GARAGES, 2008 EDITION. THE SYSTEM SHALL PROVIDE PROTECTION FOR ALL PUMPS IN THE DISPENSING AREA. EACH EXTINGUISHER HEAD SHALL BE INSTALLED IN SUCH A MANNER THAT AN ACCUMULATION OF ICE OR SNOW WILL NOT ADVERSELY AFFECT THE PROPER FUNCTIONING OF THE SYSTEM.
 - THE NUMBER OF NOZZLES CAPABLE OF SIMULTANEOUS OPERATION MAY NOT EXCEED SIXTEEN NOZZLES PER OPERATOR ON DUTY IN ISLANDS OPEN TO USE, AND NO MORE THAN EIGHT NOZZLES MAY BE IN USE AT ONE TIME.
 - THE CONTROLLING MECHANISM CONSOLE AND ITS RELATED EQUIPMENT ARE TO BE LISTED BY UNDERWRITERS LABORATORIES.
 - IN ADDITION TO THE REQUIRED OPERATING INSTRUCTIONS SET FORTH IN NFPA 800A, SIGNAGE SHALL INCLUDE A REQUIREMENT THAT THE USER STAY IN VIEW OF THE FUELING NOZZLE DURING DISPENSING.
 - THE CONTROLLING CONSOLE PROVIDING POWER TO THE PUMP MOTOR MUST BE MONITORED BY THE OWNER, OPERATOR OR DULY AUTHORIZED EMPLOYEE AT ALL TIMES WITH GASOLINE IS BEING DISPENSED AND PROPERLY PROTECTED AGAINST PHYSICAL DAMAGE FROM MOTOR VEHICLES.
 - THERE SHALL BE CONSTANT CONTACT BY THE CONTROL CONSOLE OPERATOR AND THE PUMP ISLAND BY MEANS OF INTER-COMMUNICATION SYSTEM THAT SHALL BE MAINTAINED IN PROPER OPERATING CONDITIONS.
 - THE CONTROL CONSOLE OPERATOR MUST OBSERVE PROPER OPERATION OF EACH VEHICLE. MIRRORS ARE NOT ACCEPTABLE AS PROVIDING ADEQUATE VISUAL CONTROL.
 - THE PRIMARY FIRE DEPARTMENT HAVING JURISDICTION OR PROVIDING MUTUAL AID IN THE AREA IN THE AREA IN WHICH A PROPOSED SELF-SERVICE STATION IS TO BE LOCATED SHALL BE INFORMED OF SUCH PROPOSAL AND THE REQUIREMENTS OF ALL LOCAL ORDINANCE MUST BE MET.
 - THE OPERATIONS PERMIT MUST BE POSTED IN THE PLAIN VIEW OF THE PUBLIC, UNOBSERVED, AT THE SITE.
 - AN AUTOMATIC CLOSING TYPE HOSE NOZZLE VALVE LISTED WITH UNITED LABORATORIES (OR OTHER RECOGNIZED AGENCY APPLYING AN EQUIVALENT TEST) WITH LATCH-OPEN DEVICE MAY BE INSTALLED.
 - THE OWNER OR OPERATOR OF ANY ATTENDED SELF-SERVICE FACILITY EXISTING PRIOR TO THE DATE OF THIS RULE MUST NOTIFY THE OFFICE OF THE STATE FIRE MARSHAL IN WRITING OF BY JULY 1, 2006.

_____, CHIEF OF DEPARTMENT OR HIS DESIGNEE, HAVE REVIEWED THE ATTACHED INFORMATION AND HAVE ACKNOWLEDGMENT OF:

CITY/TOWN: _____
DATE: _____

FOR FIRE MARSHAL USE:

WARNING NO SMOKING-STOP MOTOR

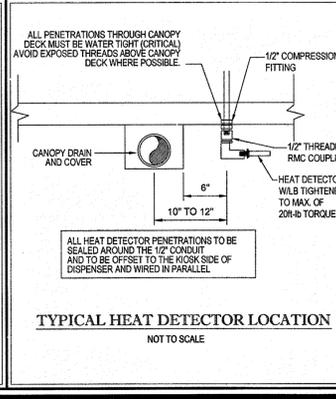
IT IS UNLAWFUL AND DANGEROUS TO DISPENSE GASOLINE INTO UNAPPROVED CONTAINERS.

NO FILLING OF PORTABLE CONTAINERS IN OR ON A MOTOR VEHICLE OR TRAILER. PLACE CONTAINER ON GROUND BEFORE FILLING.

NO SMOKING TURN-OFF ENGINE SIGN
NOT TO SCALE

NOTES:
DIMENSIONS 18" BY 28" WHITE BACKGROUND WITH RED MASKING

LETTERING SIZE AND ARRANGEMENT SHALL BE IN BLOCK LETTERS MIN. HEIGHT 7/8" AS SHOWN TO RIGHT.



BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING AND CONSTRUCTION
SUSTAINABLE DESIGN PERMITTING SERVICES
TRANSPORTATION SERVICES

NORTHERN VIRGINIA
CENTRAL VIRGINIA
LEHIGH VALLEY PA
REARDOOTH BEACH, NC
CHASLOTTE, NC
TAMPA, FL
DAVIDSON, NC
BALTIMORE, MD
COLUMBIANA, OH
COLUMBIANA, OH
COLUMBIANA, OH

UPSTATE NEW YORK
NEW ENGLAND
NEW ENGLAND
NEW YORK METRO
NEW YORK NY
NEW YORK NY
NEW YORK NY

THE ATTENDANT II SYSTEM IS A TRADEMARK OF PYRO-CHEM, INC. © 2006

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|------|---------|----|
| 1 | | | |
| 2 | | | |
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| 15 | | | |

PERMIT PLAN

PROJECT No: W041623
DRAWN BY: CFD
CHECKED BY: LMD
DATE: 05/16/2016
SCALE: AS NOTED
CAD I.D.: BRUNSWICK 90

FIRE SUPPRESSION PLAN
FOR
CUMBERLAND FARMS
(NEW SITE)
190 BATH ROAD
TOWN OF BRUNSWICK
CUMBERLAND COUNTY
MAINE

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

W.D. GOEBEL

REGISTERED PROFESSIONAL ENGINEER
STATE OF MAINE
NEW YORK STATE
NEW YORK STATE
NEW YORK STATE

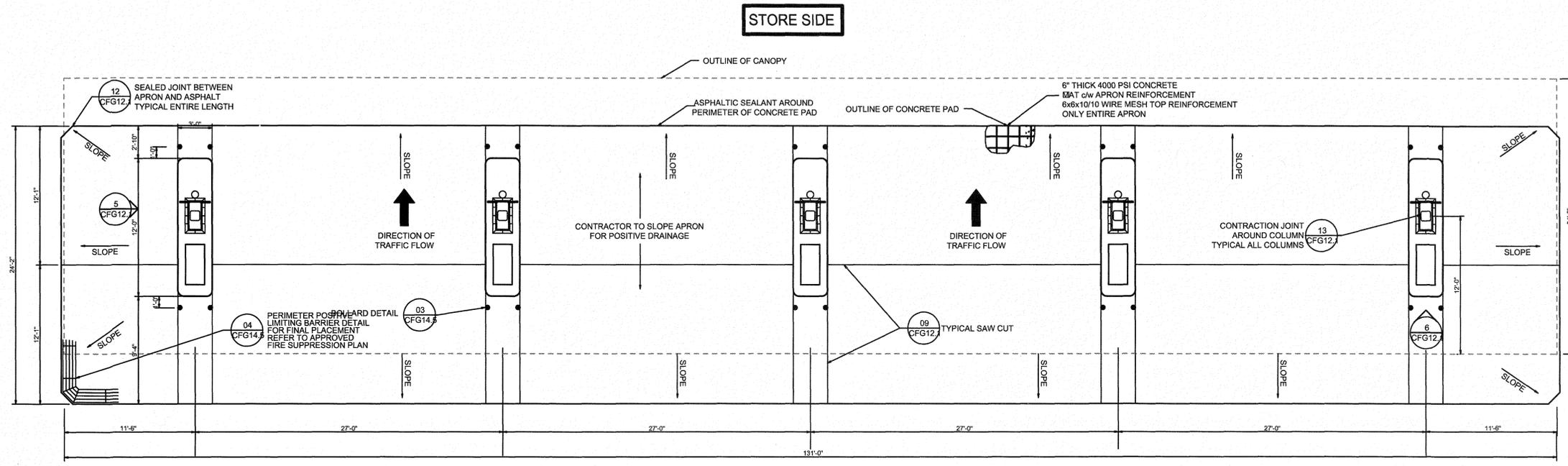
SHEET TITLE:
PYRO-CHEM, INC. "THE ATTENDANT II" GASOLINE FIRE SUPPRESSION SYSTEM

SHEET NUMBER:
CFG11.0

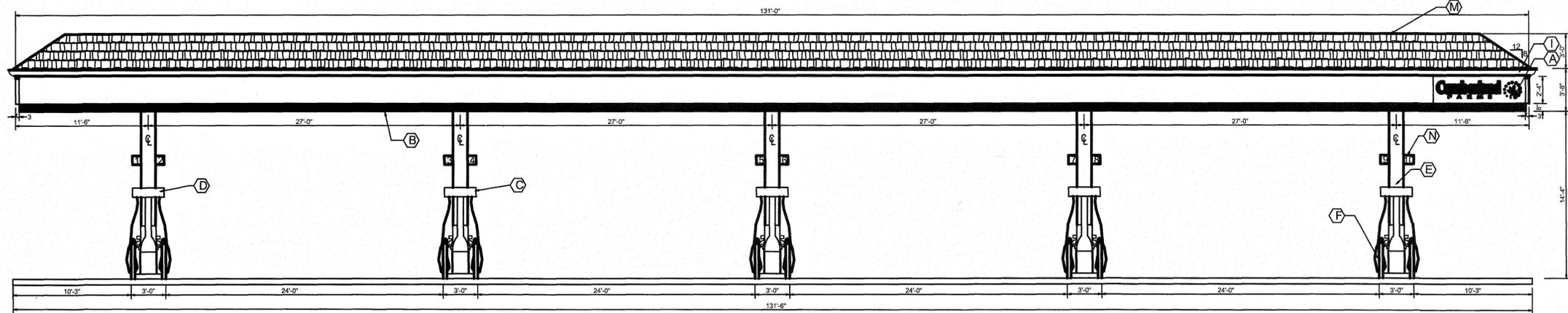
REV 0 - 05/16/2016

811

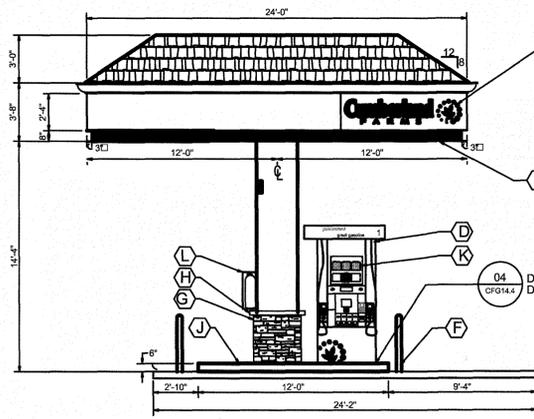
Know what's below.
Call before you dig.



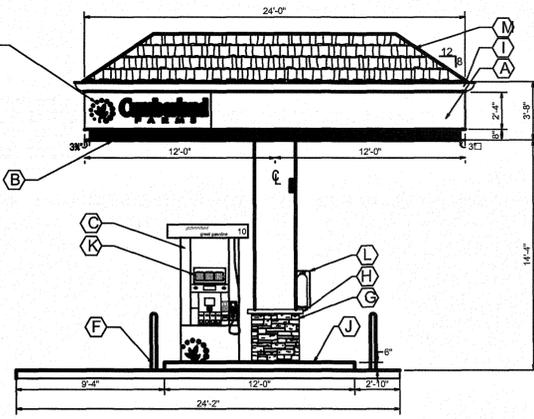
1 CANOPY PLAN VIEW
CFG12.1 SCALE: 3/16" = 1'-0"



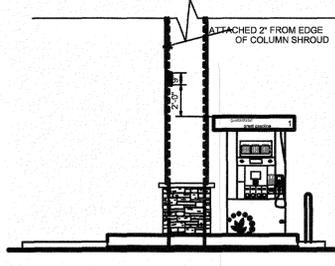
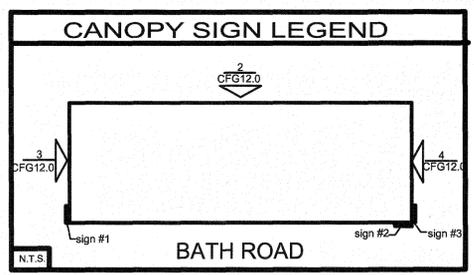
2 CANOPY FRONT ELEVATION
CFG12.2 SCALE: 3/16" = 1'-0"



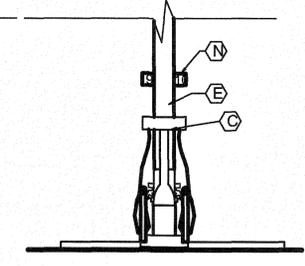
3 CANOPY LEFT ELEVATION
CFG12.3 SCALE: 3/16" = 1'-0"



