



Town of Brunswick, Maine
STAFF REVIEW COMMITTEE

- AGENDA -
BRUNSWICK TOWN HALL
85 UNION STREET
ROOM 206
WEDNESDAY, DECEMBER 21, 2016, 10:00 A.M.

1. **Case #16-052, Little School House on Maine:** The Committee will review and take action on a **Final Plan Minor Development Review** application for the Little School House on Maine submitted by authorized representative, John Libby Construction to construct a 1,440 square foot building addition to an existing 3,218 square foot building, and add three (3) new parking spaces to an existing parking lot. The building that is the subject of the proposal will continue to be used for Educational Use as previously approved by the Planning Board under Special Permit standards. The proposed development is located at 368 Maine Street within the **R3 (Maquoit Road Neighborhood) Zoning District (Map 22, Lot 188).***
2. **Adjourn**

****Agenda item rescheduled from December 7, 2016 to December 21, 2016***

This agenda is mailed to owners of property within 200 feet of proposed development sites. In cases where Committee action is pending this agenda serves as notice of same. In cases where the Committee's role is to advise the Planning Board, this agenda is mailed as a courtesy along with notice of the Planning Board meeting. The Staff Review Committee meeting is open to the public. All are invited to attend and participate. For further information call Anna Breinich at the Brunswick Department of Planning and Development (725-6660).

**MINOR DEVELOPMENT REVIEW
APPLICATION**

1. Project Name: The Little Schoolhouse on Maine Addition

2. Project Applicant

Name: Shawn + Rebekah Baumgartner
Address: 12 Simeon Drive / PO BOX 173
Bailey Island ME 04003
Phone Number: 751-2820 / 314-6070 / 833-3136

3. Authorized Representative

Name: John Libby
Address: 22 Cribstone New Road
Harpwell ME 04079
Phone Number: 751-7790

4. List of Design Consultants. Indicate the registration number, address and phone number of any engineer, surveyor, architect, landscape architect or planner used:

1. Diane Bitter-oden
2. _____
3. _____

5. Physical location of property being affected: 368 Maine Street, Brunswick Maine

6. Lot Size: 1.569

7. Zoning District: R3

8. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application?
Applicant owns the property

9. Assessor's Tax Map 22 Lot Number 188 of subject property.

10. Brief description of proposed use: Child care center open M-F
from 7am-5:30pm. Serves ages 6 weeks-12 years

11. Describe specific physical improvements to be done: A 36' x 40' addition to
serve 27 more children. This will include a kitchen, 2
classrooms, a bathroom and 2 storage areas, as well as an additional 8' x 16' storage area

Owner Signature: [Signature] / [Signature]
Applicant Signature (if different): _____

Required Attachments (by Applicant):

- Final Plan Check List
- Final Plan Check List Addendum for Open Space Developments (if applicable)
- Request for Waivers (if applicable)
- Required Copies of Final Plan

Required Attachment (by Planning and Development Department):

- Listing of all owners of property within 200-foot radius of property under review.

FINAL PLAN REQUIREMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver; "P" = pending

Item	O	S	NA	W	P	Comments
Scale, date, north point, area, number of lots (if subdivision)		S				
Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed.		S				
Certification by a professional land surveyor that the land has been surveyed and the boundaries established in accordance with the State of Maine Board of Licensure for Professional Surveyors standards for Category 1 (Standard Boundary Survey), conditions 1, 2, or 3.		S				
Existing zoning district and overlay designation.		S				
Names of engineer and surveyor; and professional registration numbers of those who prepared the plan.		S				
Names of current owner(s) of subject parcel and abutting parcels.		S				
Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of 1" equals 50' and vertical scale of 1 inch equals 5 feet, with all elevations referred to in U.S.G.S. datum.		S				
A general road plan noting circulation, direction, traffic control devices, street lighting and type of lighting proposed.		S				
Existing and proposed easements associated with the development.		S				
Kind, location, profile and cross-section of all proposed drainage facilities, both within the development and outside of it, and a storm-water management plan which includes the submission requirements listed in the storm-water management checklist available in the Planning Department.		S				
Location of features, natural and artificial, affecting the development, such as water bodies, wetlands, streams, vegetation, rail-roads, ditches and buildings.		S				

An erosion and sedimentation control checklist prepared by the Cumberland County Soil and Water Conservation District.		S			
A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.			N-P		
A statement from the Brunswick-Topsham Water District of its review and comments on the proposed use if the project involves development within the Aquifer Protection Zone.			N-P		
A Statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.			N-P		
A statement from the Superintendent of the Brunswick Sewer District of the conditions under which the Sewer District will provide sewerage disposal service and approval of the sanitary sewers proposed within the development.			N-P		
Where a septic system is to be used, evidence of soil suitability.			N-P		
All applicable materials necessary for the reviewing entity to review the proposal in accordance with the Criteria of Section 411.			N-P		
A plan of all buildings with new construction or expansion of an existing facility, including type, size, and footprint, floor layout, setback, elevation of first floor slab, storage, and loading areas.		S			
An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, and signage.		S			
A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems.			N-P		
The size and proposed location of water supply and sewage disposal systems and provision for future expansion of those systems.			N-P		
A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, location and purpose and type of vegetation.		S			

Location of existing and proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of any private wells.		S			
Existing and proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability.			N/A		Public Sewer
Topography with counter intervals of not more than 2 feet.		S			
A Class A (high intensity) Soil Survey prepared in accordance with the standards of the Maine Association of Professional Soil Scientists.				N/A	Class B
Location of all existing trees over 10 inches in diameter, locations of tree stands, and a plan showing all trees to be removed as a result of the development proposal.				N/A	
Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site.			S		
Existing locations and proposed locations, widths and profiles of sidewalks.			S		
Location map.			S		
Approximate locations and dimensions of proposed parking areas.			S		
Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation.				N/A	
Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization.			S		
Reference to special conditions stipulated by the Planning Board, with conditions either set forth in full or on the plan or identified as specific documents filed with the Board.			N/A	S	
A wetlands map drawn by a specialist delineating wetland boundaries in accordance with the methods prescribed by the US Army Corps of Engineers.			S		
Dedicated public open spaces, areas protected by conservation easements, and existing and proposed open spaces or recreation areas.			N/A	S	

FINAL PLAN/SUPPORTING DOCUMENTS

Key: "O" = omit; "S"=submit; "NA"=not applicable; "W" = waiver; "P" = pending

Item	O	S	NA	W	P	Comments
Documentation of Ownership or contract.		S				
Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which conservation land will be owned, maintained, and protected.			NA			
Draft performance guarantee or conditional agreement.			NA			
Disclosure of any required permits from the Department of Environmental Protection, Marine Resources, US Army Corps of Engineers, Department of Inland Fisheries and Wildlife, or other agencies, as applicable; or, if a permit has already been granted, a copy of that permit.			NA			
Any additional studies required by the Planning Board which are deemed necessary in accordance with this Ordinance.			NA			
Storm water management program for the proposed project prepared by a professional engineer.			NA			
A storm water management checklist prepared by the Cumberland County Soil and Water Conservation District, made available at the Brunswick Department of Planning and Development.			NA			

The Little Schoolhouse on Maine

368 Maine Street
Brunswick, Maine 04011

December 5, 2016

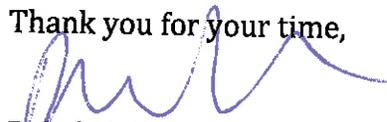
Dear Town of Brunswick Planning Board:

My husband, Shawn Baumgartner, and myself, Rebekah Baumgartner, owners of Baumgartner Real Estate Holdings LLC. authorize the permit that is being submitted to the town for an expansion on our current daycare business, The Little Schoolhouse on Maine, located at 368 Maine Street.

We also authorize, John Libby, of John Libby Construction to be the authorized representative for our project.

If you have any further questions please do not hesitate to contact Shawn Baumgartner (207-751-2820) or Rebekah Baumgartner (207-319-6570).

Thank you for your time,



Rebekah Baumgartner

Certificate
Number
1

Number of
Units
50

Established under the laws of the State of Maine

BAUMGARTNER REAL ESTATE HOLDING, LLC

Authorized to issue Units of Membership Interest

This Certifies that Shawn I. Baumgartner is the owner of Fifty Units of the above Limited Liability Company transferable only on the books of the Limited Liability Company by the holder hereof in person or by duly authorized Attorney upon surrender of this Certificate properly endorsed. Transfer of these Units is subject to restrictions in the Operating Agreement/Company Agreement/Regulations for this Limited Liability Company. The Company will furnish without charge to each Unit holder who so requests, the powers, designations, preferences and relative participation rights of Unit holders and the qualifications, limitations or restrictions of such rights.

In Witness Whereof, the said Limited Liability Company has caused this Certificate to be signed by its duly authorized Member(s), Manager(s).

Dated July 24, 2014



Shawn I. Baumgartner, Member



Stoddard L. Smith, Registered Agent

Certificate
Number
2

Number of
Units
50

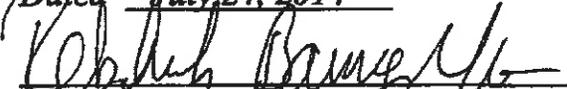
Established under the laws of the State of Maine

BAUMGARTNER REAL ESTATE HOLDING, LLC

Authorized to issue Units of Membership Interest

This Certifies that Rebekah J. Baumgartner is the owner of Fifty Units of the above Limited Liability Company transferable only on the books of the Limited Liability Company by the holder hereof in person or by duly authorized Attorney upon surrender of this Certificate properly endorsed. Transfer of these Units is subject to restrictions in the Operating Agreement/Company Agreement/Regulations for this Limited Liability Company. The Company will furnish without charge to each Unit holder who so requests, the powers, designations, preferences and relative participation rights of Unit holders and the qualifications, limitations or restrictions of such rights.

In Witness Whereof, the said Limited Liability Company has caused this Certificate to be signed by its duly authorized Member(s), Manager(s).

Dated July, 24, 2014

Rebekah J. Baumgartner, Member


Stoddard L. Smith, Registered Agent

Exhibit A

That tract or parcel of land located near but not on the northwesterly side of Maine Street, approximately 800 feet southwesterly of the intersection with Pleasant Hill Road, in the Town of Brunswick, County of Cumberland and State of Maine, more particularly described as follows:

Beginning at a 5/8 inch rebar set at the northwest corner of Parcel A as shown on a plan (the "Plan") entitled Stephen Colucci & William L. Whittemore – Boundary Survey and Division of Property, dated May 20, 2010, by Associated Design Partners, Inc., which Plan is recorded in the Cumberland County Registry of Deeds in Plan Book 211, Page 135, said point being located N 49° 41' 50" W a distance of 112.53 feet from a 1 inch iron pipe found marking the southeast corner of land now or formerly of Clifton R. Lloyd (Book 8461, Page 85);

Thence N 49° 41' 50" W along said land now or formerly of Lloyd, a distance of 288.03 feet to a 1-1/2 inch iron pipe found marking the southwest corner of said Lloyd, said point be located on or near the southeasterly line of land now or formerly of Theodore W. Brown (Book 3192, Page 726);

Thence S 21° 38' 51" W along said land now or formerly of Brown, a distance of 353.26 feet to a 3/4 inch iron axle found on or near the northerly property line of land now or formerly of Stephen A. Catlin (Book 11102, Page 168);

Thence S 86° 54' 53"E along land now or formerly of Catlin and along land now or formerly of Hydro Systems, Inc. (Book 3895, Page 235), a distance of 282.02 feet to a 5/8 inch rebar set at the southwesterly corner of said Parcel A;

Thence N 02° 17' 32" W, along said Parcel A, a distance of 67.78 feet to a 5/8 rebar set;

Thence N 38° 27' 28" E, along said Parcel A, a distance of 114.28 feet back to the point of beginning.