4 CANOPY RIGHT ELEVATION
CFG12.4 SCALE: 3/16" = 1'-0"



5 GAS DISPENSER # SIGN LOCATION DETAIL
CFG12.0 SCALE: 3/16" = 1'-0"



6 GAS DISPENSER # SIGN LOCATION DETAIL
CFG12.0 SCALE: 3/16" = 1'-0"

- NOTES:
- COORDINATE APRON ELEVATIONS WITH CIVIL DRAWINGS AND FIELD ELEVATIONS.
 - DISPENSER SUMPS TO BE SET IN PLACE AND USED AS A FORM TO POUR CONCRETE AROUND.
 - CONCRETE SPECIFICATIONS:
-SOIL BEARING CAPACITY REQ'D: AS PER GEOTECHNICAL REPORT
-CONC. STRENGTH: 4000psi @ 28 DAYS 3% TO 7% AIR
-TROWELLED SMOOTH FINISH WITH TWO COATS SEALING/CURING COMPOUND.
-CANOPY FOOTING CONC. STRENGTH: REFER TO DRAWINGS PROVIDED BY MANUFACTURER
 - ALL EQUIPMENT INSTALLATIONS MUST COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL EQUIPMENT AND CONSTRUCTION ARE NEW AND FACILITY IS TO BE ATTENDED SELF-SERVICE.
 - REFER TO CANOPY MANUFACTURERS DRAWINGS FOR SPECIFIC CANOPY FOOTING OPTIONS.
 - REFER TO CANOPY MANUFACTURERS DRAWINGS FOR ARCHITECTURAL DETAILS ON CANOPY AND COLUMNS.
 - SEE CIVIL PLANS FOR ORIENTATION ON SITE, AND FOR TRAFFIC FLOW
 - REFER TO CANOPY DETAIL SCHEDULE ON SHEET CFG12.1 FOR ADDITIONAL INFORMATION
 - GC TO COORDINATE THE SPECIFIC LOCATIONS OF THE APRON EXPANSION JOINTS BASED ON THE FINAL POSITIVE LIMITING BARRIER DESIGN. REFER TO THE FIRE SUPPRESSION PLAN FOR THE PLS LAYOUT

| REVISIONS | | |
|-----------|---------|-------------|
| DATE | REV. BY | DESCRIPTION |
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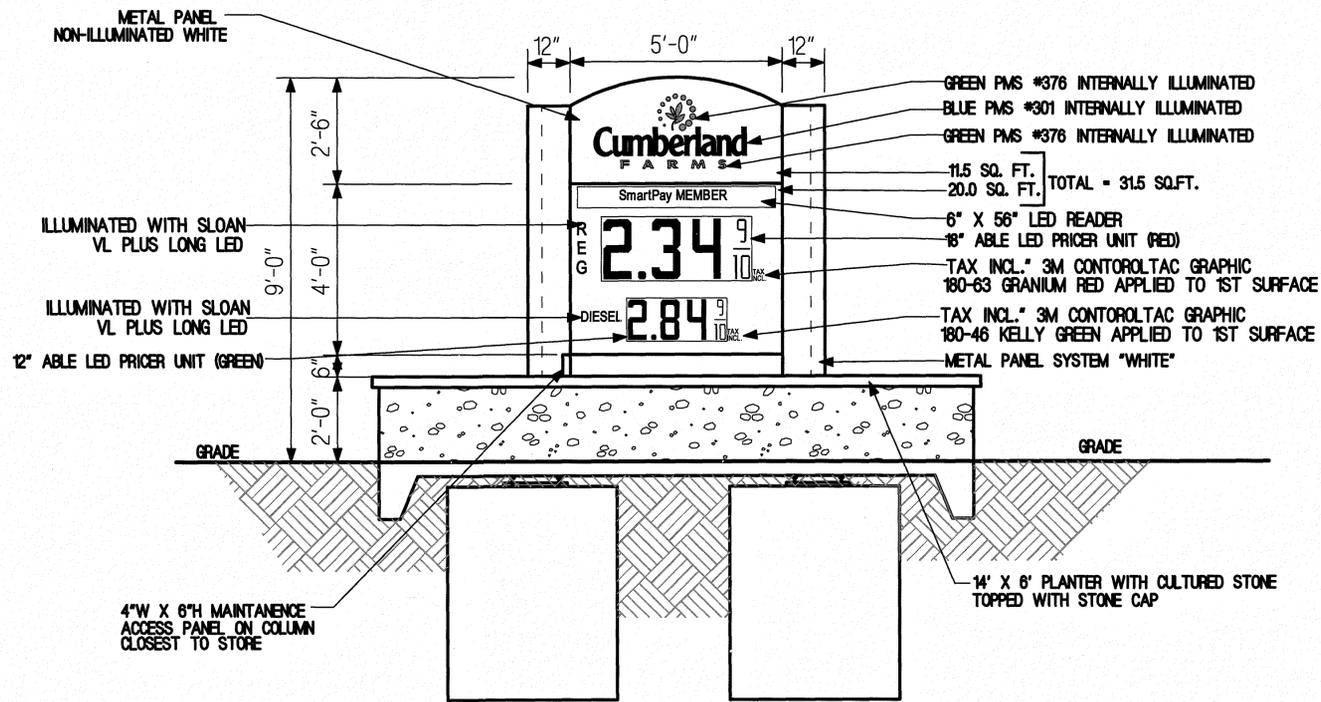
| | |
|-----------------|------------------------------|
| V#NEW | 190 BATH ROAD, BRUNSWICK, ME |
| Store#NEW | |
| Gas Station#NEW | |

190 BATH ROAD, BRUNSWICK, ME

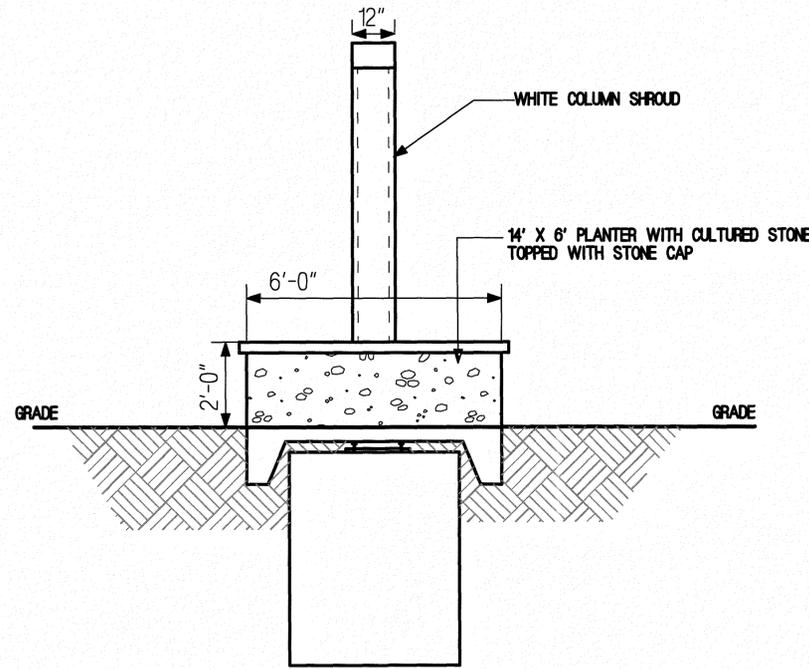
CUMBERLAND FARMS, INC.
100 Crossing Boulevard
Mingham, Massachusetts 01702

PROPOSED CANOPY PLAN & ELEVATIONS

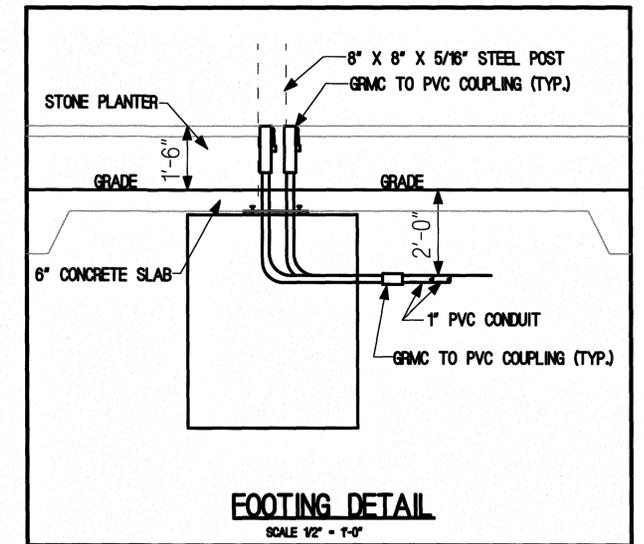
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DATE: 03-22-2016
FILE: x:canopy/L0589
DRAWN BY: DB
CHECKED BY: CFG12.0



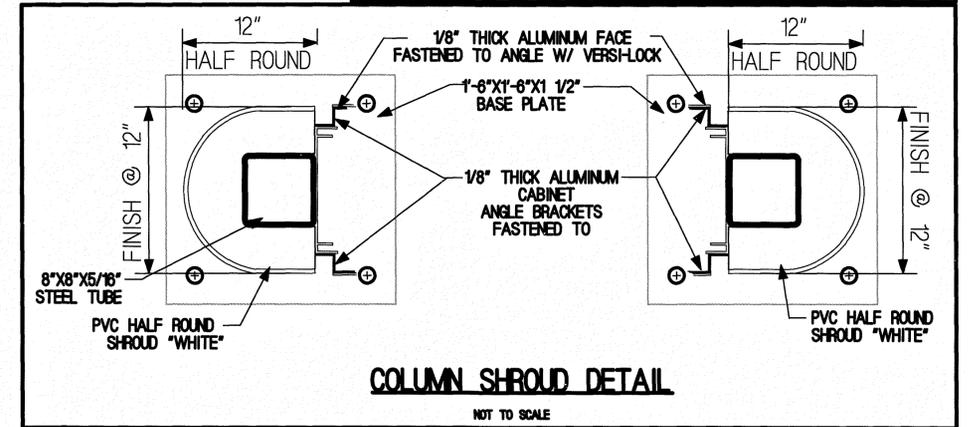
SIDE VIEW



FRONT VIEW



FOOTING DETAIL



COLUMN SHROUD DETAIL

| |
|---------------------------------|
| SIGN SQ.FT |
| CUMBERLAND FARMS - 11.5 SQ. FT. |
| PRICE CABINET - 20.0 SQ. FT. |
| TOTAL - 31.5 SQ. FT. |

NOTE:
SEE SHEET A0.5 AND S4.1 FOR FOUNDATION AND STRUCTURAL DETAILS
THESE PLANS WILL BE PREPARED PRIOR TO FILING FOR A BUILDING PERMIT

ID&GAS PRICE SIGN ELECTRICAL REQUIREMENTS

- 1" PVC CONDUIT W/ 3"Ø AND 1"Ø GROUND (20 AMP)
- 1" PVC CONDUIT "SPARE" W/PULL STRINGS
- 1 WEATHER PROOF JUNCTION BOX

SPECIFICATIONS

- 12" DEEP ALUMINUM FABRICATED SIGN CABINET W/INTERNAL, HIGH OUTPUT FLOURESCENT ILLUMINATION...CABINET PAINTED WHITE
- 1/8" ALUMINUM CAM ROUTERED SIGN FACES, "CUMBERLAND FARMS" ROUTERED TEXT AND LOGO
- CLEAR ACRYLIC PUSH THRU 1/2" X 1/2" EXPOSED "CUMBERLAND" TEXT TO RECEIVE TRANSLUXENT VINYL OVERLAY 3M BLUE... "FARMS" VINYL OVERLAY 3M BRILLIANT GREEN
- SIGN TO INSTALL BETWEEN NEW 6" SQUARE STEEL COLUMNS...INCLUDES NEW HALF ROUND PVC POLE COVERS, INNER ARCHED ALUMINUM FILLER AND ALUMINUM BASE COVERS

| REVISIONS | | |
|-----------|----------|--------------------------------------|
| DATE | REV. BY. | DESCRIPTION |
| 8/17/16 | DJ | REDUCED HEIGHT TO 9' & ADDED PLANTER |

L#0589
STORE# 6585
GAS STATION#

190 BATH ROAD - OLD ROUTE 1
BRUNSWICK, ME

SCALE: 1/2" = 1'-0"

DATE: 4-20-16

FILE: signpl/0589

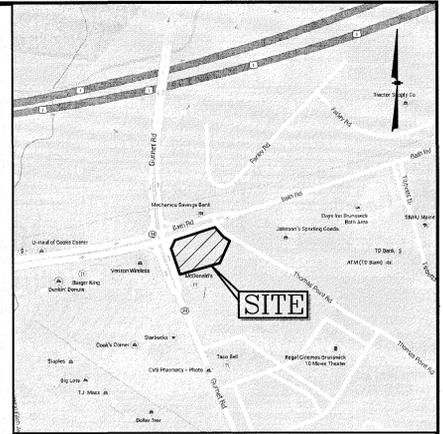
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CHECKED BY:

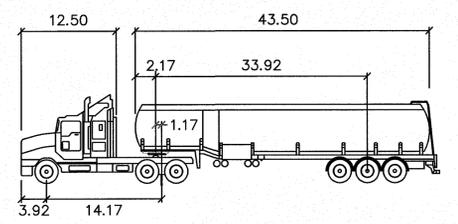
Cumberland FARMS

CUMBERLAND FARMS, INC.
130 CROSSING BOULEVARD
FRAMINGHAM, MASSACHUSETTS 01702

SIGN PLAN CFG13.0

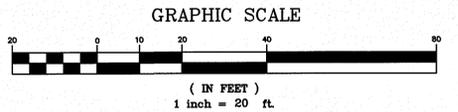


LOCATION MAP
(NOT TO SCALE)



Fuel Tanker D (IN FEET)
 Tractor Width : 8.00 Lock to Lock Time : 6.0
 Trailer Width : 8.50 Steering Angle : 40.0
 Tractor Track : 8.00 Articulating Angle : 70.0
 Trailer Track : 8.50

CUMBERLAND FARMS FUEL TANKER

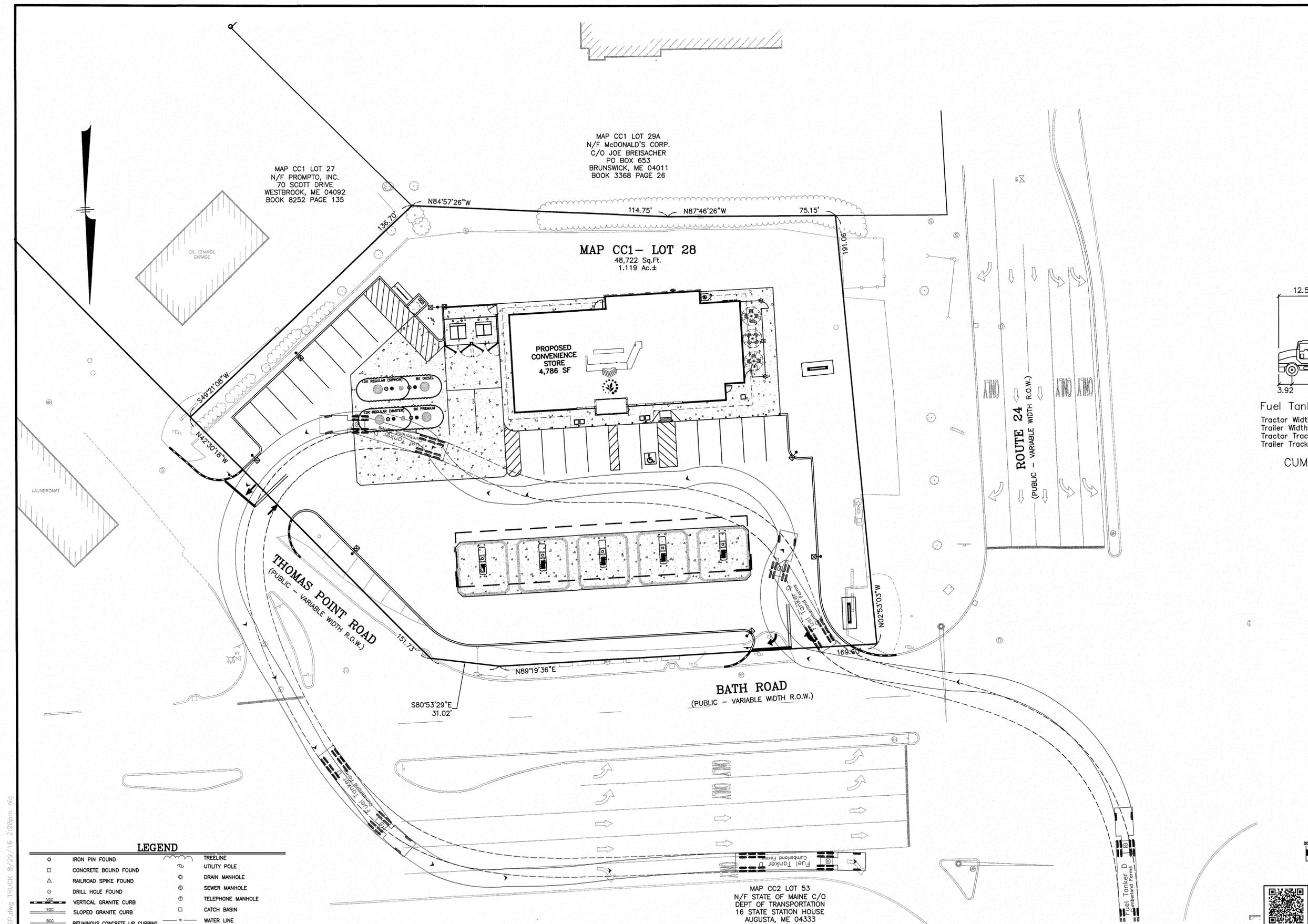


44 Stiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
MHF Design Consultants, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 www.mhfdesign.com

190 BATH ROAD
 BRUNSWICK, MAINE 04011

CUMBERLAND FARMS INC.
 100 CROSSING BLVD.
 FRAMINGHAM, MA 01702
Cumberland FARMS
 SCALE: 1" = 20'
 DATE: JULY 11, 2016
 FILE: 3751SP.dwg
 DRAWN BY: CMT
 CHECKED BY: FCM

TRUCK TURN PLAN
 CFG16.0



MAP CC1 LOT 27
 N/F PROMPTO, INC.
 70 SCOTT DRIVE
 WESTBROOK, ME 04092
 BOOK 8252 PAGE 135

MAP CC1 LOT 29A
 N/F McDONALD'S CORP.
 C/O JOE BREISACHER
 PO BOX 653
 BRUNSWICK, ME 04011
 BOOK 3368 PAGE 26

MAP CC1 - LOT 28
 48,722 Sq.Ft.
 1.119 Ac.±

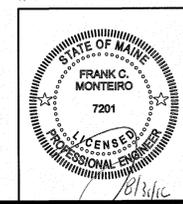
PROPOSED CONVENIENCE STORE
 4,786 SF

LEGEND

| | | | |
|---|---------------------------------|---|------------------------------------|
| ○ | IRON PIN FOUND | — | TREELINE |
| □ | CONCRETE BOUND FOUND | — | UTILITY POLE |
| △ | RAILROAD SPIKE FOUND | — | DRAIN MANHOLE |
| ◇ | DRILL HOLE FOUND | — | SEWER MANHOLE |
| — | VERTICAL GRANITE CURB | — | TELEPHONE MANHOLE |
| — | SLOPED GRANITE CURB | — | CATCH BASIN |
| — | BITUMINOUS CONCRETE LIP CURBING | — | WATER LINE |
| — | BITUMINOUS CONCRETE BERM | — | WATER VALVE |
| — | OVERHEAD SERVICE WIRES | — | FIRE HYDRANT |
| — | DOUBLE SOLID YELLOW LINE | — | GAS VALVE |
| — | SINGLE SOLID WHITE LINE | — | GAS LINE |
| — | BROKEN WHITE LINE | — | UNDERGROUND TELEPHONE LINE |
| — | SIGN | — | UNDERGROUND ELECTRIC AND TELEPHONE |
| — | OBSERVATION WELL | | |
| — | TEST PIT | | |
| — | TEST BORING | | |



MAP CC2 LOT 53
 N/F STATE OF MAINE C/O
 DEPT OF TRANSPORTATION
 16 STATE STATION HOUSE
 AUGUSTA, ME 04333
 BOOK PAGE

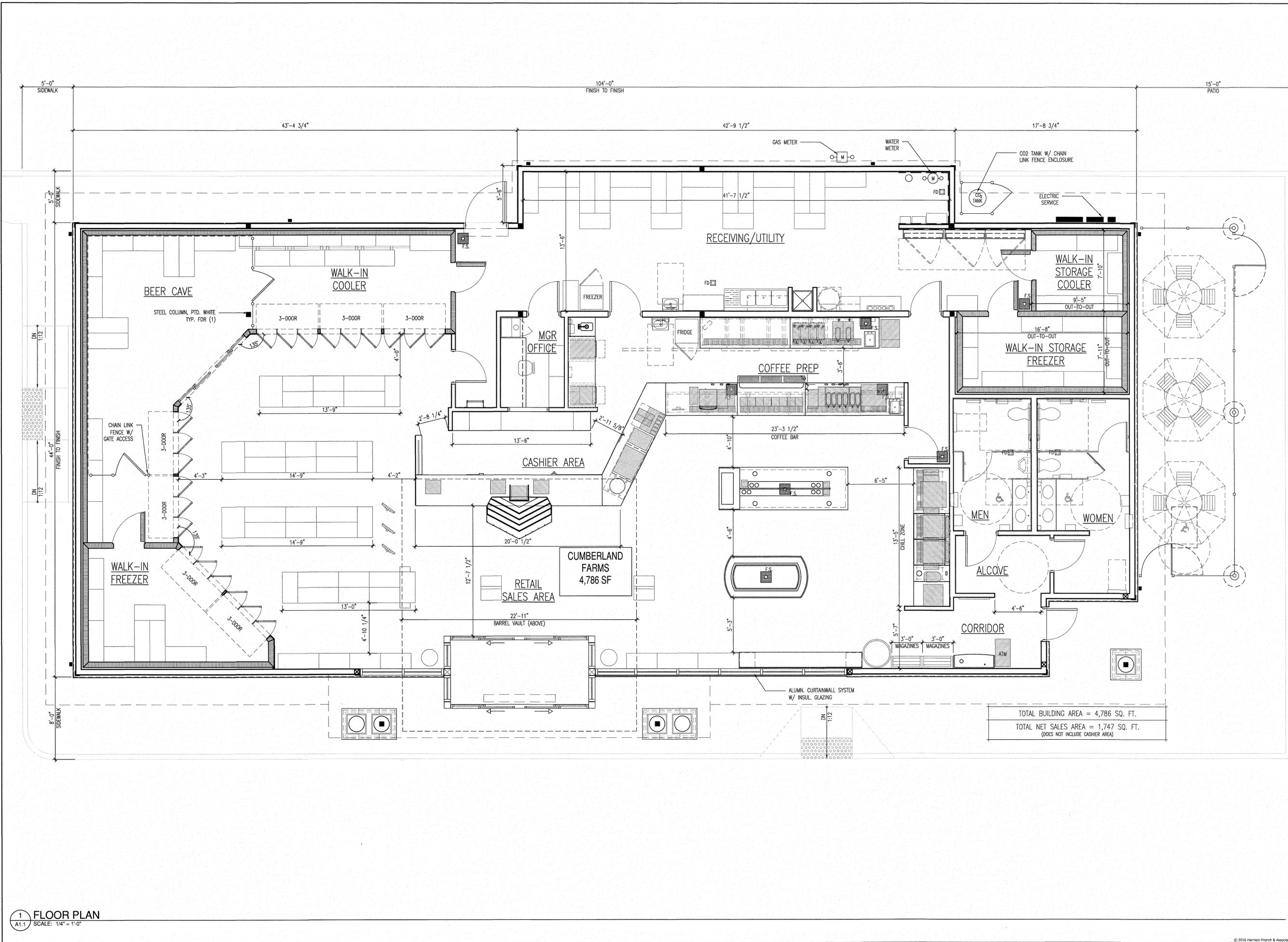
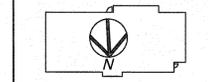


REVISIONS

| NO. | DATE | REV. BY. | DESCRIPTION |
|-----|---------|----------|-----------------------------------|
| 1 | 8/26/16 | CMT | MISC. REVISIONS PER TOWN COMMENTS |

48,722 FEET
 1.119 ACRES
 V# L0589
 Store# 5585
 Gas Station# 1818

| No. | Date | Issued for |
|----------|---------------|------------|
| 05/10/16 | SD SUBMISSION | |



TOTAL BUILDING AREA = 4,786 SQ. FT.
 TOTAL NET SALES AREA = 1,747 SQ. FT.
 (DOES NOT INCLUDE CASHIER AREA)

| FINISH SCHEDULE | | | | | |
|-----------------|-----------------------------------|-----------------------------------|-----------------------|------------------|--|
| ANNO # | DESC. | MANUFACTURER | MODEL | COLOR | NOTES |
| SW-1 | SYNTHETIC WOOD TRIM & FASCIA | CERTAINTEED | - | PT-5; SEE A0.3 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| SW-2 | SYNTHETIC WOOD TRIM | CERTAINTEED | - | PT-7; SEE A0.3 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| FB-1 | FIBERGLASS COLUMN SHROUD OR EQUAL | PACIFIC COLUMNS | - | PT-8; SEE A0.3 | 16"x8" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH. |
| VS-1 | VINYL SIDING | CERTAINTEED | MONOGRAM 46 DOUBLE 4" | HERRINGBONE | ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION. |
| CS-1 | CULTURED STONE | OWENS CORNING CULTURED STONE, LLC | COUNTRY LEDGESTONE | ECHO RIDGE | INSTALL DRYSTACK ONLY; SUPPLIED BY CFI |
| SHNG-1 | ARCHITECTURAL ASPHALT SHINGLES | CERTAINTEED LANDMARK | LANDMARK | COBBLESTONE GRAY | 30 YEAR WARRANTY |
| GU-1 | ALUMINUM GUTTER SYSTEM | ATAS | .032 | WHITE | PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D. PROVIDE SUPPORT STIFFENERS AT MIN. 12" O.C. GUTTER SHALL BE SEAMLESS AND MIN. 6". |

5 FINISH SCHEDULE
A3.1 SCALE: NTS

FRONT WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN BOX
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 37.6 SQ.FT