Meaning and intending to convey Parcel B as shown on the Plan. Parcel B contains 68,329 square feet of land. All bearings are oriented to Magnetic North 1964.

Reference is made to a deed from John K. Libby and Sara E. Libby to JL Holdings, LLC dated August 17, 2012 and recorded in the Cumberland County Registry of Deeds in Book 29862, Page 344.

Also hereby conveying an easement across and under a certain lot or parcel of land situated in the Town of Brunswick, County of Cumberland and State of Maine, more

particularly described as follows:

Commencing at a point on the assumed northwesterly sideline of Maine Street, also known as Mere Point Road, said point being three (3) feet northerly of the northeasterly corner of land now or formerly of Hydro Systems, Inc. as described in a deed recorded in the Cumberland County Registry of Deeds in Book 3895, Page 235;

Thence westerly in a straight line to a point on the easterly line of land formerly of John K. Libby and Sara E. Libby as described in a deed recorded in the Cumberland County Registry of Deeds in Book 28721, Page 153, now of JL Holdings, LLC, said point being North 02° 17' 32" West and ten (10) feet from an iron pin marking the northwesterly corner of "30' Wide Access Easement to Parcel B" as shown on a plan titled "Steven Colucci & William L. Whittemore-Boundary Survey and Division of Property" dated May 20, 2006 by Associated Design Partners, Inc. and recorded in the Cumberland County Registry of Deeds in Plan Book 211, Page 135;

Thence South 02° 17' 32" East ten (10) feet to an iron pin at the northwesterly corner of said "30' Wide Access Easement";

Thence South 02° 17' 32" East thirty and thirteen hundredths (30.13) feet to the line of land of said Hydro Systems, Inc.;

Thence South 86° 54' 53" East along the northerly line of land of said Hydro Systems, Inc. a distance of eighty one and twenty three hundreds (81.23) feet to the assumed northwesterly sideline of Maine Street, also known as Mere Point Road;

Thence northerly along said road three (3) feet to the point of beginning.

This easement is appurtenant to the premises depicted as "Parcel B" as shown on a plan titled "Steven Colucci & William L. Whittemore-Boundary Survey and Division of Property" dated May 20, 2006 by Associated Design Partners, Inc. and recorded in the Cumberland County Registry of Deeds in Plan Book 211, Page 135

This easement is subject to the conditions set forth in a deed from Alan J. Buonaiuto and Brenda M. Buonaiuto to JL Holdings, LLC dated October 15, 2012 and recorded in the Cumberland County Registry of Deeds in Book 30162, Page 1.

Also hereby conveying an easement for all purposes for which easements are used in the State of Maine, including ingress and egress on foot or vehicle, the installation, maintenance, repair and replacement of above or underground utility services (including power, gas, water and data transmission), the right to erect signage, and the right to improve said easement, over, across and under a certain lot or parcel of land situated in the Town of Brunswick, County of Cumberland and State of Maine, more particularly

described as follows:

Commencing at a point on the assumed northwesterly sideline of Maine Street, also known as Mere Point Road, said point being the northeasterly corner of land now or formerly of Hydro Systems, Inc. as described in a deed recorded in the Cumberland County Registry of Deeds in Book 3895, Page 235;

Thence North 86 degrees, 54 minutes, 53 seconds West (a portion of the foregoing call was formerly erroneously referred to as "Thence South 86 degrees, 54 minutes, 53 seconds East" by scrivener's error) along the northerly line of land of said Hydro Systems, Inc. a distance of eighty one and twenty three hundreds (81.23) feet to an iron rebar marking the corner of land now or formerly of John K. Libby and Sara E. Libby as described in a deed recorded in the Cumberland County Registry of Deeds in Book 28721, Page 153, being "Parcel B" as shown on a plan titled "Steven Colucci & William L. Whittemore-Boundary Survey and Division of Property" dated May 20, 2006 by Associated Design Partners, Inc. and recorded in the Cumberland County Registry of Deeds in Plan Book 211, Page 135;

Thence southeasterly in a straight line a distance of sixty seven and five-tenths (67.5) feet to a point on the assumed northwesterly sideline of Maine Street; said point being thirty four (34) feet along said Maine Street and southerly of the point of beginning;

Thence northeasterly along the assumed northwesterly sideline of Maine Street to the point of beginning (the foregoing call was formerly omitted by scrivener's error from Easement Deed from Hydro Systems, Inc. to John K. Libby and Sara E. Libby dated October 17, 2011 and recorded in the Cumberland County Registry of Deeds in Book 29048, Page 72).

Reference is made to a deed from Hydro Systems, Inc. to John K. Libby and Sara E. Libby dated October 17, 2011 and recorded in the Cumberland County Registry of Deeds in Book 29048, Page 72 and to a deed from John K. Libby and Sara E. Libby to JL Holdings, LLC dated October 15, 2012 and recorded in the Cumberland County Registry of Deeds in Book 30162, Page 4. The description above for the second easement herein conveyed corrects certain scrivener's errors in the aforesaid deeds.

Received
Recorded Register of Deeds
Jul 29, 2014 09:15:09A
Cumberland County
Pamela E. Lovley

John Libby Construction

22 Cribstone view road
Harswell me 04079

November 8, 2016

Town of Brunswick

Anna Breinich, Director of Planning and Development

85 Union Street

Brunswick, ME 04011

Re: Staff Development Review Application

368 Maine Street, Brunswick, ME

Dear Ms. Breinich,

John Libby Construction is working with the property owners of 368 Maine street to add a much needed addition to the structure. With the high demand for early childhood education in the area the Little School House is looking to be able to provide more services the local parents. In order to do so we are looking to add 5 more parking spots and 1568 sq. ft. of single story addition to their building. In the new addition we would like to locate a small efficiency kitchen, a 2 stall bathroom and 2 education rooms that would be around 500 sq. ft. each.

The lot is very flat with good soils, the school has had no issues with drainage since opening, a catch basin is located in the parking area with more than sufficient volume and there will be over 44,000 sf of vegetation remaining on the lot out of the 68,328 lot size. The addition is going to be located off the back of the school with no visual impact from the street or to the neighboring houses. The school is served by public utilities that will see little to no additional impact.

I have attached the Development Review Plan Standards to this application.

Please do not hesitate to call with any questions regarding our application, thank you for your time in this matter.

Sincerely

John Libby

Development Review Plan Standards

501.1 The property is currently development with an approved current use. Little to no visual impact with its surrounding properties or public ways.

501.2 The parcel is 68,328 sq. ft.

502 The parcel is not in a flood zone as shown on the FEMA maps

503 The parcel is very flat with no slopes to speak of.

504 very little additional storm water will be created from the 5 parking spaces and can easily be handled by the existing catch basin. Run off from the addition off the rear off the build is surround by a vast vegetated area with well drained soils.

505 The property is served by the Brunswick sewer district and does not anticipate much if any addition water in connection with the expansion and the age of the children.

506 very little excavation will need to take place during construction minimizing most if all run off but necessary best management practices will be taken with any and all soil disturbance.

507 The sewer will remain undisturbed

508 the existing water line will remain undisturbed

510 the addition will not impact the local infrastructure and hopes to not be required to provide impact fees.

511 No new streets or curb cuts are necessary

512 the existing front parking will remain with an additional 3 spaces added as shown on the drafted plan

512.2 The added three spaces will provide adequate parking for the additional space, there is 10 spots existing and one handicapped spot.

512.3 No parking is proposed within any setbacks and will be screened from the main road by existing shrubbery.

512.4 The new parking will be paved to match existing and lighting will remain the same as it is more than enough to illuminate the 5 new spots.

512.5 considering the use of the building there is no need of a bike rack and safe walking surfaces have been provided around the building

512.6 There is no need for an alternative parking plan seeing the requirements have been met.

513 the entrance remains the same with safe ingress and egress

514 loading requirements are non-applicable

515.1 The newly added parking continues the existing pattern of flow and does not create any unsafe travel issues.

515.2 The existing heavily wooded area behind the property for screening the new addition we find there no need for additional plantings to lessen the visual impact of the proposed construction

515.3 The existing heavily wooded area behind the property for screening the new addition we find there no need for additional plantings to lessen the visual impact of the proposed construction

515.4 only very small residential wall lights at the required exit doors will be included in planned addition using residential bulbs not to exceed 100 watts.

515.5 No additional signs are being proposed

515.6 The property is not in the Village review zone

515.7 The property is not in the Cooks corner district

516 The main entrance is to remain street side with only new exit door off the addition to be added

517 There are no known historic resources onsite.

518 The building is ADA compliant and the proposed new addition will not impact its compliance and will continue with the accessibility standards

519.1 The Recreational Requirements are not applicable

519.2 There is no reserved land

519.3 Because this is an existing facility no fee for recreation applies

519.4 No conservation or recreation land is proposed

520 The size and scope of the project in our eyes does not warrant any proof of financial means to complete.

521 considering the size of the proposed project and proposed project a performance guarantee is not applicable

522 Homeowners associations is not applicable

524.1 Construction will be performed Monday thru Saturday 7 AM to 5PM no work on Holidays

524.2 Parking areas are paved and there will be very little soil disturbance for just a couple days. And disturbance to the area will be kept to a bare minimum.