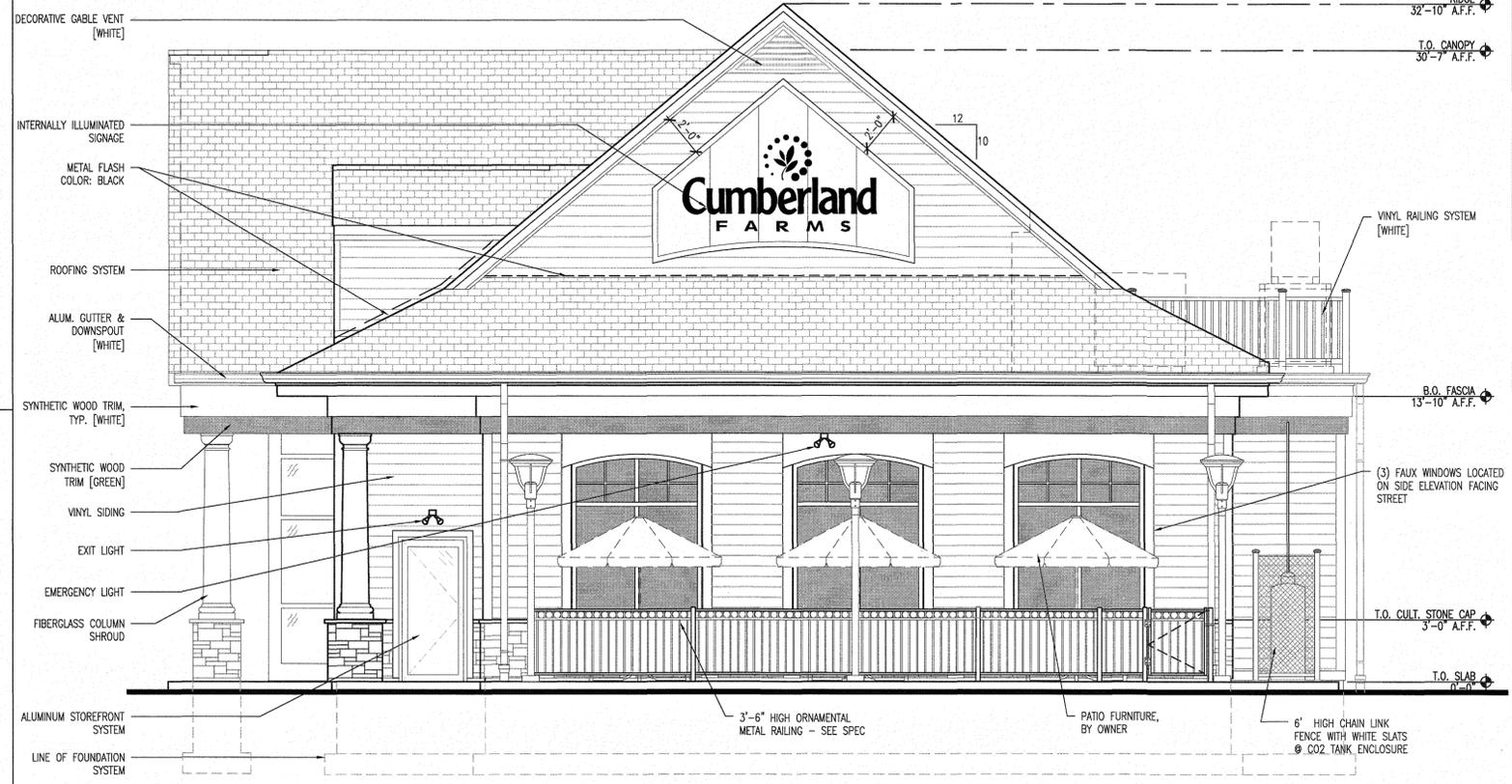
4 FRONT WALL SIGNAGE DETAIL
A3.1 SCALE: 1/4"=1'-0"

SIDE WALL SIGNAGE SPECIFICATION

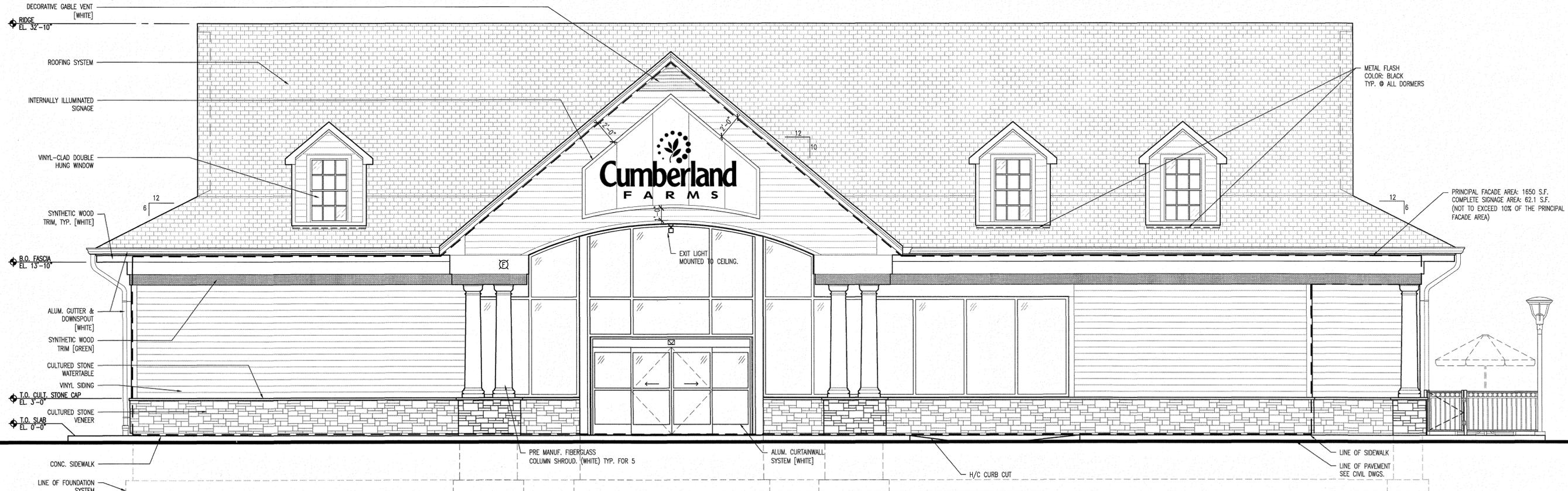
CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN BOX
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 24.5 SQ.FT



3 SIDE WALL SIGNAGE DETAIL
A3.1 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
A3.1 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
A3.1 SCALE: 1/4"=1'-0"

Project Title
New Construction:

Cumberland Farms
Store #5585
VSH #L0589
Oracle #TBD

190 BATH ROAD
Brunswick, ME 04011
Owner
Cumberland Farms, Inc.
100 Crossing Blvd
Framingham, MA 01702
tel 508 270 1400

Architect
HARRISON FRENCH & ASSOCIATES, LTD
31 Haywood Street
Framingham, MA 01703
t 508.528.0770
f 508.528.9454
www.hfa-ac.com

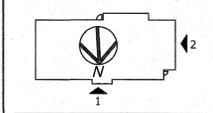
Stipulation for Reuse
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE IN BRUNSWICK, ME. CONTINGENT UPON THE DATE OF ISSUE DATE ON 05/10/16 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR CHANGE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

Seal
Consultant

Revisions

| No. | Date | Issued for |
|----------|---------------|------------|
| 05/10/16 | SD SUBMISSION | |

Key Plan



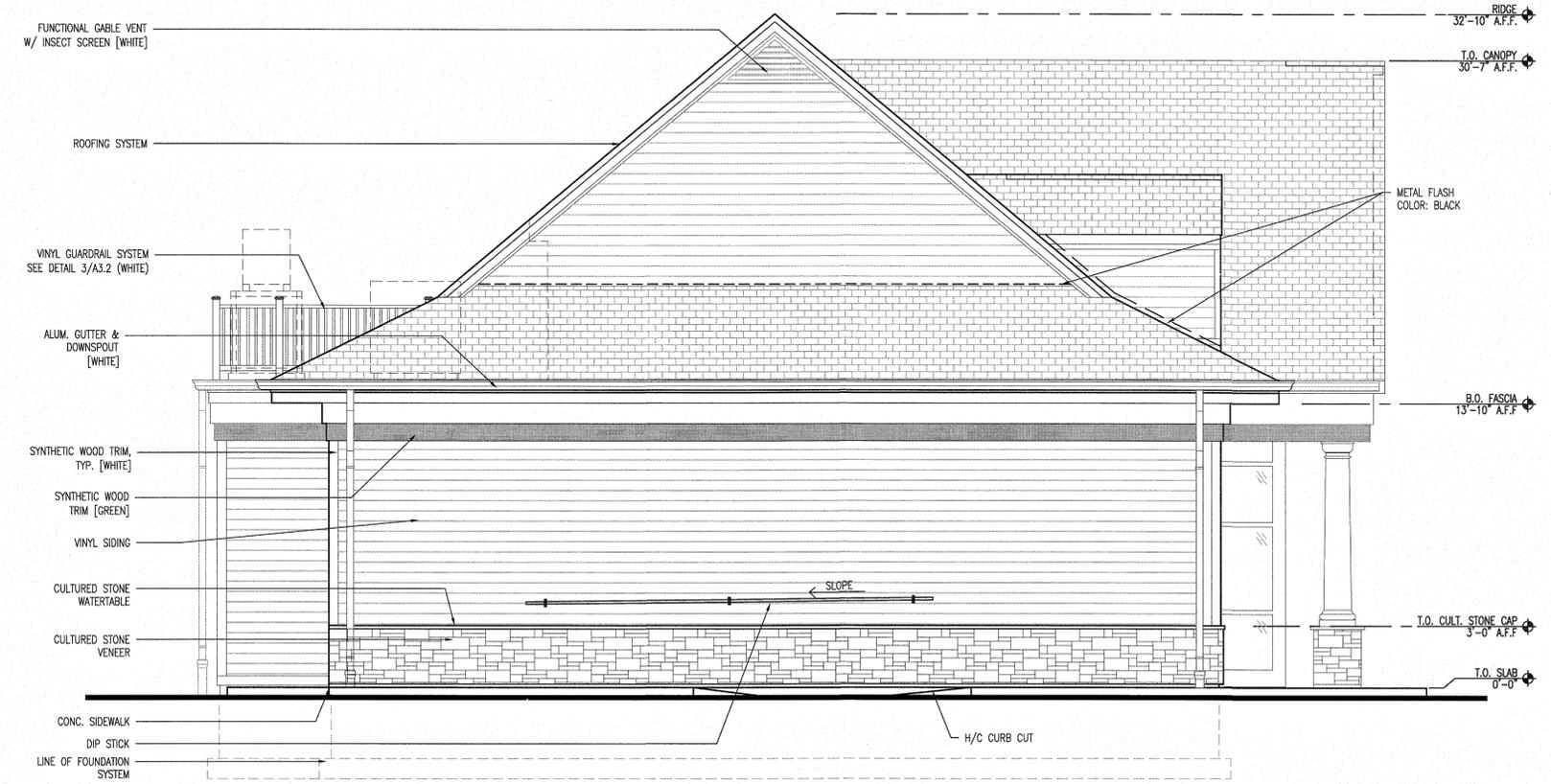
Title
EXTERIOR ELEVATIONS

Date: 05/10/16

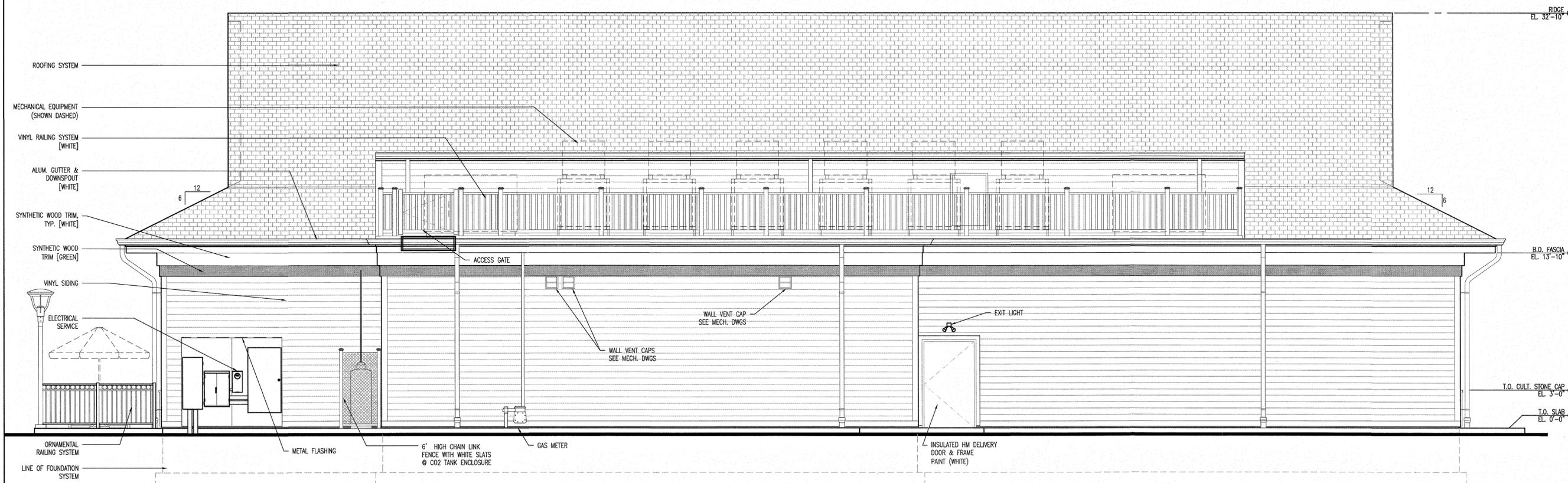
Drawing No.

A3.1

© 2016 Harrison French & Associates, LTD
Project No. 41-15-00250
PROJECT NO. 375115 SHEET 1 OF 1



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Stipulation for Reuse

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT BRUNSWICK, ME. CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 05/10/16 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR CHANGE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

Seal

Consultant

Revisions

| No. | Date | Issued for |
|----------|------|---------------|
| 05/10/16 | | SD SUBMISSION |

Key Plan

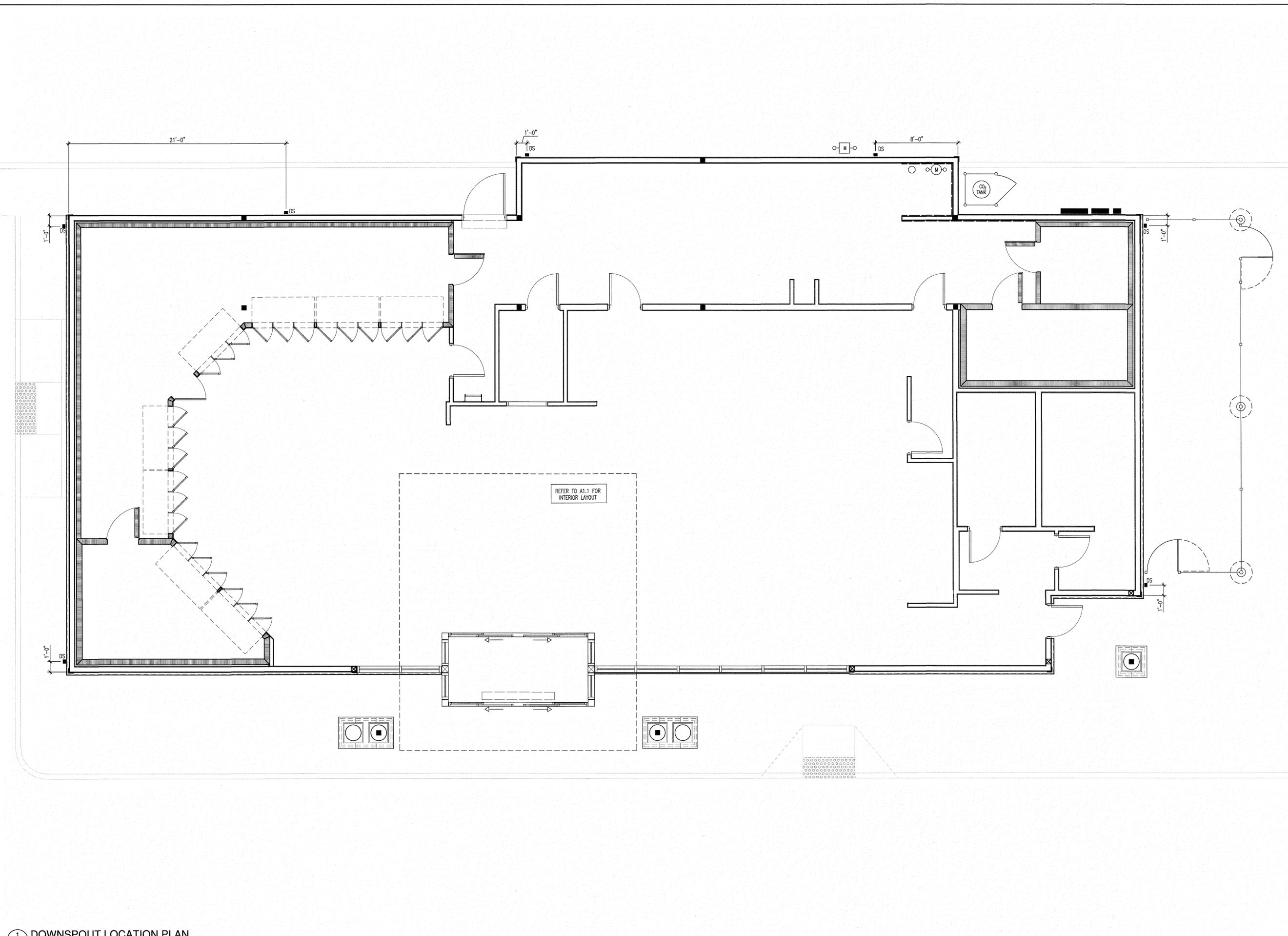


Title
**DOWNSPOUT
LOCATION PLAN**

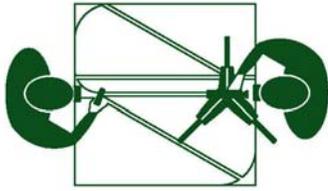
Date: 05/10/16

Drawing No.

DS1.1



1 DOWNSPOUT LOCATION PLAN
DS1.1 SCALE: 1/4" = 1'-0"



September 6, 2016

1340.01

Mr. Jared Woolston, Town Planner
Town of Brunswick
85 Union Street
Brunswick, Maine 04011

Re: Sketch Plan Application

ALL SAINTS PARISH MULTI-USE BUILDING (PHASE 1)

35-39 PLEASANT STREET

Tax Map U16, Lots 47 & 48

Dear Jared:

On behalf of *ALL SAINTS PARISH*, Sitelines, PA is pleased to submit the enclosed Sketch Plan Application and supporting materials for the development of a 14,685 sq. ft. multi-use building on the St. John's Church property located on Pleasant Street. This letter is intended to summarize the project in order to facilitate the review process.

PROPERTY

THE ROMAN CATHOLIC BISHOP OF PORTLAND TRUST owns two parcels of land located on Pleasant Street (Tax Map U16, Lots 47 & 48). The parcel contains 4.68 acres and is currently developed, with a church, elementary school, a former convent building, several storage buildings, as well as paved parking and playground areas. The existing impervious area is 118,610 sq. ft. (2.72 acres) or 58.2% impervious coverage. The property is located in the Inner Pleasant Street (TR1) and the Intown Railroad Corridor (MU2) Zoning districts. As more than 50% of the property is located within the MU2 Zoning district, the dimension standards of the MU2 district are being applied for this project.

SITE DESIGN

The applicant received approval of a Common Development Plan for the parcel in June 2016 that included two phases. Phase 1 will consist of the construction of a new 14,685 sq. ft. one-story multi-use building, which will contain an auditorium/cafeteria/gymnasium, a stage, a music room, kitchen, and adoration chapel, a meeting room, as well as locker rooms and bath rooms. Fundraising is currently underway for this facility. The construction of this facility, concrete walkways and utility driveway will increase the impervious area to approximately 129,500 sq. ft. or 63.5% coverage. The campus will continue to utilize the existing parking and traffic circulation patterns.

Phase 2 will consist of the removal of the old convent building, which is now used as the parish center, the removal of the school building, and construction of an approximate 13,200 s.f. footprint two-story school building. As part of Phase 2, the existing parking lot and drive aisles will be redeveloped to serve the new buildings and enhance traffic flow.

For the purposes of this application, only Phase 1 of the project is being considered. The approved Common Development Plan consisted of approximate building locations, parking lot configurations, pedestrian walkways, and a master landscaping plan. This submission is intended to be in compliance with the Common Development Plan, as well as with all applicable standards of the Town of Brunswick Land Use Ordinance.

SUMMARY

We trust that this information satisfactorily addresses the requirements for Sketch Plan Review and we look forward to meeting with you and the Planning Board at the September 27, 2016 meeting to obtain their feedback.

We appreciate your assistance with this project. Should you have any questions, please call or contact me via kclark@sitelinespa.com.

Very truly yours,

Kevin P. Clark

Kevin P. Clark, PLS
President

Enclosures

cc: Charles Wiercinski, Charleen Foley

**MAJOR DEVELOPMENT REVIEW
SKETCH PLAN APPLICATION**

1. Project Name: All Saints Parish Multi-Use Building

2. Project Applicant
Name: All Saints Parish c/o Charleen Foley
Address: 35-39 Pleasant Street
Brunswick, ME 04011
Phone Number: 207-725-2624

3. Authorized Representative
Name: Sitelines, P.A. Attn: Kevin Clark, PLS
Address: 8 Cumberland Street
Brunswick, ME 04011
Phone Number: 207-725-1200 ext. 14

3. List of Design Consultants. Indicate the registration number, address and phone number
Of any engineer, surveyor, architect, landscape architect or planner used:
 1. Surveyor: Bruce W. Martinson, PLS #2137 Sitelines, P.A., 207-725-1200 ext. 13
 2. Engineer: Curtis Y. Neufeld, PE #9779, Sitelines, P.A., 207-725-1200 ext. 18
 3. _____

5. Physical location of property being affected: 35-39 Pleasant Street

6. Lot Size: 4.68 Acres

7. Zoning District: MU2 & TR1

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application? Refer to Cover Letter

9. Assessor's Tax Map U16 Lot Number 47 & 48 of subject property.

10. Brief description of proposed use: Refer to Cover Letter

11. Describe specific physical improvements to be done: Refer to Cover Letter

Owner Signature: _____
Applicant Signature (if different):  (AGENT)

Required Attachments (by Applicant):

- Sketch Plan Check List
- Sketch Plan Requirements for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Sketch Plan

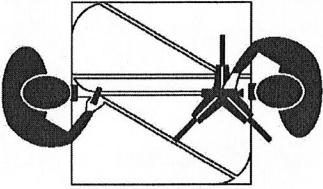
Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

SKETCH PLAN REQUIREMENTS

Key: “O”= omit; “S”=submit; “NA”=not applicable; “W” = waiver; “P”=pending

| Item | O | S | NA | W | P | Comments |
|--|---|---|----|---|---|----------|
| Indicate Variances Granted | | | | | | |
| Indicate Special Permits | | | | | | |
| Indicate Special Exceptions | | | | | | |
| Date, north point, scale | | | | | | |
| Land area, existing use of the property, location of proposed development, locations reserved for future development | | | | | | |
| Tentative rights-of-way locations, lot lines, lot numbers, lot areas | | | | | | |
| Estimated soil boundary locations from the Soil Conservation Service Medium Intensity Soil Survey noting areas of severe and very severe soil limitations | | | | | | |
| Existing natural, topographical, and cultural features including areas of steep slopes, bedrock outcrops, ponds, streams, aquifers, and other water bodies, wetlands, groundwater recharge areas, slumps, flood hazard areas, trees, and other vegetation, excavation sites, stone walls, net site area, historic and archeological sites, structures, or districts, and any other pertinent features. | | | | | | |
| Tentative locations of proposed structures, owners of existing structures, and neighboring land uses | | | | | | |
| Special conservation and recreation areas | | | | | | |
| Location map | | | | | | |
| Zoning information, including the zoning district(s) in which the property is located and the location of any overlay zones depicted on the plan. | | | | | | |
| Any conditions imposed by previous development on the site. | | | | | | |
| Other information Planning Board/Staff Review Committee deems necessary to conduct an informed review. | | | | | | |
| Letter of consent signed by property owner authorizing the development review application in cases where applicant is not the owner of the property. | | | | | | |
| Application Fee | | | | | | |
| For Open Space Developments, sketch plan design review requirements indicated in Section 308.1 | | | | | | |
| Open Space Development: Request for Bonus Density | | | | | | |
| | | | | | | |



February 15, 2016

1340.01

Father Murray, Pastor
All Saints Parish
132 McKeen Street
Brunswick, ME 04011

Re: Designation of Agent Authorization
ALL SAINTS PARISH EVENTS CENTER
35-39 PLEASANT STREET
Tax Map U16, Lots 47 & 48

Dear Father Murray,

As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for All Saints Parish, for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the proposed residential subdivision to be located on Pleasant Street in Brunswick, Maine.

Sincerely,

Kevin P. Clark

Kevin P. Clark, PLS
President

The undersigned hereby gives Sitelines, PA the authority to act as agent for All Saints Parish, for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.

(REV.) *Frank J. Murray*
Authorized

Feb. 23, 2016
Date



[Corporate Name Search](#)

Information Summary

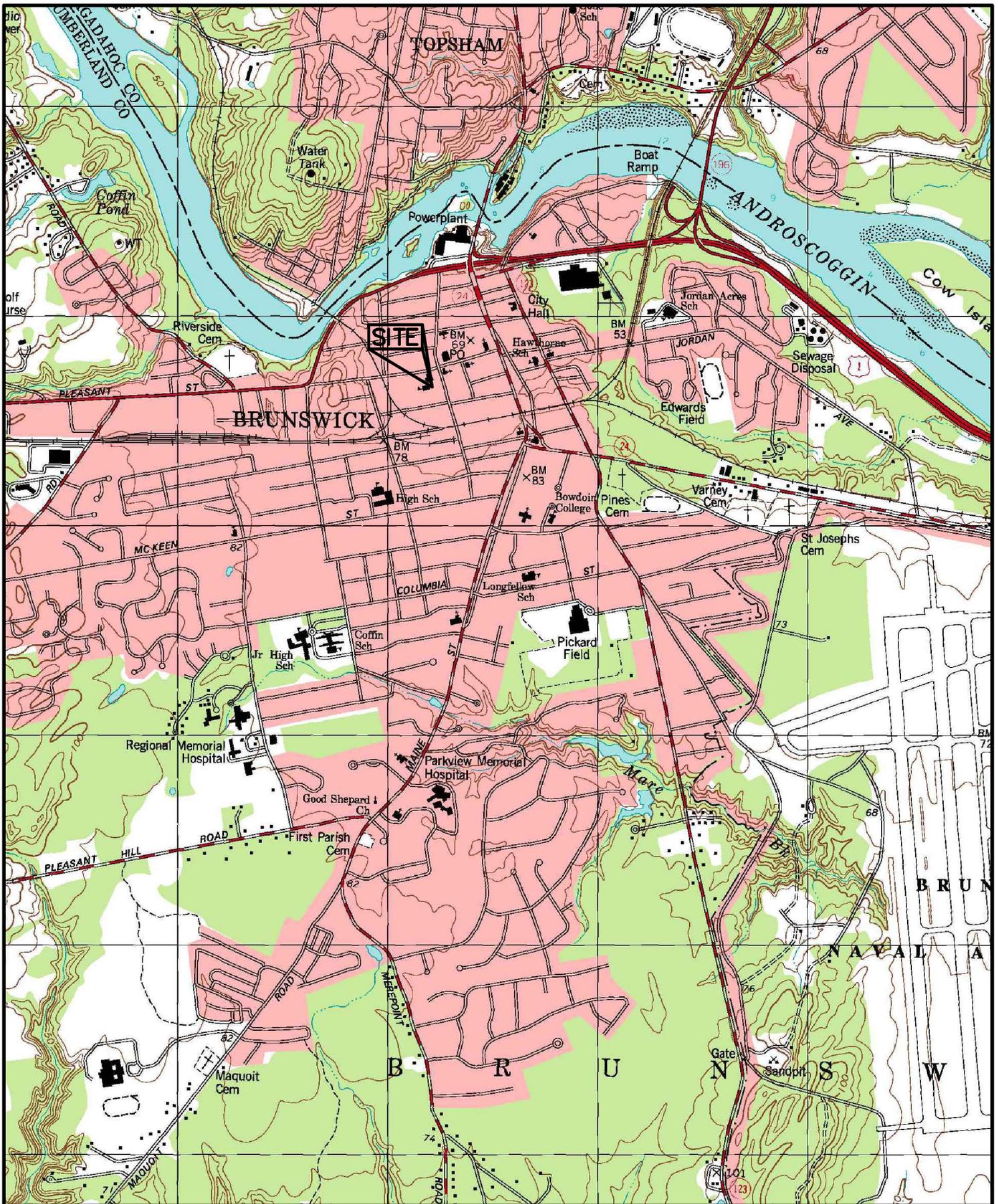
[Subscriber activity report](#)