Town of Brunswick, Maine
Real Estate Taxes 2016-17

Wednesday, September 07, 2016

5:09:47 PM

Parcel ID	Bill No	Name 1	Name 2	Property Location	Land Value	Blg Value	Exempt Value	Taxable Value	Oct 2016 Due	Apr 2017 Due	Total Tax
045-003-000-085	01610861	BAUKS, EMMA A		2 LONG ST	0	15,100	14,700	400	5.87	5.87	11.74
MP5-014-000-000	01610862	BAUMAN, JOHN C & JUDITH JT		85 MINOTT SHORE RD	156,300	189,400	14,700	331,000	4,857.43	4,857.42	9,714.85
U13-196-000-000	01610863	BAUMGARTE, THOMAS W &	TOPP, KAREN A JT	58 FEDERAL ST	93,800	110,900	10,500	194,200	2,849.89	2,849.88	5,699.77
022-188-000-000	01610864	BAUMGARTNER REAL ESTATE HOLDING LLC		368 MAINE ST	46,300	196,800	0	243,100	3,567.50	3,567.49	7,134.99
046-008-000-000	01610865	BAUMGARTNER, KENNETH DALE &	NEIDING, TERESA LYNN JT	392 BATH RD	11,500	56,900	0	68,400	1,003.77	1,003.77	2,007.54
U40-241-000-000	01610867	BAXTER POND HOMEOWNERS ASSOCIATION	C/O JAY HENDERSON	0 HARPSWELL RD	0	0	0	0	0.00	0.00	0.00
U40-201-000-000	01610866	BAXTER POND HOMEOWNERS ASSOCIATION	C/O JAY HENDERSON	30 BEECH DR	0	0	0	0	0.00	0.00	0.00
U19-002-000-013	01610868	BAXTER, DAVID N & HODUN, DIANE E		6 PEPPERBERRY PATH	40,000	127,200	0	167,200	2,453.66	2,453.66	4,907.32
U29-196-000-000	01610869	BAXTER, KATHRYN A		39 SHOBE AVE	35,100	56,900	0	92,000	1,350.10	1,350.10	2,700.20
023-009-000-000	01610870	BAXTER, PAUL D & JULIE A JT	ATTN BENNETT, DEANNA R & TIMOTHY D	5 WOOD POND RD	26,100	152,400	10,500	168,000	2,465.40	2,465.40	4,930.80
022-054-000-077	01610871	BAXTER, SKYE A		50 LINNELL CIR	0	4,100	4,100	0	0.00	0.00	0.00
045-003-000-137	01610872	BAXTER, WILFRED H & MARIE B TRUSTEES		37 LONG ST	0	41,200	14,700	26,500	388.89	388.89	777.78
U02-124-000-000	01610873	BAYRD, PATRICIA		17 HAMBLETON AVE	9,500	70,300	0	79,800	1,171.07	1,171.06	2,342.13
014-019-000-000	01610874	BAYSINGER, HOLLY M		155 MOODY RD	27,100	182,000	14,700	194,400	2,852.82	2,852.82	5,705.64
047-024-000-001	01610875	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	0 BAY BRIDGE RD	24,000	16,200	0	40,200	589.94	589.93	1,179.87
051-001-008-000	01610879	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	0 BAY BRIDGE RD	109,800	0	0	109,800	1,611.32	1,611.31	3,222.63
051-001-000-014	01610877	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	101 BAY BRIDGE RD	2,928,000	2,021,300	0	4,949,300	72,630.98	72,630.98	145,261.96
048-061-000-000	01610876	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	439 OLD BATH RD	200	0	0	200	2.94	2.93	5.87
051-004-000-000	01610880	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	0 BAY BRIDGE RD	3,300	0	0	3,300	48.43	48.43	96.86
051-001-000-172	01610878	BBE LLC	C/O LIBERTY MANAGEMENT GROUP	2 PRIMROSE LN	0	12,400	0	12,400	181.97	181.97	363.94
049-034-000-000	01610881	BEAL PROPERTY MANAGEMENT GROUP LLC		24 HARDING RD	26,000	127,500	0	153,500	2,252.62	2,252.61	4,505.23
008-004-000-000	01610882	BEAL, ANN G LE		860 RIVER RD	54,500	94,400	10,500	138,400	2,031.02	2,031.02	4,062.04
U15-095-000-000	01610883	BEAL, CARL W & NANCY L JT		12 MORSE CT	23,300	93,200	0	116,500	1,709.64	1,709.64	3,419.28
051-001-000-205	01610884	BEAL, CHRISTOPHER K		27 LARRY LN	0	20,600	10,500	10,100	148.22	148.22	296.44

The screenshot displays the BrunswickMap web application interface. At the top left is the logo for the **TOWN OF Brunswick** with the word **MAPS** underneath. Below the logo are three tabs: **Legend**, **Search**, and **More Info**. The **Legend** panel on the left contains a list of map layers with checkboxes and expand/collapse icons:

- Selected Parcels
- Layers
- Municipal
- Utilities
- Transportation
- Topography
- Hydrography
- Wildlife Habitat
- Natural Resources
- Districts
- Zoning
- 2001 Aerial Photo

The main map area shows an aerial photograph of a wooded area with several parcel boundaries overlaid. Parcel numbers are visible, including 22-578, 22-579, 22-57A, 22-57B, 22-57C, 22-57D, 22-57E, 22-57F, 22-57G, 22-57H, 22-57I, 22-57J, 22-57K, 22-57L, 22-57M, 22-57N, 22-57O, 22-57P, 22-57Q, 22-57R, 22-57S, 22-57T, 22-57U, 22-57V, 22-57W, 22-57X, 22-57Y, 22-57Z, 22-57AA, 22-57AB, 22-57AC, 22-57AD, 22-57AE, 22-57AF, 22-57AG, 22-57AH, 22-57AI, 22-57AJ, 22-57AK, 22-57AL, 22-57AM, 22-57AN, 22-57AO, 22-57AP, 22-57AQ, 22-57AR, 22-57AS, 22-57AT, 22-57AU, 22-57AV, 22-57AW, 22-57AX, 22-57AY, 22-57AZ, 22-57BA, 22-57BB, 22-57BC, 22-57BD, 22-57BE, 22-57BF, 22-57BG, 22-57BH, 22-57BI, 22-57BJ, 22-57BK, 22-57BL, 22-57BM, 22-57BN, 22-57BO, 22-57BP, 22-57BQ, 22-57BR, 22-57BS, 22-57BT, 22-57BU, 22-57BV, 22-57BW, 22-57BX, 22-57BY, 22-57BZ, 22-57CA, 22-57CB, 22-57CC, 22-57CD, 22-57CE, 22-57CF, 22-57CG, 22-57CH, 22-57CI, 22-57CJ, 22-57CK, 22-57CL, 22-57CM, 22-57CN, 22-57CO, 22-57CP, 22-57CQ, 22-57CR, 22-57CS, 22-57CT, 22-57CU, 22-57CV, 22-57CW, 22-57CX, 22-57CY, 22-57CZ, 22-57DA, 22-57DB, 22-57DC, 22-57DD, 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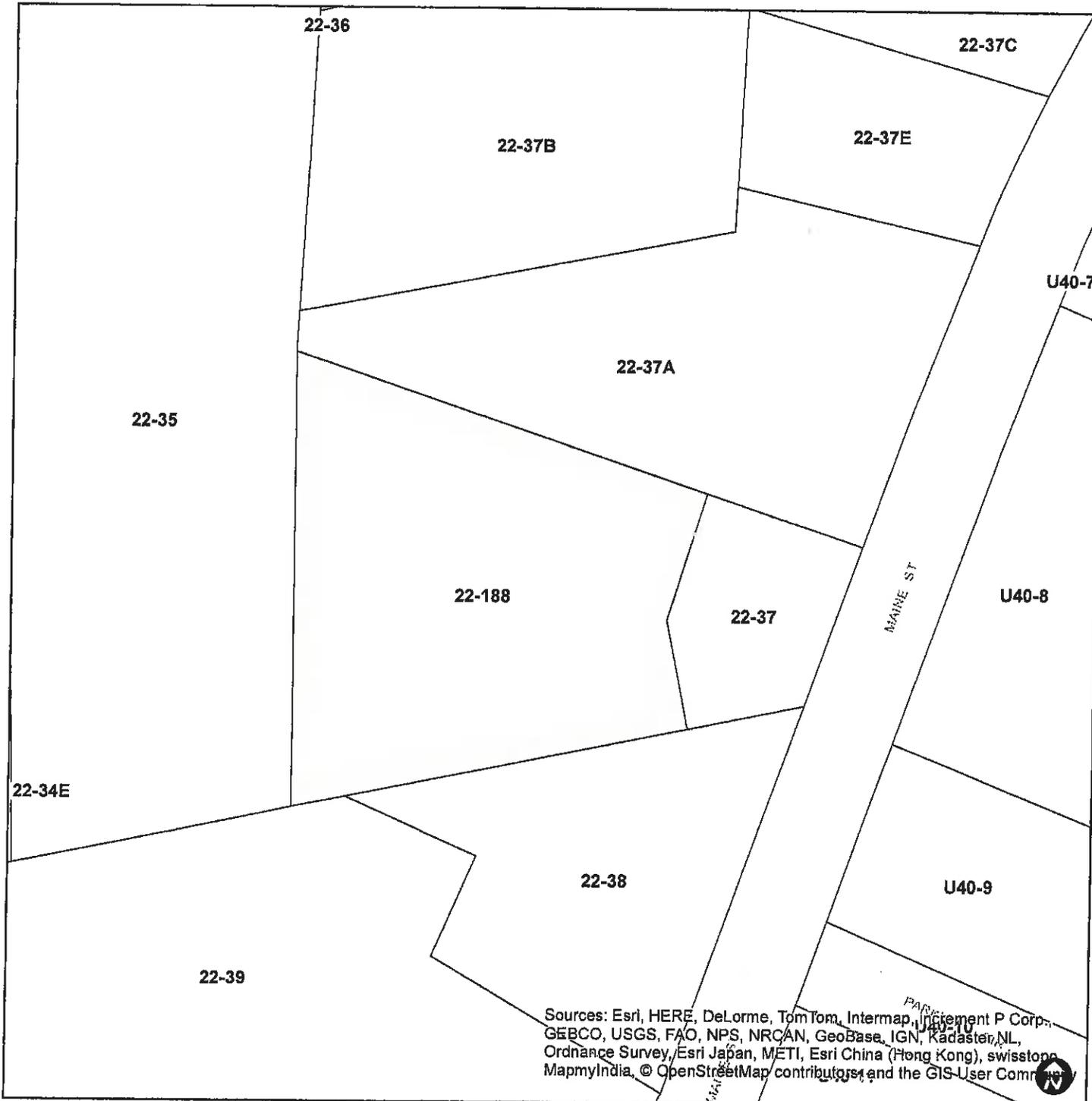
On the right side, there is a **Change Basemap** panel with several map style options:

- Est Streets
- Est Topo Map
- Est Gray
- USGS Topo Map
- Est Imagery
- 2006 Aerial Photo
- 2012 Aerial Photo
- None

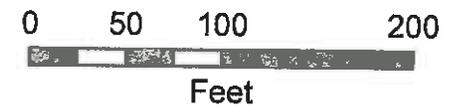
At the bottom left, there are navigation controls including a compass and a scale bar. At the bottom right, there is a north arrow and a scale bar.

Brunswick Maine

022-188



Legend
Selected Parais
Parcel
Town Boundary



Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster, NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

This map was generated by the Town of Brunswick's online GIS. This information has been compiled from various public and private sources. While every attempt has been made to provide accurate information, neither the municipality nor the service host guarantee the accuracy of information provided herein.