This record contains information from the CEC database and is accurate as of: Mon Feb 29 2016 14:48:21. Please print or save for your records.

| Legal Name | Charter Number | Filing Type | Status |
|--------------------------------------|-----------------|--|---------------------|
| ROMAN CATHOLIC BISHOP OF PORTLAND | 18870000 N | NONPROFIT CORPORATION (T13, C81) | LEGALLY EXISTING |
| Filing Date | Expiration Date | Jurisdiction | |
| 02/25/1887 | N/A | MAINE | |
| Other Names | | (A=Assumed ; F=Former) | |

NONE

No Clerk/Registered Agent on file -- Contact Name



SHEET: 1 OF 1

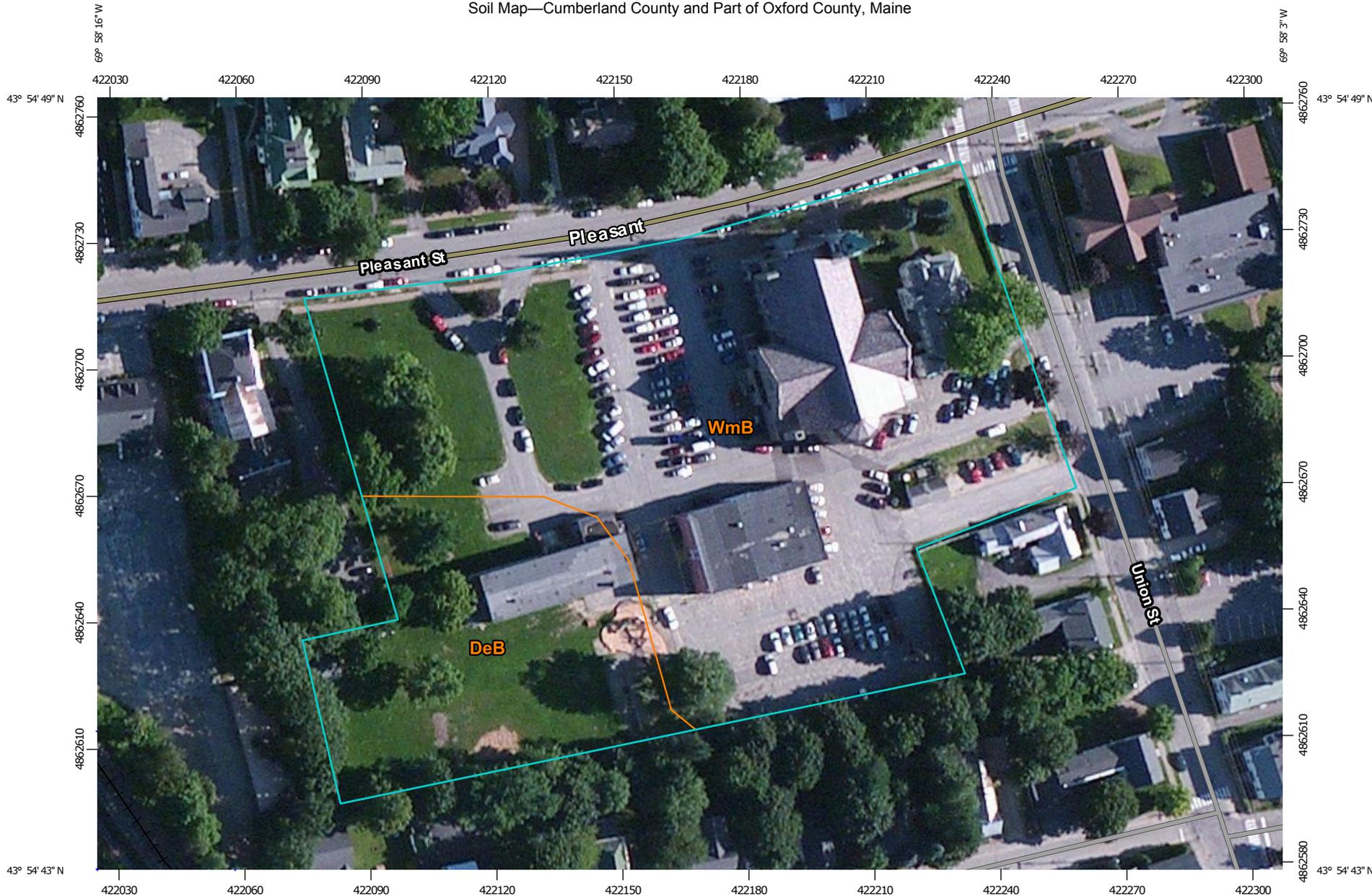
SITELINES
ENGINEERS PLANNERS

8 CUMBERLAND ST. BRUNSWICK, ME 04011
(207) 725-1200 FAX 725-1114

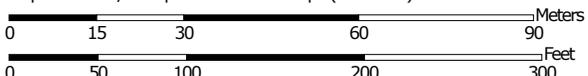
USGS LOCATION MAP
ALL SAINTS PARISH MULTI-USE BUILDING
35-39 PLEASANT STREET
BRUNSWICK, MAINE

| |
|--------------------|
| DATE: 08/29/16 |
| SCALE: 1"=2000' |
| JOB: 1340.01 |
| FILE: 1340.01-USGS |

Soil Map—Cumberland County and Part of Oxford County, Maine



Map Scale: 1:1,290 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
 Survey Area Data: Version 11, Sep 17, 2015

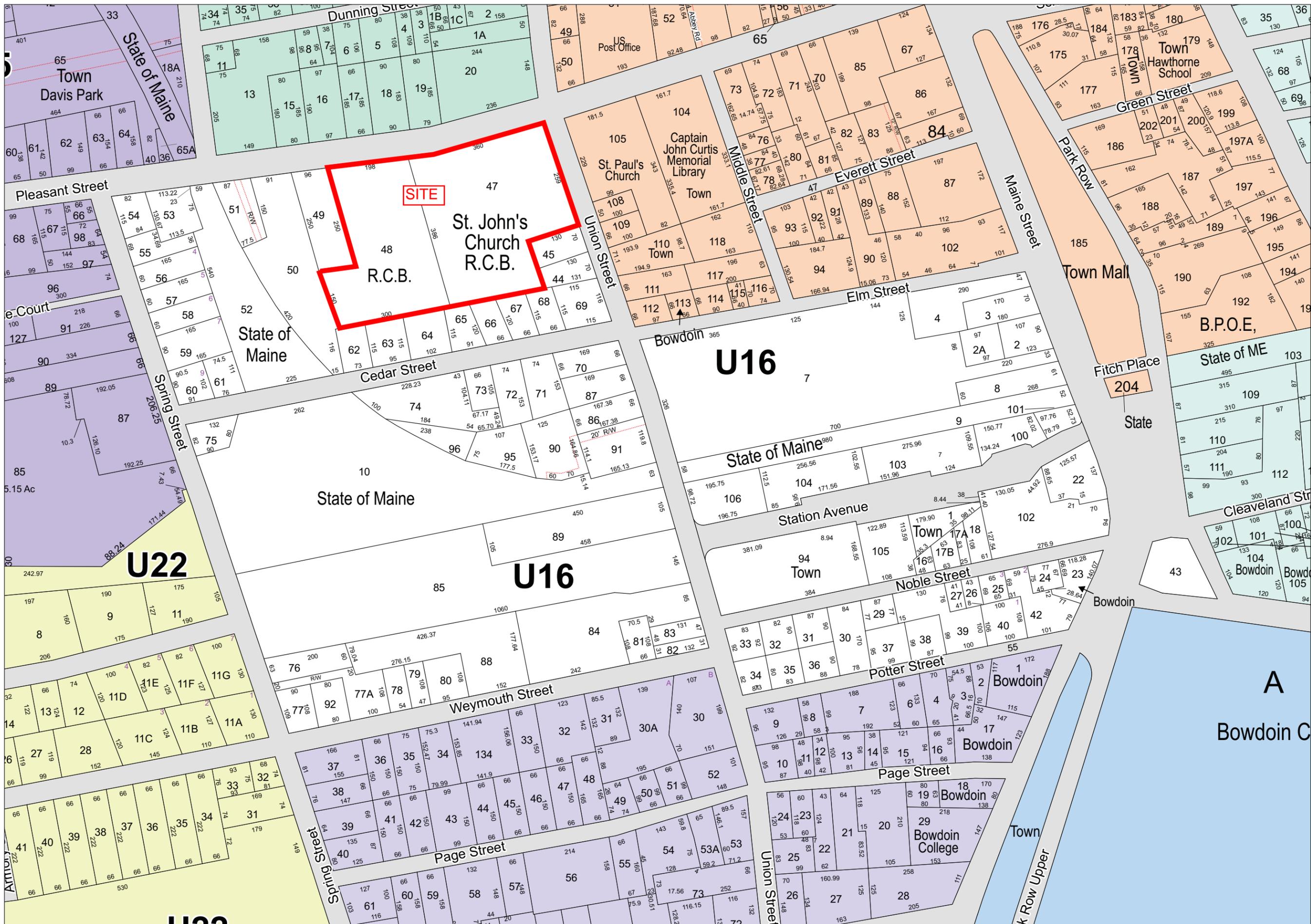
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 17, 2010—Jul 27, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

| Cumberland County and Part of Oxford County, Maine (ME005) | | | |
|--|---|--------------|----------------|
| Map Unit Symbol | Map Unit Name | Acres in AOI | Percent of AOI |
| DeB | Deerfield loamy sand, 3 to 8 percent slopes | 1.1 | 24.6% |
| WmB | Windsor loamy sand, 0 to 8 percent slopes | 3.5 | 75.4% |
| Totals for Area of Interest | | 4.6 | 100.0% |



- Legend**
- Public Road
 - Private Road
 - ROW
 - Water
 - Hydrography Line
 - ROW Property Access
 - Other Road
 - Town Boundary
 - Other Lot Boundary
 - Parcels Lines

Disclaimer:
The information is provided as a reasonably accurate point of reference, but is not guaranteed and is not to be used for conveyances. The Town of Brunswick shall not be held responsible for the accuracy or misuse of this data. Copyright Town of Brunswick.

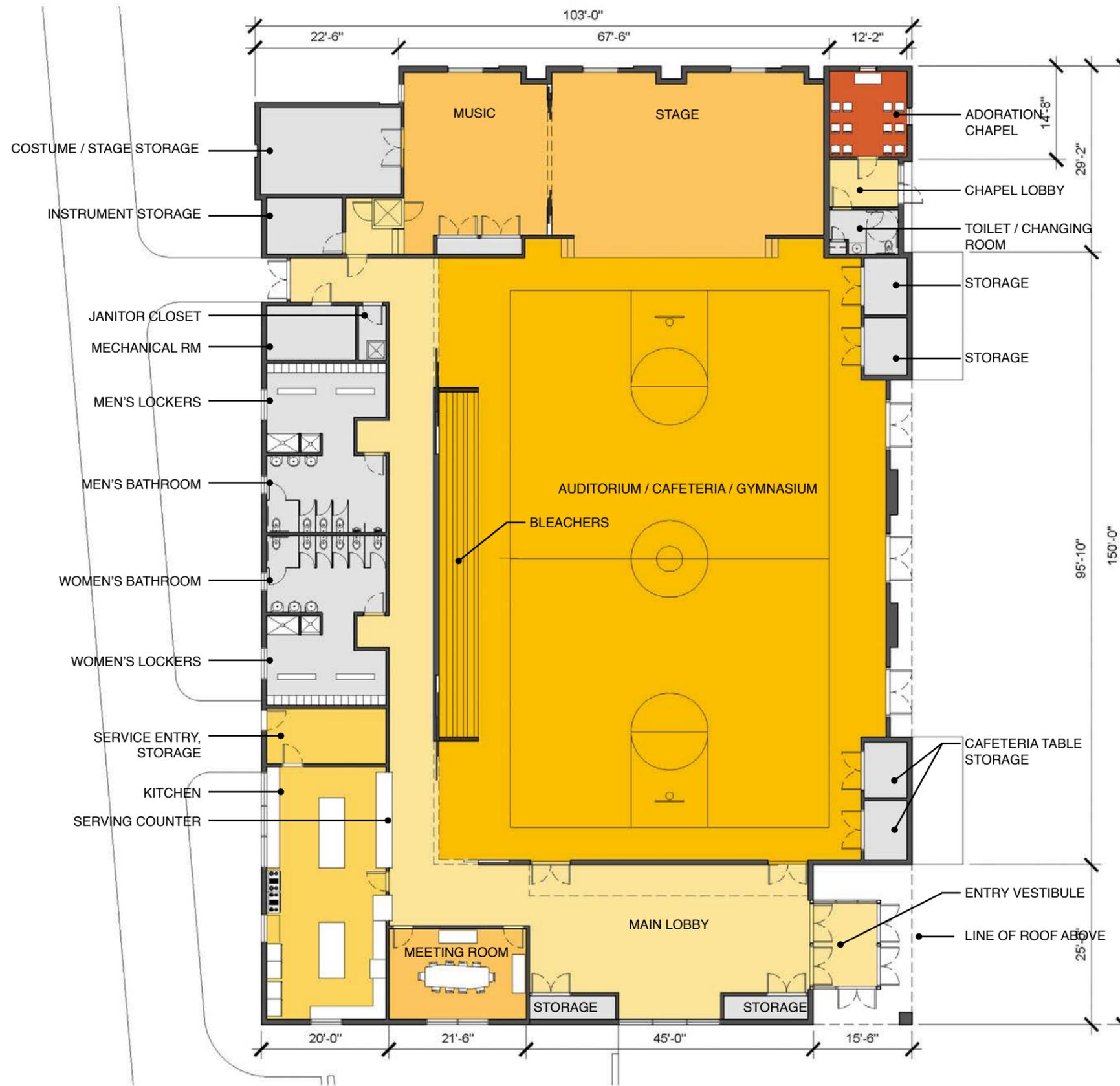


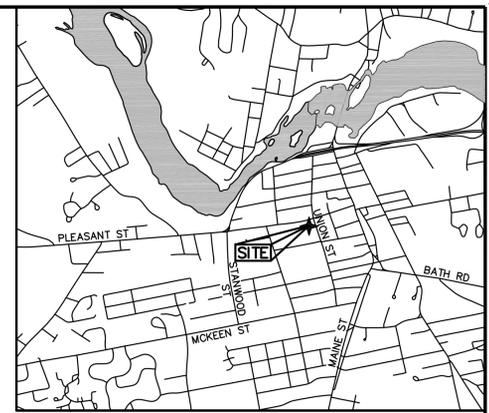
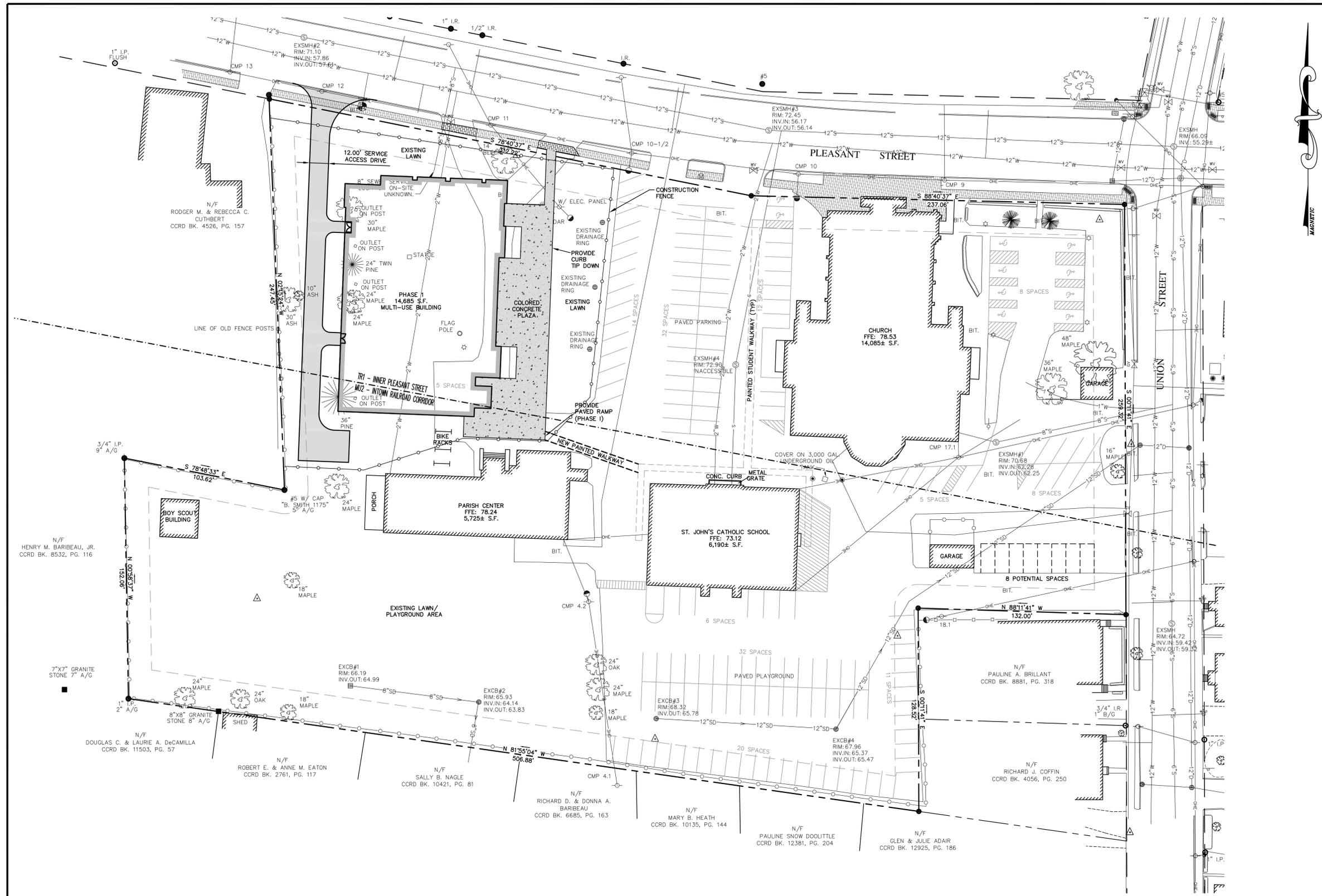
1 inch = 100 feet

Revised To: April 1, 2015
Maps Prepared by:
Town of Brunswick

MAP
U16







LOCATION MAP
NOT TO SCALE

- NOTES:**
- TITLE REFERENCE FOR SURVEYED PARCEL:**
THE SITE IS OWNED BY ROMAN CATHOLIC BISHOP OF PORTLAND MAINE TRUST, ST JOHN'S CHURCH (39 PLEASANT STREET, BRUNSWICK, ME 04011)
BK. 431 PG. 91
BK. 888 PG. 423
BK. 991 PG. 105
BK. 1833 PG. 72
BK. 1841 PG. 55
BK. 2260 PG. 116
BK. 2971 PG. 789
 - PLAN REFERENCE(S):**
A) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY FOR ROMAN CATHOLIC BISHOP OF PORTLAND PLEASANT & UNION STREETS BRUNSWICK, MAINE", DATED MAY 1999, BY ROBERT M. SPIVEY, PLS 1338.
 - AREA INFORMATION:**
PARCEL AREA= 203,902 S.F. OR 4.68 ACRES
AREA IN MU2 ZONE= 107,578 S.F. OR 2.47 ACRES (52.8%)
AREA IN TR1 ZONE= 96,324 S.F. OR 2.21 ACRES (47.2%)
IMPERVIOUS AREA= 118,610 S.F. OR 2.72 ACRES (58.2%)
 - TAX MAP REFERENCE:**
TAX MAP U16, LOTS 47 & 48.
 - ORDINANCE STANDARDS:**
PARCEL IS LOCATED WITHIN THE VILLAGE REVIEW ZONE (VRZ)
ZONE: MU2 (INTOWN RAILROAD CORRIDOR ZONE)
MINIMUM LOT SIZE= 10,000 S.F.
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH= 60'
2.) YARD DEPTHS
A) FRONT = 20'
B) REAR = 20'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 40'
MAXIMUM BUILDING FOOTPRINT = 20,000 S.F.
MAXIMUM IMPERVIOUS 75%
ZONE: TR1 (INNER PLEASANT STREET NEIGHBORHOOD ZONE)
MINIMUM LOT SIZE= 7,500 S.F.
DIMENSION REQUIREMENTS:
1.) MINIMUM LOT WIDTH= 65'
2.) YARD DEPTHS
A) FRONT = 15'
B) REAR = 15'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM BUILDING FOOTPRINT = 7,500 S.F.
MAXIMUM IMPERVIOUS 50%
 - PROPOSED SITE TABULATIONS (PHASE 1):**
EXISTING IMPERVIOUS AREA= 118,610 S.F. OR 2.72 ACRES (58.2%)
PROPOSED IMPERVIOUS AREA= 130,000 S.F. ±
EXISTING PARKING= 153 SPACES (10 HANDICAP)
PROPOSED PARKING= 148 SPACES (10 HANDICAP) + (8 POTENTIAL)

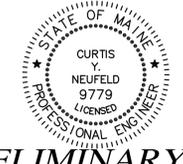
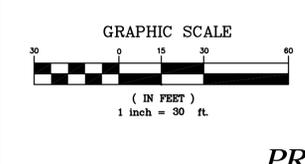
**PHASE 1
SKETCH PLAN**

MULTI-USE BUILDING
ALL SAINTS PARISH

ST. JOHN'S CAMPUS
35-39 PLEASANT STREET - BRUNSWICK, ME

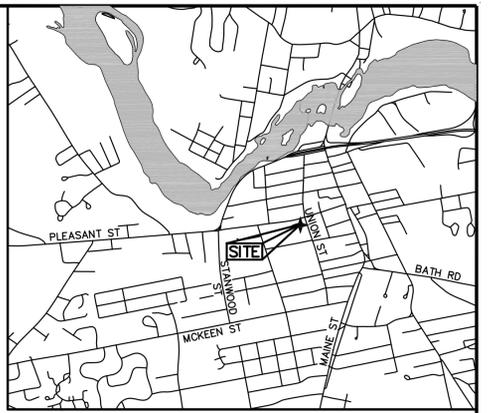
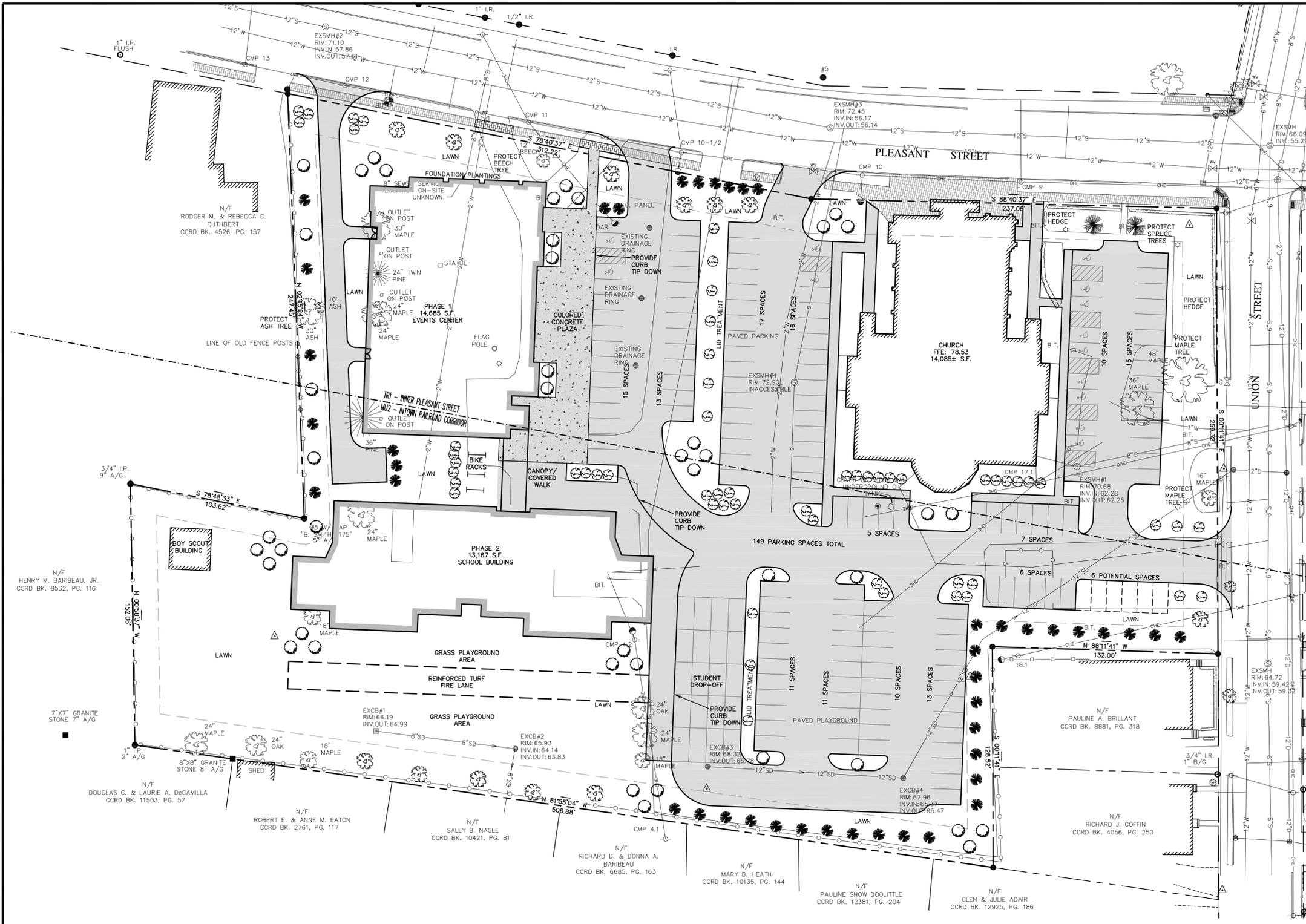
PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