Map generated on: 11/8/2016

Hydrologic Soil Group and Surface Runoff

This table gives estimates of various soil water features. The estimates are used in land use planning that involves engineering considerations.

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The four hydrologic soil groups are:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas.

Surface runoff refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based on slope, climate, and vegetative cover. The concept indicates relative runoff for very specific conditions. It is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal. The classes are negligible, very low, low, medium, high, and very high.

Report—Hydrologic Soil Group and Surface Runoff

Absence of an entry indicates that the data were not estimated. The dash indicates no documented presence.

Hydrologic Soil Group and Surface Runoff—Cumberland County and Part of Oxford County, Maine			
Map symbol and soil name	Pct. of map unit	Surface Runoff	Hydrologic Soil Group
WmB—Windsor loamy sand, 0 to 8 percent slopes			
Windsor	85	Low	A

Data Source Information

Soil Survey Area: Cumberland County and Part of Oxford County, Maine

Survey Area Data: Version 11, Sep 17, 2015

368 Maine Street - Zoning Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Legend

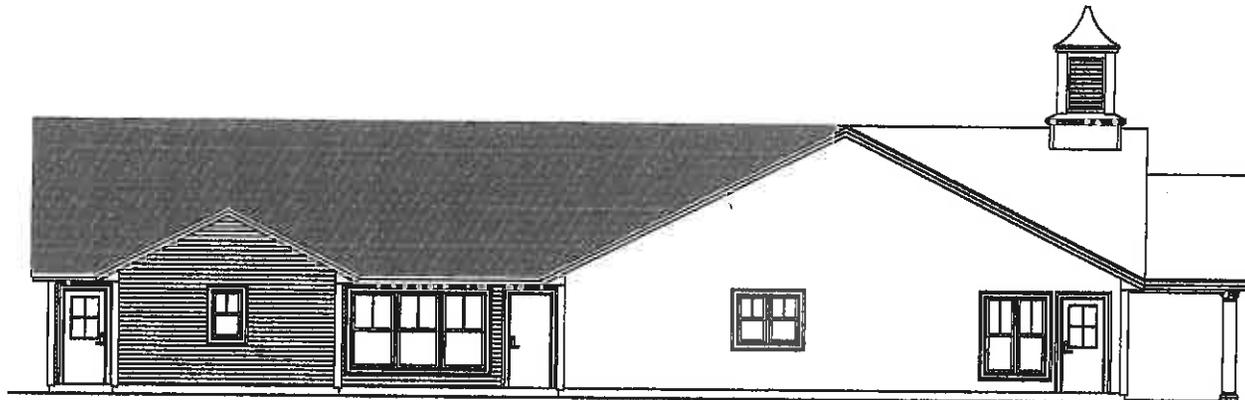
— contours_2f

▭ Parcels_FullAssessorData

- - - - - Approximate lot boundary
(30-foot easement for driveway access
to Assessor's Map 22, Lot 188 not shown).

1 Inch = 50 feet





LEFT ELEVATION



LOCATION ON MAINE STREET

STRUCTURAL NOTES

DESIGN LOADS (reference code: 1999 local national building code)

Ground Snow Load	82
Importance Factor	1.0
Exposure Factor	1.0
Thermal Factor	1.1
Roof Slope Factor	1.0
Roof Design Snow Load	49 psf
Wind speed exposure	64 mph/Expo.B

FOUNDATION NOTES:

1. Footings are designed to bear on natural, inorganic soils having a minimum allowable soil bearing pressure of 2000 psf.
2. Organic soils (topsoil, peat, etc.) below footings and/or slabs, must be removed.
3. The bottom of all exterior foundation wall footings shall be a minimum of 4" below finished grade, in order to achieve necessary frost protection.
4. Footing excavations shall be kept dry.
5. A 6" minimum layer of granular fill shall be provided within the building area. Fill shall be placed in 2" lifts & compacted to 98% maximum dry density.

CONCRETE NOTES:

1. Concrete shall have the following minimum 28 day compressive strength:
 - a) 3,000 psi
2. Concrete mix shall meet the following criteria:
 - a) Maximum aggregate size: 3/4"
 - b) Percent air-entrainment (Footings, Walls): 8 %
 - c) Percent air-entrainment (Interior slabs): 0 %
 - d) Maximum slump: 4"
 - e) Maximum water/cement ratio: 0.50
3. All reinforcement shall conform to ASTM A618, Grade 60
 - a) Slab reinforcement shall have 2" minimum concrete cover. Coordinate anchor bolt layout with stud locations to avoid conflict.

WOOD FRAMING:

1. All wood wall framing shall be No.2 kiln dried spruce-pine-fir (S P F) or better.
2. Temporarily brace all walls during construction until the roof structure is in place and completely connected to the walls.

WOOD TRUSSED RAFTERS:

1. All trussed rafters shall be designed for the following loads:
 - a) Top Chord 10 psf D.L. + truss D.L.
 - 49 psf snow load on horizontal projection (full span)
 - 73 psf L.L. on horizontal projection (1/2 span)

(Note: design all trusses for above snow loads, assuming a twenty-four inch truss spacing, i.e., a linear snow load of 100 lbs./ft. on full span and 128 lbs./ft. on half span)

 - b) Bottom Chord 10 psf D.L.
 - 0 psf L.L.
 - c) Wind 30 psf uplift over entire roof

2. Trussed rafters shall be designed, fabricated and erected in accordance with the "Design Specification for light metal plate connected wood trusses".
3. Temporary erection bracing of the trusses during construction shall be the responsibility of the truss erector. Bracing shall conform to the guidelines set forth in the Truss Plate Institute's HIB-Intersect edition titled "Commentary and Recommendations in the Truss Plate for Handling, Installing & Bracing Metal Plate Connected Wood Trusses".
4. Trussed rafters shall be erected Plumb & True with adequate erection and permanent bracing to maintain trussed rafters in position under any combination of lateral and vertical loadings as outlined above.
5. Trussed rafters shall be anchored to supporting framing with H2 S anchors by Simpson, or equal, with 5 - 8d nails through the plywood sheathing and into the square plate and 8 - 8d nails into the trusses, see engineer detail.
6. 5/8" gypsum wallboard shall be applied to both sides of prefabricated wood trusses at any live-load locations. These trusses shall be designed to support this additional load.

ALL CONSTRUCTION TO MEET OR EXCEED MUBEC AND ALL PERTINANT CODE REQUIREMENTS

GENERAL ARCHITECTURAL NOTES:

1. ALL WORK IS TO MEET OR EXCEED ALL PERTINENT FEDERAL, STATE & LOCAL CODES.
2. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION.
3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNERS & CONTRACTOR PRIOR TO CONSTRUCTION.

THE LITTLE SCHOOLHOUSE ADDITION

Scale: 1/4" = 1'-0"	Revised by: _____	Number: _____	Date: 08/14/16
Date: 08/18/16	Author: 08/08/16	08/14/16	

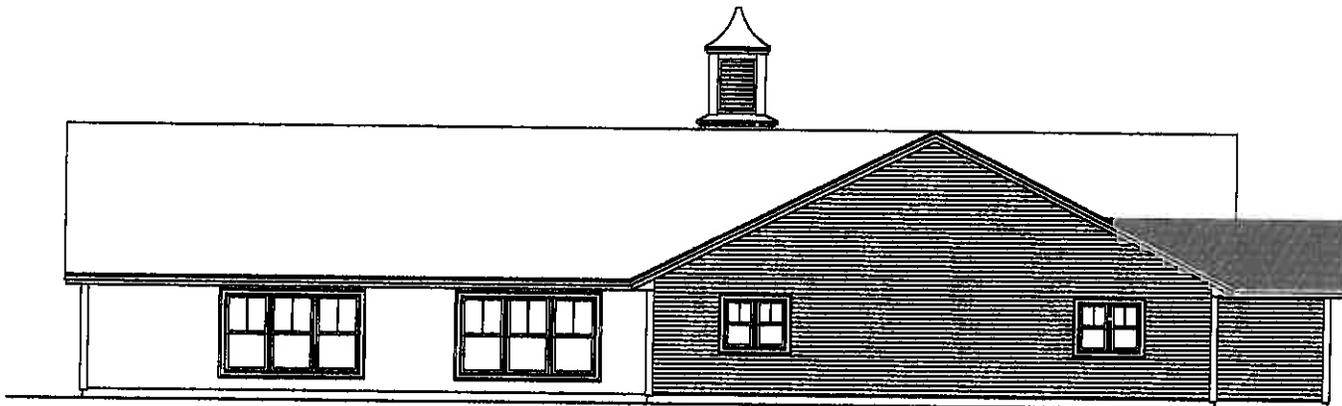
COVER

NOTE:
All drawings, plans, sketches, etc., are provided to my Client based upon information provided by the client in accordance with common building practices and local codes. No One who has worked on the client is a registered Architect, Engineer or Surveyor. If all dimensions, and/or specifications are not verified by the owner and Contractor before actual construction begins, We cannot be held responsible. We assume no liability for changes and/or variations made to the drawings by Client, Architect, Contractor. All local & national building codes must be adhered to and take precedence. A Professional Engineer should be consulted prior to construction.





RIGHT ELEVATION



REAR ELEVATION

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THE LITTLE SCHOOLHOUSE ADDITION

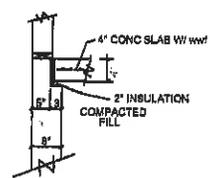
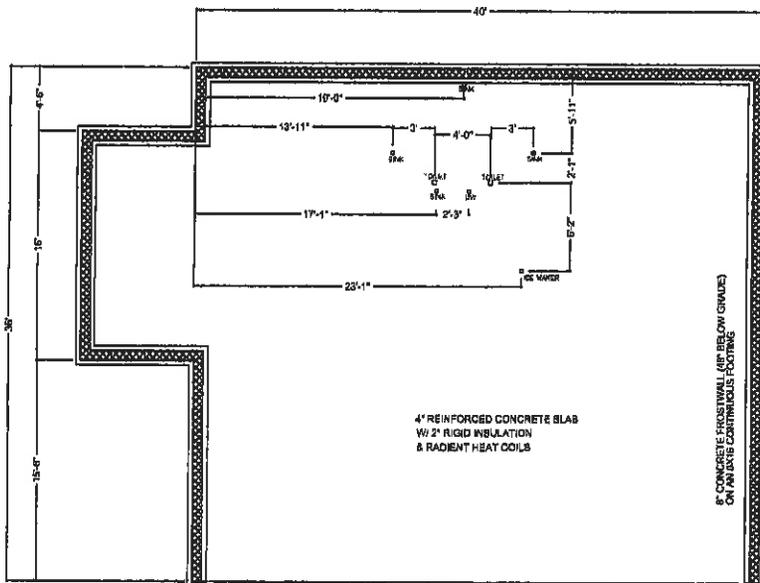
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ELEVATIONS

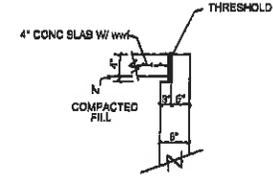
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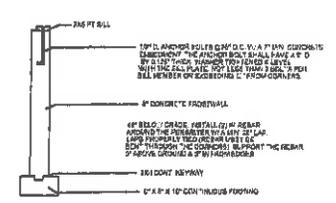
TYPICAL FOUNDATION DETAILS



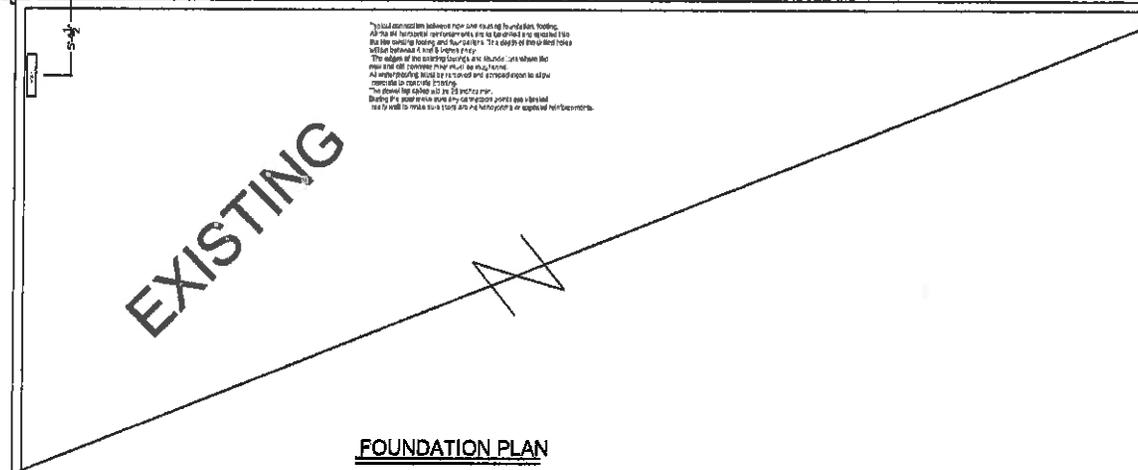
SECTION A
TYPICAL



SECTION B
at thresholds



TYPICAL FROSTWALL



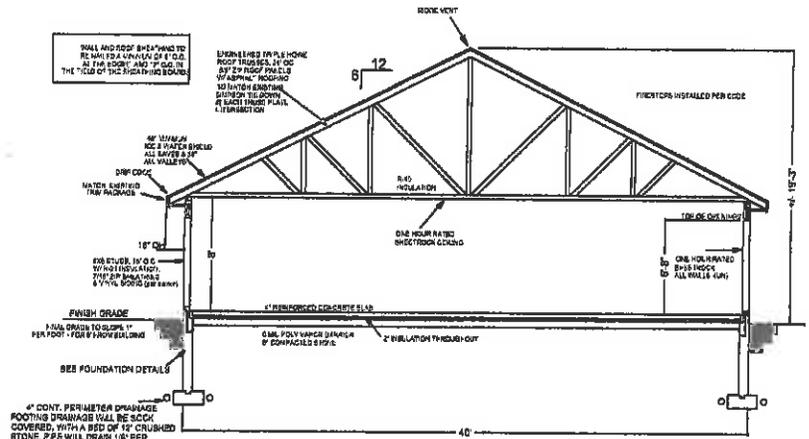
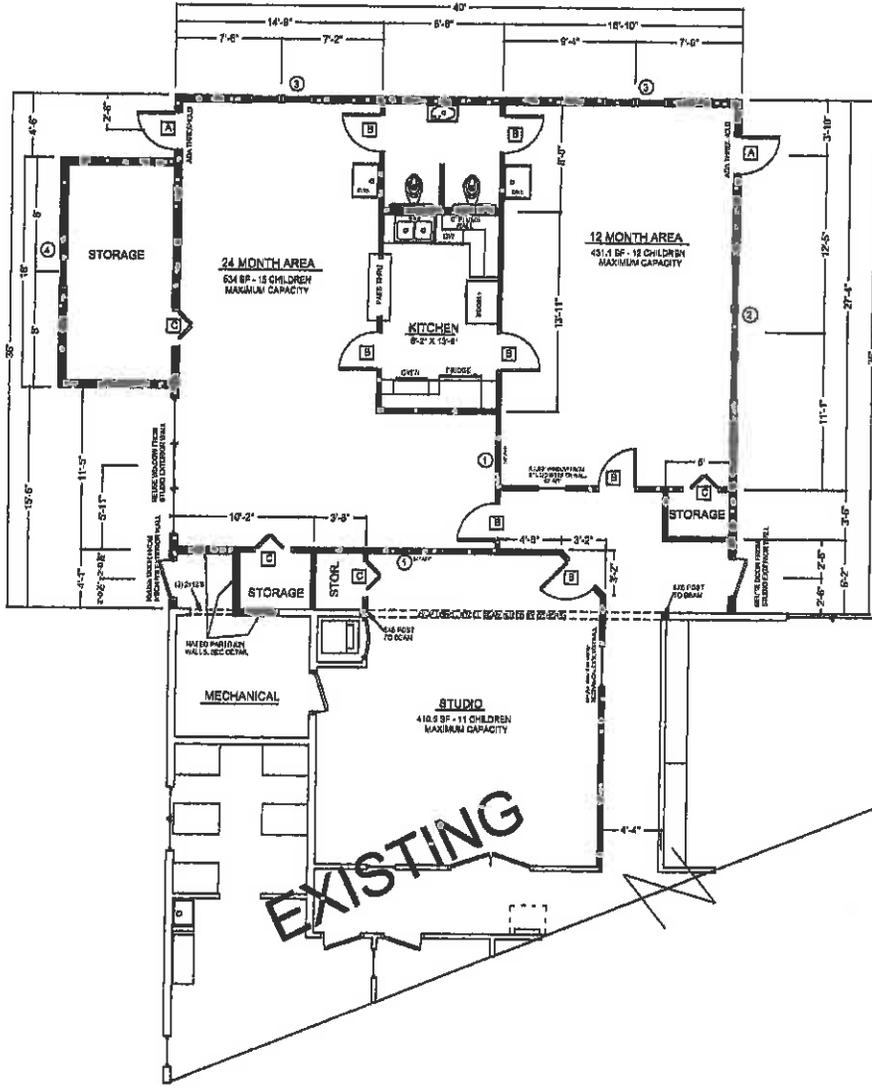
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THE LITTLE SCHOOLHOUSE ADDITION			
Scale: 1/4" = 1'-0"	Rev: 05/18/18	Date: 05/18/18	Drawn: Mary Koppstein
FOUNDATION PLAN AND DETAILS			
Sheet No: A-3			Project No: A-3

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SECTION VIEW S1

DOOR & HARDWARE SCHEDULE		
COMMERCIAL GRADE		
UNIT	FRAMED OPENING	DESCRIPTION
A	36" X 60"	COMMERCIAL GLASS ENTRY DOOR-ADA COMPLIANT, EVEN THRESH
B	36" X 60"	COMMERCIAL GLASS EXTENSION DOOR-ADA COMPLIANT, EVEN THRESH
JELD-WEN - NOULDED - SMOOTH COLONIAL 3 1/2" JAUMBS, PRE-HUNG		
UNIT	ROUGH OPENING	DESCRIPTION
C	31 3/4" X 81"	7088 - 8 PANEL - HOLLOWCORE - SPOLD

WINDOW SCHEDULE		
ALSIDE PICTURE: 2/1 CONTOURED GBO GRILLES & G2 GLASS		
UNIT	FRAMED OPENING	DESCRIPTION
1	24" X 24"	FIXED GLASS
ALSIDE BRICK MOULD PF CABINS, WHITE, 5 1/2" EXT. JAUMBS LOW-E WARGON GLASS, FULL SCREENS, 2/1 CONTOURED GBO GRILLES & STANDARD HARDWARE		
UNIT	FRAMED OPENING	DESCRIPTION
2	117" X 64"	DOUBLEHUNG - 58"SH - SUPPORT MULL - TEMPERED GLASS
3	48 1/2" X 40"	DOUBLEHUNG - 24"SH - SUPPORT MULL - TEMPERED GLASS
4	24" X 40"	DOUBLEHUNG - 24" TEMPERED GLASS

ALL CONSTRUCTION TO MEET OR EXCEED MUBEC AND ALL PERTINANT CODE REQUIREMENTS

GENERAL ARCHITECTURAL NOTES:

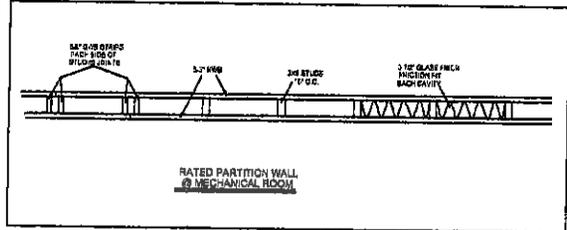
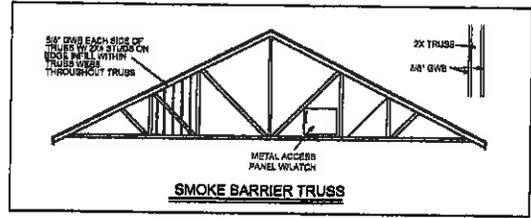
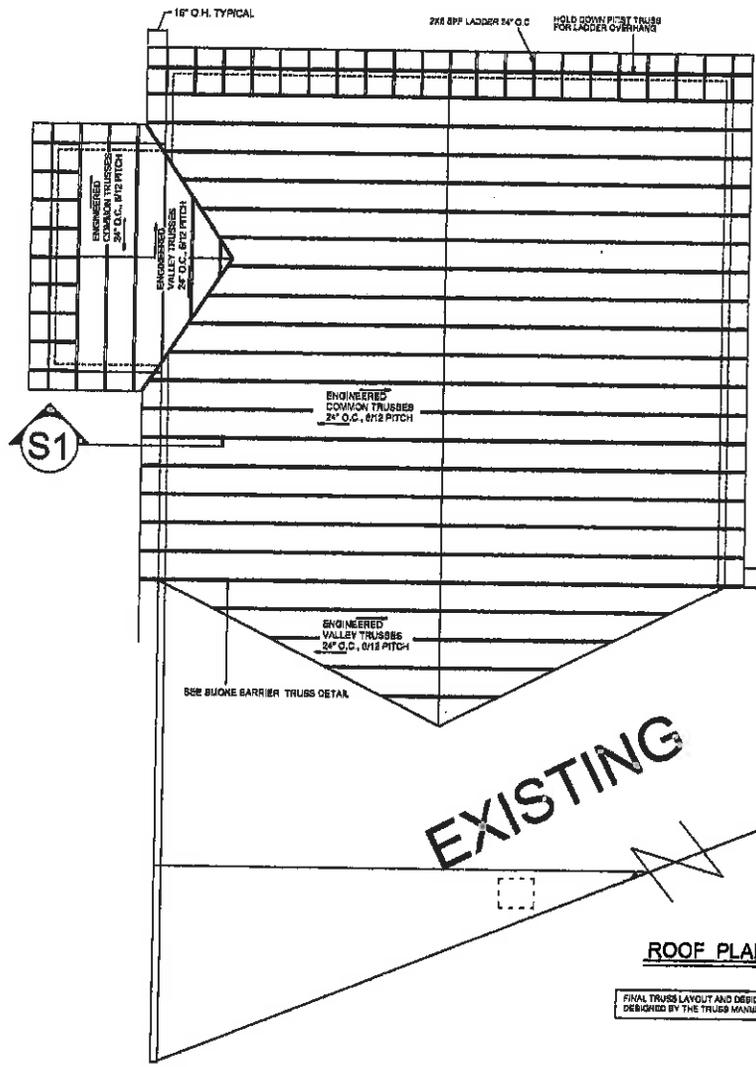
1. ALL WORK IS TO MEET OR EXCEED ALL PERTINENT FEDERAL, STATE & LOCAL CODES.
2. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION.
3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNERS & CONTRACTOR PRIOR TO CONSTRUCTION.