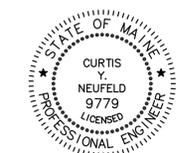
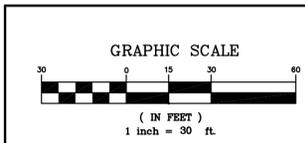
PRELIMINARY

| | | |
|--|--------------------|---------------------------|
| SITELINES, PA ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com | | SHEET: 1 |
| FIELD WK: MC/CH | SCALE: 1"=30' | |
| DRN BY: RPL | JOB #: 1340.01 | |
| CHD BY: KPC | MAP/LOT: U16/47&48 | |
| DATE: 02-09-2016 | FILE: 1340.01-SITE | |



- NOTES:**
- TITLE REFERENCE FOR SURVEYED PARCEL:**
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2.) YARD DEPTHS
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MINIMUM LOT SIZE: 7,500 S.F.
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1.) MINIMUM LOT WIDTH: 65'
2.) YARD DEPTHS
A) FRONT = 15'
B) REAR = 15'
C) SIDE = 15'
3.) MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM BUILDING FOOTPRINT = 7,500 S.F.
MAXIMUM IMPERVIOUS 50%
6. PROPOSED SITE TABULATIONS:
EXISTING CHURCH - 13,978 S.F.
EVENTS CENTER - 14,685 S.F.
NEW SCHOOL - 13,167 S.F.
PARKING - 174 SPACES (14 HANDICAP) + 6 POTENTIAL SPACES
TOTAL IMPERVIOUS AREA - 124,000 S.F.±

| SYMBOL | SYMBOL |
|--------|--|
| | ASH VARIETIES; HONEY LOCUST VARIETIES; LINDEN VARIETIES; MAPLE VARIETIES; GINKGO; CATALPA; TURKISH FILBERT; AMERICAN YELLOWWOOD. |
| | BIRCH VARIETIES; CHERRY VARIETIES; CRAB APPLE VARIETIES; KOUSA DOGWOOD; JAPANESE TREE LILAC; WASHINGTON HAWTHORN; MAGNOLIA VARIETIES; AMELANCHER VARIETIES; FLOWERING PEAR VARIETIES; AMERICAN HOORNBEEAM. |
| | SPRUCE VARIETIES; PINE VARIETIES; CANADIAN HEMLOCK AND FIR VARIETIES. |
| | AZALEA VARIETIES; BLUEBERRY; DOGWOOD VARIETIES; EUNYMUS VARIETIES; FORSYTHIA; LILAC VARIETIES; VIBURNUM VARIETIES; ARBORVITAE; ANDROMEDA VARIETIES; JAPANESE YEW; JUNIPER VARIETIES; RHODODENDRON VARIETIES; ORNAMENTAL GRASSES; DAYLILY VARIETIES; SEDUM VARIETIES. |



PRELIMINARY

**LANDSCAPE CONCEPT PLAN
COMMON DEVELOPMENT PLAN**

EVENTS CENTER & SCHOOL
ALL SAINTS PARISH

ST. JOHN'S CAMPUS
35-39 PLEASANT STREET - BRUNSWICK, ME

SITELINES, PA
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

| | | |
|------------------|--------------------|----------|
| FIELD WK: MC/CH | SCALE: 1"=30' | 3 |
| DRN BY: RPL | JOB #: 1340.01 | |
| CH'D BY: KPC | MAP/LOT: U16/47&48 | |
| DATE: 02-09-2016 | FILE: 1340.01-SITE | |

APPROVED FINDINGS OF FACT
Major Development Review
Final Common Development Plan
Meeting Date: July 26, 2016

Project Name: Common Development Plan at St. Johns All Saints Parish
Address: NA
Case Number: 16-031
Tax Map: Assessor's Map U16, Lots 47 and 48
Zoning: MU2 Land Use District
Applicant: All Saints Parish
35-39 Pleasant Street
Brunswick, ME 0401

Authorized

Representative: Kevin Clark, PLS
President, Sitelines, PA
8 Cumberland Street
Brunswick, ME 04011

Staff reviewed the application and has made a determination of completeness.

PROJECT SUMMARY

Staff review is based on the following application materials:

1. Common Development Plan application packet as revised on July 22, 2016;
2. Sheet 1 prepared by Sitelines, PA entitled "Phase 1 Sketch Plan" dated February 9, 2016;
3. Sheet 2 prepared by Sitelines, PA entitled "Master Plan Common Development Plan" dated February 9, 2016;
4. Sheet 3 prepared by Sitelines, PA entitled "Landscape Common Development Plan" dated February 9, 2016;
5. Twelve (12) site renderings developed by Scott Simons Architects and dated July 2016 entitled:
 - i. Birdseye View Phase 1
 - ii. Birdseye View with New School
 - iii. View from the Northeast
 - iv. View Showing New School
 - v. View from the Northwest
 - vi. View from the Southwest
 - vii. View from the Southeast
 - viii. View Down Pleasant at West Neighbor
 - ix. View from Sidewalk Corner as Designed

- x. View from Across the street as Designed
- xi. View from Down Pleasant Street as Designed
- xii. View from Sidewalk as Designed

In accordance with §413 of the Zoning Ordinance, the applicant submitted a Common Development Plan (CDP) application for two (2) lots with frontage on Pleasant Street at All Saints Parish. A project narrative, which provides a description of the proposed development, the architecture, conceptual landscaping, and pedestrian and bicycle facilities is included with this packet.

The Staff Review Committee (SRC) reviewed the proposed Common Development Plan on July 20, 2016. The Deputy Fire Chief requested that the proposed lawn area behind the school building proposed at Phase II be reinforced turf that would allow emergency vehicle access. The Planner requested clarification for the use of the proposed ‘colored concrete plaza’; and to consider removing a portion of the proposed plaza to shift the proposed Phase 1 events center 25 feet to the east to preserve several mature trees. The applicant indicated that the proposed plaza is an important design feature created by the architect and could not be removed. The Director of Planning and Development indicated that the proposal is required to be reviewed by the Village Review Board (VRB), and that the proposed Phase 1 events center should be moved back from Pleasant Street as much as practical. The Director of Planning and Development further noted that the building exterior would be reviewed during VRB, with attention to a portion of the west side of the events center that would be comprised of two (2) primary design materials. The Town Engineer noted inconsistencies in the renderings provided by the architect, and the site plans. The Town Engineer further advised that the Phase 1 events center must be comprehensively reviewed for traffic, and access (vehicles, bicycles and pedestrians) at the development review submission.

The Bicycle and Pedestrian Advisory Committee (BBPAC) reviewed the proposed development plan on July 21, 2016 and found no substantive concerns with the proposal. The Chair of the BBPAC noted that the Union Street sidewalk at the site of the proposed development is in poor condition, and requested consideration for restoring the sidewalk as part of the development. The BBPAC requested further review of the individual phases of development upon the submission of Sketch Plan and/or Final Plan review.

The following waivers have been requested by the applicant:

1. Sec. 413.3 (D) – Waiver requested to showing locations of all signs. The applicant requests that specific sign locations be addressed at the time of Final Site Plan review. A conceptual sketch of the style of signage has been included for review.
2. Sec. 413.3 (E.2 & 4) – Waiver requested to showing photometric site plan of lighting treatment. The applicant indicates that the existing site lighting will remain until the construction of Phase II and the locations of fixtures can be more appropriately addressed during Phase II Site Plan review.

3. Sec. 413.3 (F) – Waiver requested for a master landscaping plan with complete plant list and sizes. The application includes a Landscape Concept Plan that demonstrates the theme of accenting the buildings, screening parking areas, as well as providing shade, color and interest in parking areas through the use of ornamental trees and shrubs.

Review Standards from Section 413 of the Town of Brunswick Zoning Ordinance

413.1 Criteria for Designation as a Common Development Plan

In reviewing a proposal for a project to be designated as a common development plan, the Planning Board shall find that all of the following criteria will be met:

- A. All buildings and structures shall be part of, and consistent with, a common pattern of development. In the case of a single building on an individual lot, the proposed building shall be consistent with the pattern of development on surrounding lots. The relationship of the buildings to public and private streets and to parking areas shall result in a unified pattern.

Proposed buildings will be oriented to existing roads, with the closest building proposed for the Phase I Events Center at setbacks not less than 20' from Pleasant Street, and with parking located to the side and/or rear of buildings. The staff advises that the proposed development must be comprehensively reviewed by the Town Engineer for traffic, and access (vehicles, bicycles and pedestrians) as part of the Final Plan review.

The Board finds that the provisions of Section 413.1.A are satisfied provided the proposed development is comprehensively reviewed for traffic, and access (vehicles, bicycles and pedestrians) during the Final Plan review.

- B. The development shall incorporate private or public amenities that enhance the development's pedestrian friendly environment.

*The site will provide pedestrian connections between buildings, parking areas, and the proposed plaza. Each site indicates a cross walk or street paint that directs connection to existing and new raised walkways. Bicycle racks will be provided between the proposed events center (Phase I) and the proposed school building (Phase II). The Planning Board determined that the possible requirement for sidewalk repairs along Union Street as requested by the BBPAC is not part of the Common Development Plan review. **The Board finds that the provisions of Section 413.1.B are satisfied***

- C. There shall be common vehicular and pedestrian circulation systems that create a pedestrian friendly environment for the entire development and that integrate the individual buildings into an overall pattern.

Each development area provides a cross walk or direct connection to existing and new walkways. Existing walkway striping within existing parking areas are proposed to be enhanced with additional striping for pedestrians, and curb tip downs for ease of access to raised walkways. Several new paths and walkways are proposed as part of the Phase II development including a new covered canopy between the Phase I Events

*Center and the proposed School Building. **The Board finds that the provisions of Section 413.1.C are satisfied.***

- D. There shall be an overall design theme or treatment of site improvements including lighting, signs, paving, site furniture, and landscaping.

Landscaping

As depicted on the site plan, the applicant proposes a conceptual landscape design with new trees, and shrub plantings throughout the site in lieu of a comprehensive landscape plan. As noted above, the applicant requests a waiver from the landscape plan requirement.

Lighting

The application indicates that site lighting will be via pole mounted cut-off luminaires with LED fixtures to match poles and fixtures utilized in the development of the new parking area at the northeast corner of the site. The use of bronze poles and fixtures will be consistent throughout the development. Fixture heights would be limited to 25 feet and would be cut-off style. The application further states that selections must be consistent with the cut sheets provided by the applicant and photometric levels must meet IES and Ordinance standards.

Signs

Ground lighted or down washed post signs of a common design and material are proposed to be provided along the Pleasant Street frontage to identify the Church, the School and the Events Center. The applicant provided Conceptual Sign Sketches to demonstrate the proposed lighting design, and materials. The application indicates the lighting design is being completed by a committee and the concept renderings that are provided are representative of proposed designs that may be modified as the project develops.

The Board finds that the provisions of Section 413.1.D are satisfied with the provision that the size and materials for business identification signs; lighting; and landscaping shall be determined at the time of development review.

- E. If the project is located in the CC District, the development will conform to the Cook's Corner Design Standards relating to common development plans. ***NA - the Board finds that the provisions of Section 413.1.E are satisfied.***

APPROVED MOTIONS
COMMON DEVELOPMENT PLAN AT ST JOHNS PARISH
CASE NUMBER: 16-031

Motion 1: That the combined Sketch/Final Major Development Review Common Development Plan application is deemed complete.

Motion 2: That the Board approves the following waivers as conditioned:

1. Sec. 413.3 (D) – showing locations of all signs is waived provided specific sign locations shall be addressed at the time of Final Site Plan review.
2. Sec. 413.3 (E.2 & 4) – showing photometric site plan of lighting treatment is waived provided existing site lighting is maintained until the construction of Phase II is approved and the locations of fixtures shall be addressed during Phase II Site Plan review.
3. Sec. 413.3 (F) – a master landscaping plan with complete plant list and sizes is waived provided the final plan includes plans that acceptable demonstrate the theme of accenting the buildings, screening parking areas, as well as providing shade, color and interest in parking areas through the use of ornamental trees and shrubs.

Motion 3: That the Major Development Review Final Common Development Plan is approved with the following conditions:

1. That the Board’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, its representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That the dimensional and density standards as approved shall be placed on the common development plan.
3. That the size and materials for business identification signs shall be determined at the time of Final Site Plan review.
4. That existing site lighting shall be maintained until the construction of Phase II is approved and the locations of fixtures shall be addressed during Phase II Site Plan review.
5. That a master landscaping plan with complete plant list and sizes is provided that demonstrates the theme of accenting the buildings, screening parking areas, as well as providing shade, color and interest

in parking areas through the use of native trees and shrubs at the time of Final Site Plan review.

6. That the proposed development is comprehensively reviewed for traffic and access of vehicles, bicycles, and pedestrians at the time of Final Site Plan review.

** Please note that Development Review Site Plan approvals by the Planning Board shall expire at the end of two years after the date of final approval unless all construction has been completed by that date (Section 407.4.B of the Brunswick Zoning Ordinance).*