THE LITTLE SCHOOLHOUSE ADDITION

Scale: 1/8" = 1'-0"	Project No: 2410-0000-0000
Date: 02/18/16	Revised: 02/03/16 02/14/16
FIRST FLOOR PLAN, SECTION VIEW AND SCHEDULES	

NOTE:
All drawings, plans, schedules, Etc. are provided by my Client based upon information provided by the client in accordance with terms of building division and local codes. No One who has worked on this plan is a registered Architect, Engineer or Surveyor. If all dimensions, and/or specifications are not noted by the owner and Contractor before commencing no liability for changes and/or revisions made to the plans by Client and/or Contractor. All load & material building codes must be adhered to and late prosecution. A Structural Engineer should be consulted prior to construction.





EXISTING

ROOF PLAN

FINAL TRUSS LAYOUT AND DESIGN TO BE DESIGNED BY THE TRUSS MANUFACTURER

ALL CONSTRUCTION TO MEET OR EXCEED MUBEC AND ALL PERTINANT CODE REQUIREMENTS

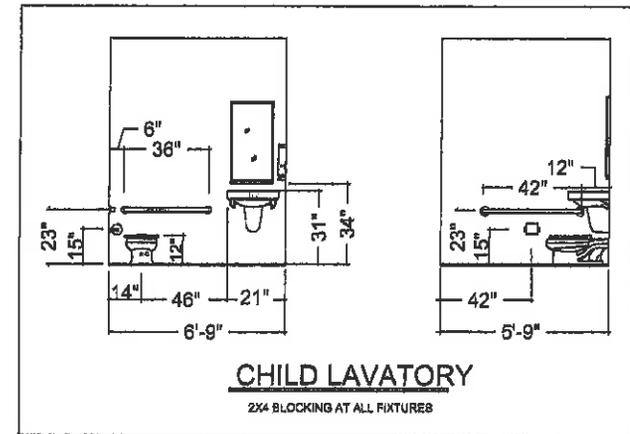
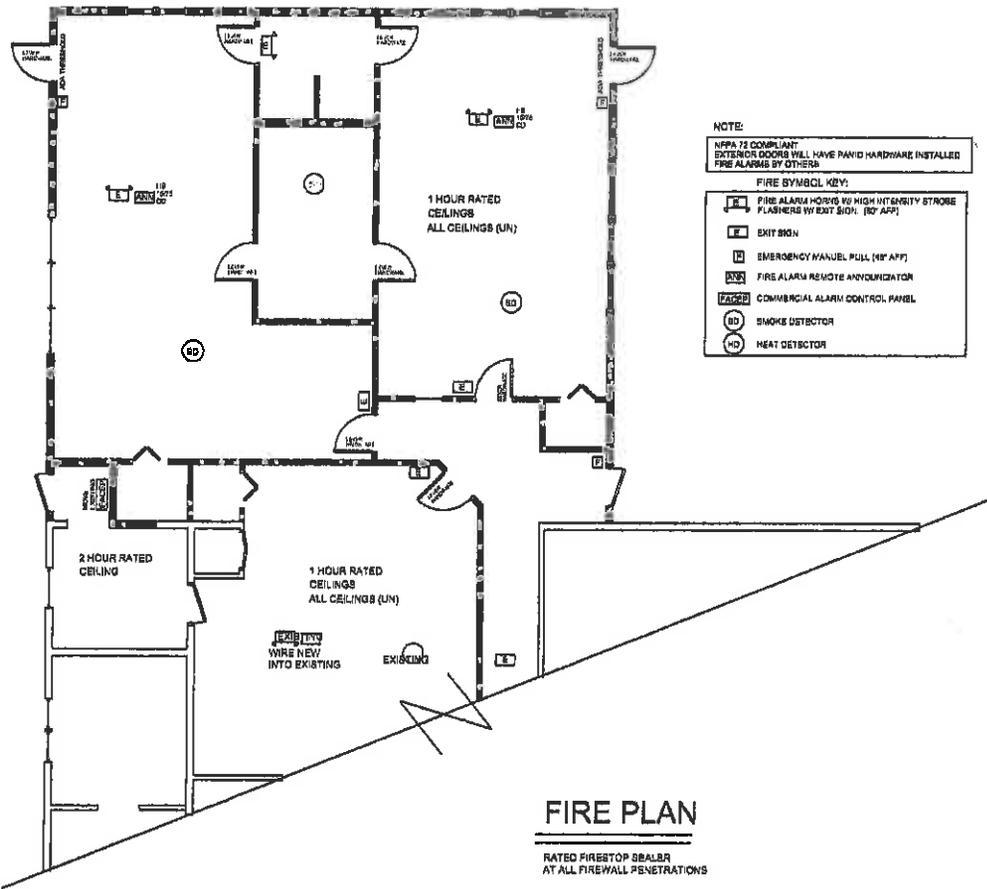
GENERAL ARCHITECTURAL NOTES:

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4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNERS & CONTRACTOR PRIOR TO CONSTRUCTION.

Project Name: THE LITTLE SCHOOLHOUSE ADDITION			
Scale: 1/4" = 1'-0"	Approval: [Signature]	Date: 08/14/18	Client: MUBEC
Drawn: CB/ML/E	Revised: 08/06/18	08/14/18	
ROOF PLAN AND (WALL & TRUSS) DETAILS			
Sheet No.:		A - 5	

NOTE: All drawings, plans, elevations, etc., are provided to my Client based upon information provided by the client in accordance with common building practices and local codes. No one is to be relied on the plans as a replacement Architect, Engineer or Surveyor, if all dimensions and/or specifications are not verified by the owner and Contractor before actual construction begins. We accept no liability for any errors or omissions made in the plans by Client and/or Contractor. All local & national building codes shall be adhered to and take precedence. A Licensed Engineer should be consulted prior to construction.





LAVATORY DETAILS

ALL CONSTRUCTION TO MEET OR EXCEED MUBEC AND ALL PERTINANT CODE REQUIREMENTS

- GENERAL ARCHITECTURAL NOTES:**
1. ALL WORK IS TO MEET OR EXCEED ALL PERTINENT FEDERAL, STATE & LOCAL CODES.
 2. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION.
 3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
 4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNERS & CONTRACTOR PRIOR TO CONSTRUCTION.

THE LITTLE SCHOOLHOUSE ADDITION			
Scale: 1/8" = 1'-0"	App. No. 2016-010	Client: Board of Education	
Date: 05/18/16	Revised: 05/09/16 05/14/16		
LIFE SAFETY PLAN AND LAVATORY DETAILS			
Drawn by: [Signature]			A-6

NOTE:
 All drawings, plans, sketches, Etc., are provided to my Clients based upon information provided by the owner in accordance with common building practices and local codes. No One who has worked on this project is a registered Architect, Engineer or Surveyor. If all dimensions and/or specifications are not verified by the owner and Contractor before actual construction begins, the Contractor will be held responsible. We assume no liability for changes and/or revisions made to the plans by Client or Contractor. All local & national building codes must be adhered to and take precedence. A Structural Engineer should be consulted prior to construction.

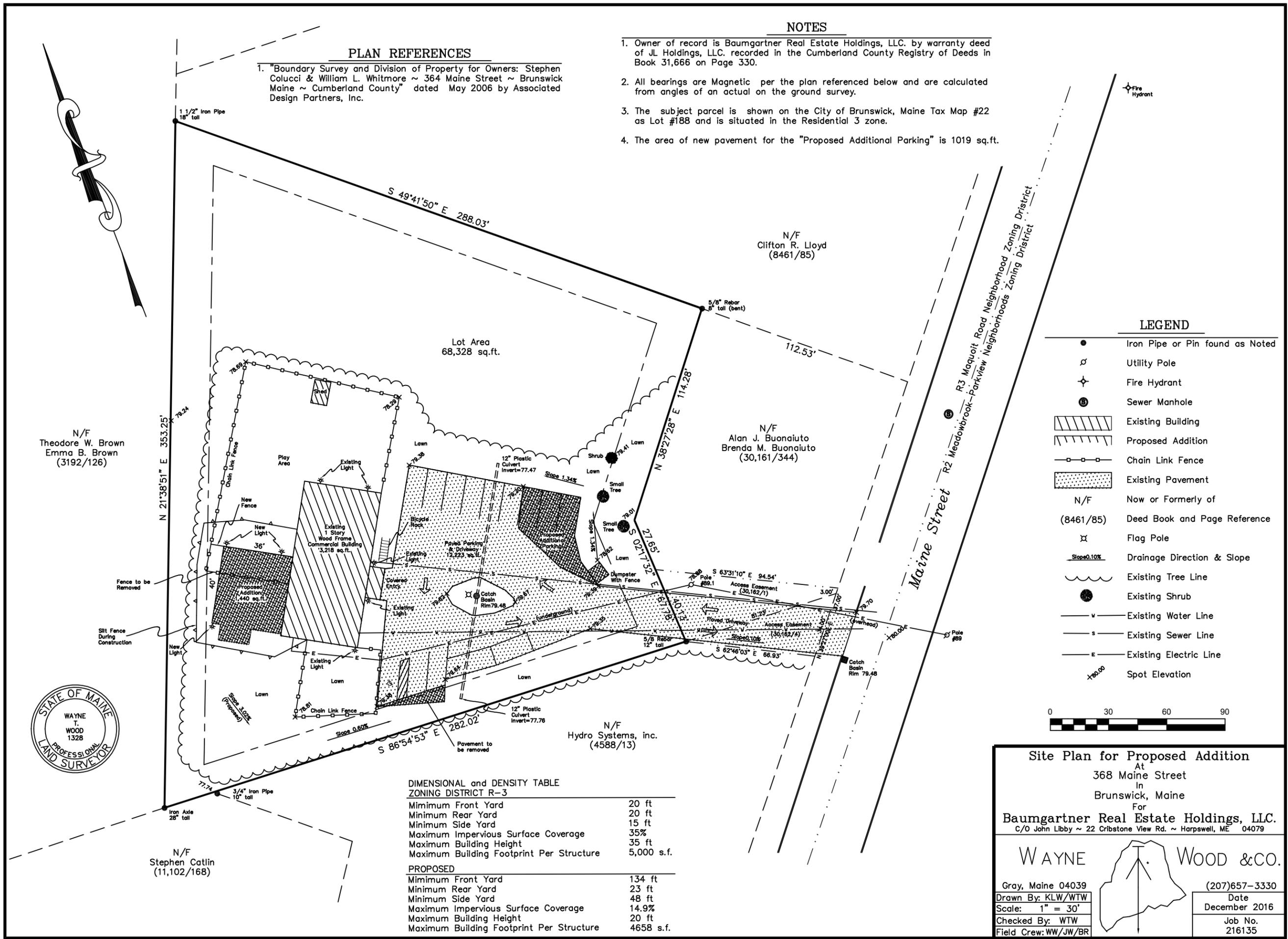


NOTES

1. Owner of record is Baumgartner Real Estate Holdings, LLC. by warranty deed of JL Holdings, LLC. recorded in the Cumberland County Registry of Deeds in Book 31,666 on Page 330.
2. All bearings are Magnetic per the plan referenced below and are calculated from angles of an actual on the ground survey.
3. The subject parcel is shown on the City of Brunswick, Maine Tax Map #22 as Lot #188 and is situated in the Residential 3 zone.
4. The area of new pavement for the "Proposed Additional Parking" is 1019 sq.ft.

PLAN REFERENCES

1. "Boundary Survey and Division of Property for Owners: Stephen Colucci & William L. Whitmore ~ 364 Maine Street ~ Brunswick Maine ~ Cumberland County" dated May 2006 by Associated Design Partners, Inc.



LEGEND

- Iron Pipe or Pin found as Noted
- ⊕ Utility Pole
- ⊕ Fire Hydrant
- ⊙ Sewer Manhole
- ▨ Existing Building
- ▨ Proposed Addition
- Chain Link Fence
- ▨ Existing Pavement
- N/F Now or Formerly of
- (8461/85) Deed Book and Page Reference
- ⊕ Flag Pole
- Slope 0.10% Drainage Direction & Slope
- ~ Existing Tree Line
- Existing Shrub
- Existing Water Line
- Existing Sewer Line
- Existing Electric Line
- 780.00 Spot Elevation



DIMENSIONAL and DENSITY TABLE
ZONING DISTRICT R-3

Minimum Front Yard	20 ft
Minimum Rear Yard	20 ft
Minimum Side Yard	15 ft
Maximum Impervious Surface Coverage	35%
Maximum Building Height	35 ft
Maximum Building Footprint Per Structure	5,000 s.f.
PROPOSED	
Minimum Front Yard	134 ft
Minimum Rear Yard	23 ft
Minimum Side Yard	48 ft
Maximum Impervious Surface Coverage	14.9%
Maximum Building Height	20 ft
Maximum Building Footprint Per Structure	4658 s.f.

Site Plan for Proposed Addition
At
368 Maine Street
In
Brunswick, Maine
For
Baumgartner Real Estate Holdings, LLC.
C/O John Libby ~ 22 Cribstone View Rd. ~ Harpswell, ME 04079

WAYNE T. WOOD & CO.
Gray, Maine 04039
Drawn By: KLW/WTW
Scale: 1" = 30'
Checked By: WTW
Field Crew: WW/JW/BR

(207)657-3330
Date
December 2016
Job No.
216135

Minor Development Review
REVIEW MEMORANDUM
Town of Brunswick
Department of Planning and Development

To: John Libby, John Libby Construction
From: Jared Woolston, Planner

The pending Minor Development Review application for the Little School House on Maine is referenced by the Town of Brunswick's Planning and Development Office as Case #16-052. The Staff Review Committee (SRC) is scheduled to review and take action on this proposal on Wednesday, December 7, 2016 at 10:00 AM in Room 206 of the Brunswick Town Hall (85 Union Street, Brunswick, Maine 04011).

If you are unable to meet this request please call me at (207) 725-6660 x4022 or contact me by email at jwoolston@brunswickme.org.

Application Form Revisions:

1. Revise the project applicant to be the owner (application item #2);
2. Revise the authorized representative to John Libby of John Libby Construction (application item #3);
3. Revise the project description to include the 8-foot by 16-foot (128 square foot) storage area (application item #10);
5. Please address Section 509 with the following information: any anticipated increase in sewer flow to the public sewer system, stormwater flows to the public stormwater system; public water use; traffic to and from Maine Street; solid waste (trash) generation; impacts to safety providers.

Additional submissions:

1. Submit a letter from the owner identifying you as the authorized representative;
2. Submit three (3) full size site plans printed to the indicated scale (1 inch = 30 feet)
Guidance: The building plans appear to be correctly scaled but the site plan is not to scale. Please review the plan and make sure it is printed to the intended scale.

Add the following information to the site plan:

1. Depict the Zoning district (i.e. R3 Maquoit Road Neighborhood);
2. Depict the location of on-site water, sewer, and electrical lines;
3. Depict the storage 128 square foot storage area on the building layout and square footage;
4. Depict the location of the town's stormwater catch basin and inlet pipe at the driveway entrance;
5. Depict traffic circulation including pedestrian and vehicle traffic flow:
Guidance: Consider depicting the existing painted traffic arrows in the parking lot; adding a bike rack at the entrance for pedestrians (patrons, and staff); and relocating the dumpster from its existing location in the parking lot to a new location with a screened/fenced enclosure);
6. Show location of outdoor lights on the plan:
Guidance: Consider including a specification sheet for the proposed lights –or- a lighting photometric plan;

7. Depict grading, and landscaping plans; indicating grade change, swales, vegetation to be preserved, and new vegetation used to stabilize areas of cut and fill and/or screening; the size, location, and type of vegetation.

Guidance: Minor soil erosion and tire ruts were observed along the edges of the entrance driveway; and along slopes near paved parking areas and the two (2) stormwater swales.

Consider amending the plan to include a reinforcement edge of the parking with riprap to prevent further erosion to the stormwater swale, and maintain finished grade of the parking lot. Concrete curb stops in parking spots to prevent vehicles from overhanging the swale may be an alternative to consider.

The soil tracks adjacent to the parking area and driveway may be corrected in the short term with basic erosion control measure such as a thick layer of straw mulch. For permanent control, consider adding a landscaped area to the plan with erosion control mix (stump grindings) and a few tall shrubs (examples: *red osier dogwood, rhododendron, high bush blueberry, sweet gale, winterberry, or mountain laurel*) near areas that exhibit vehicle tracks as a deterrent to vehicles that tend to drive off paved surfaces.

Please update the site plan with labels for percent grade (example: 0-8% grade); and stormwater drainage direction with arrows at the following areas:

- 1) from the southwest lawn area moving east to the basin / swale at the south of the parking lot;
- 2) from the northeast side of the driveway moving west to the basin / swale at the north side of the parking lot;
- 3) from the southeast side of the driveway entrance to the town catch basin at Maine Street.

8. Recalculate the existing and proposed impervious area and amend the site plan accordingly.

Guidance: The numbers shown on the plan for parking and driveway pavement do not appear to be correct. The parking and driveway square footage shown on the plan should include the extent of the driveway where it starts at Maine Street and the area of the existing and new parking lot area.

9. Please depict a table with R3 Zoning District dimensional requirements; and proposed conditions. I provided an example below:

Dimensional and Density Table Zoning District R-3

Minimum Front Yard	20 ft
Minimum Rear Yard	20 ft
Minimum Side Yard	15 ft
Maximum Impervious Surface Coverage	35%
Maximum Building Height	35 ft
Maximum Building Footprint Per Structure	5,000 s.f.

Proposed:

Minimum Front Yard	# ft
Minimum Rear Yard	#
Minimum Side Yard	#
Maximum Impervious Surface Coverage	#
Maximum Building Height	#
Maximum Building Footprint Per Structure	#

The following information will be a draft condition of approval:

1. A statement from the Brunswick-Topsham Water District of conditions under which water will be provided.
2. A statement from the Fire Chief recommending the number, size, and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken.
3. A statement by the Superintendent of the Brunswick Sewer District of the condition under which the Sewer District will provide sewage disposal service and approval of the sanitary sewers proposed within the development; or a statement relative to the capacity of the sewage treatment plant to treat septic waste from proposed on-site septic systems.

Guidance: I received email correspondence from the Sewer District's Assistant General Manager, Rob Pontau below. The response to Section 509 likely will result in the requested information about additional sewer flows but you may consider addressing this directly for the record:

Rob Pontau: *"We (Brunswick Sewer District) have no objections to the project. The existing facility is connected to the BSD sewer system. We can handle any additional flow from the expansion.*

If there is no new flow (such as a storage building) then we are all set. If there is additional flow from students and staff, the applicant will need to obtain a permit for the additional flow. I will need an estimate of the additional flow and they will be subject to our entrance charge program (impact fee). They can obtain a permit online through www.brunswicksewer.org.

Building can commence before the permit is obtained, but I would ask that the codes office holds off on issuing a CO until it is verified with BSD that the fee has been paid."

From: Jared Woolston
To: ["John Libby"](#)
Subject: RE: 368 Main St. Brunswick
Date: Thursday, December 08, 2016 12:18:00 PM

John: Thanks for your time on the phone just now. Please modify the plan with:

1. a note that indicates square feet of new pavement ("proposed additional parking");
2. check to see if total impervious coverage reduced when the existing parking area was moved away from the setback;
3. indicate the new areas with shading or weighted lines (pavement, building addition, dumpster location, pavement that was removed...);
5. indicate new grading proposed south of the addition and east to the existing stormwater swale (if that is still happening).

Jared Woolston
Planner
Town of Brunswick
85 Union Street
Brunswick, ME 04011

(207) 725-6660, ext. 4022 (v)
(207) 725-6663 (f)
jwoolston@brunswickme.org
www.brunswickme.org

-----Original Message-----

From: Jared Woolston
Sent: Thursday, December 08, 2016 11:15 AM
To: 'John Libby'
Subject: RE: 368 Main St. Brunswick

Thanks. What is the square footage of new pavement?

Jared Woolston
Planner
Town of Brunswick
85 Union Street
Brunswick, ME 04011

(207) 725-6660, ext. 4022 (v)
(207) 725-6663 (f)
jwoolston@brunswickme.org
www.brunswickme.org

-----Original Message-----

From: John Libby [<mailto:jlconstruction2@aol.com>]
Sent: Thursday, December 08, 2016 11:10 AM
To: Jared Woolston
Subject: 368 Main St. Brunswick

Jared,
Take a look at this plan now and see if we should do anything different. Thank you John

From: [Rob Pontau](#)
To: [Jared Woolston](#)
Subject: Re: SRC 12/7
Date: Monday, November 28, 2016 8:59:41 AM

Jared,

No one from the District will be able to attend the meeting. Sorry.

We have no objections to the project. The existing facility is connected to the BSD sewer system. We can handle any additional flow from the expansion.

If there is no new flow (such as a storage building) then we are all set. If there is additional flow from students and staff, the applicant will need to obtain a permit for the additional flow. I will need an estimate of the additional flow and they will be subject to our entrance charge program (impact fee). They can obtain a permit online through www.brunswicksewer.org.

Building can commence before the permit is obtained, but I would ask that the codes office holds off on issuing a CO until it is verified with BSD that the fee has been paid.

Thank you.

Rob

Robert A. Pontau Jr., PE
Assistant General Manager
Brunswick Sewer District
www.brunswicksewer.org

All emails associated with the Brunswick Sewer District are considered public information and are subject to the State of Maine Freedom of Access Act.

On Wed, Nov 23, 2016 at 3:30 PM, Jared Woolston <jwoolston@brunswickme.org> wrote:

SRC is scheduled to review and take action on a minor development review proposal on 12/7 (agenda attached). Please let me know in advance if you are not planning to attend the meeting. Have a nice Thanksgiving!

Jared Woolston

Planner

Town of Brunswick

85 Union Street

Brunswick, ME 04011

[\(207\) 725-6660, ext. 4022](tel:(207)725-6660) (v)

[\(207\) 725-6663](tel:(207)725-6663) (f)

jwoolston@brunswickme.org

www.brunswickme.org

**APPROVED Findings of Fact
Special Permit (Section 701)
Libby Daycare
Planning Board Review Date: July 26, 2011**

Project Name: Libby Daycare
Case Number: 11-013
Tax Map: Map 22 Lot 37
Applicant: Sara Libby
16 Collinsbrook Road
Brunswick, Maine 04011

PROJECT SUMMARY

Public Hearing: The Board will hold a public hearing to review a proposal for a Special Permit to locate a Child Care Facility on a parcel located at 364 Maine St (**Assessor's Map 22 Map 37**).

The project proposes a child day care facility on property located at 364 Maine Street. The operation would service approximately 20 children, potentially more, with hours of operation from 7am to 5:30pm. The facility with associated parking and landscaping would be constructed if the Special Use Permit is granted for this property.

Section 306.19 of the Zoning Ordinance requires a Special Permit for child care facilities in the Residential 3 Zoning District planning to service more than six children. If the Special Permit is approved, the project is subject to development review and the applicant would undertake that process at a later date.

The proposed development is within the town's growth district.

MOTION:

Motion 1: That the Special Permit application is deemed complete.

**Review Standards from Special Permits Section 701.2 of the Town of Brunswick
Zoning Ordinance**

The following standards set forth herein shall be applied, where applicable, by the Planning Board when considering an application for Special Permit. The burden of proof of compliance with these standards rests solely with the applicant.

A. The application shall further the planning goals of the Planning Area (Appendix 1) in which the property is located, as follows:

A1. 3 Extended Neighborhood Planning Area

- A. The extended neighborhood planning areas are located adjacent to the Maine Street Neighborhood Planning Area and are intended to grow as mixed use pedestrian-oriented places similar in character to the Maine Street Neighborhood Planning Areas, except that the residential densities are lower and less non-residential development is encouraged.
- B. The Extended Neighborhood Planning Areas contain both developed and undeveloped land, where much of the future growth of the Town is likely to occur.
- C. Most of the land in this area has been developed in a suburban pattern of separated subdivisions. A key town planning goal is to weave these existing developments into a more coherent fabric, with interconnected streets.
- D. Portions of these districts contain health care facilities. Where such facilities exist, they are encouraged to continue and to add related uses that do not detract from nearby residential neighborhoods.
- E. In those neighborhoods that are currently developed with only single-family residences, business uses are discouraged as principal uses.
- F. In existing commercial or multi-family areas, multi-family residential uses and the mixing of office, apartment and retail uses in pedestrian-scale buildings are encouraged.
- G. The Extended Neighborhood Planning Areas include the following zoning districts: R (Residential) Districts and the MU3 (Upper Harpswell) and MU5 (Lower Harpswell) Districts.

The development proposes a child care facility in the Residential 3 Zoning District. This type of use is appropriate for the Extended Neighborhood Planning Area because it furthers the goal of this area accommodating much of the future growth of the town. The use is walk able for many residences in the neighborhood and is located near existing non-residential uses like Parkview Hospital.

The Planning Board finds the proposed use furthers the planning goals of the Extended Neighborhood Planning Area.

B. The application is compatible in scale to its surroundings. In making this finding, the Planning Board shall consider the size and mass of buildings where new structures are being proposed, the number of employees, residents or customers, and the size and number of vehicles servicing the use.

Notwithstanding the foregoing, when the Special Permit is proposed for a pre-existing structure, the Planning Board may find that the proposed use is compatible with its surroundings, even though it is out of scale and design with such surrounding properties if the applicant can demonstrate that the proposal will achieve mutual benefits without compromising any of the standards found in this ordinance.

The child care facility would be one building between 3,000 and 3,200 square feet with associated parking and landscaping and a fenced play area. The facility would likely employ 4 people and service approximately 20 kids with the potential for more. The lot is completely wooded providing buffers to shield the facility from abutting properties. A facility of this size would not be out of scale with its surroundings as other homes in the area are of similar size and the hospital near the lot is much larger than the proposed structure.

The Planning Board finds that the use is compatible with the scale of surrounding development.

C. The application is harmonious in design to its surroundings. In making this finding, the Planning Board shall consider building and window proportions, roof-lines, spacing of doors and windows, as well as orientation to public streets.

The application proposed is not out of character with surrounding uses in the area. While the building is yet to be constructed, the front elevation drawing provided as part of the application shows a building not out of character with the area.

The Planning Board finds the proposed development is harmonious in design and compatible to the surrounding area.

D. The application further maintains or enhances a pedestrian oriented character in planning districts where such character is encouraged.

The Extended Neighborhood Planning Area strives to be a mixed-use pedestrian-oriented region that accommodates future growth. This application furthers this goal by adding a non-residential use that is accessible on foot to the existing neighborhood.

The Planning Board finds that the application maintains the pedestrian oriented character in the Extended Neighborhood Planning District.

E. The application will not violate any standard of this Ordinance.

The proposed use does not violate any standard in the Zoning Ordinance.

The Board finds that the application will not violate any standard in the Zoning Ordinance.

Notwithstanding the foregoing, the Planning Board shall deny an application for a Special Permit if, in its determination, substantive, objective evidence from one or more persons entitled to notice is presented that reasonably demonstrates that:

- 1. The proposal will adversely affect the enjoyment or use of that person's property**
- 2. The proposal will devalue such property**

The Board finds that no person entitled to notice has presented substantive, objective evidence reasonably demonstrating that the proposed development will adversely affect the enjoyment of that person's property or that it will devalue such property.

MOTION

Motion 2: That the Special Permit is approved with the following conditions:

1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, her representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.

Planning Board Denial of Special Permits

If the Planning Board denies an application for Special Permit, the Planning Board's decision is not subject to any appeal. However, the applicant may apply to the Town Council for a zoning amendment as provided for by Section 108 of the Town of Brunswick Zoning Ordinance.



TOWN OF BRUNSWICK, MAINE

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT
28 FEDERAL STREET
BRUNSWICK, ME 04011

ANNA M. BREINICH, AICP
DIRECTOR OF PLANNING & DEVELOPMENT

PHONE: 207-725-6660
FAX: 207-725-6663

July 28, 2011

Memo to: Brunswick Town Council
Gary Brown, Town Manager

From: Kris Hultgren, Town Planner

Subject: Planning Board Special Permit Approval

On July 26, 2011, the Planning Board voted unanimously (6-0) to approve a Special Permit application by Sara Libby to locate a daycare facility at 364 Maine Street (Map 22, Lot 37). A Special Permit for a daycare facility is required per Section 306.19 of the Zoning Ordinance. The use is located in the Residential 3 Zoning District.

Section 701.1.G of the Zoning Ordinance gives the Town Council 30 days from the day the Planning Board approves the Special Permit to exercise jurisdiction over the application. If the Council decides to exercise jurisdiction by a majority vote of the Council at a public meeting, it shall hold a public hearing and may ratify, reverse or modify the decision of the Planning Board. If the Council does not decide to exercise jurisdiction over the Special Permit application, the Planning Board's decision will take effect after 30 days from the date of approval.

Attached to this memo are the Special Permit Findings of Fact approved by the Planning Board on July 26, 2011.

Cc: Charlie Frizzle, Chair, Planning Board
Anna Breinich, Director of Planning & Development
Fran Smith, Town Clerk

**APPROVED Findings of Fact
Minor Development Review
Review Dates: October 24, 2011**

Project Name: Libby Day Care
Case Number: 11-022
Tax Map: Map 22, Lot 37
Applicant: John and Sara Libby
16 Collinsbrook Road
Brunswick, Maine 04011

PROJECT SUMMARY

The applicant is constructing a 3,200 square foot daycare center at property located at 364 Maine Street including a driveway and six parking spaces. The Planning Board granted a Special Permit on July 26 to allow for a daycare facility on the property.

The project meets zoning ordinance use and space standards.

The applicant requests waivers for the following items:

- 412.1.K – Estimated Soil Boundary Locations
- 412.1.L – Existing natural, topographical and cultural features.

Review Standards from Section 411 of the Town of Brunswick Zoning Ordinance

411.1 Ordinance Provisions

The property is located at 364 Maine Street in the Residential 3 (R3) Zoning District. A Special Permit was granted by the Planning Board on July 26 that allows a daycare facility in this zone. The side setback is 15' in the R3 zone. A portion of the parking lot is shown in the side setback and must be moved to at least 15' from the side lot line. Rearranging the parking to meet the side setback is a condition of approval. The proposed use meets dimensional, density and lot configuration requirements once the parking lot is moved out of the side setback. The proposed development complies with all applicable standards in the R3 zone. *The Committee finds that the provisions of Section 411.1 are satisfied, conditional upon the applicant submitting an updated site plan with the parking lot at least 15' away from the side lot line.*

411.2 Preservation of Natural Features

The development is proposed for a mostly wooded area. There are no significant natural features on site. The development maximizes the preservation of natural features of the landscape, and does not occur within or cause harm to any land which is not suitable for development. *The Committee finds that the provisions of Section 411.2 are satisfied.*

411.3 Surface Waters, Wetlands and Marine Resources

The project within the Mere Brook Watershed but the amount of impervious surface does not require DEP permitting. The development will not have an undue adverse impact on the water quality of Mere Brook. The development will not adversely affect the Mere Brook watershed or the water quality of Casco Bay or its estuaries. *The Committee finds that the provisions of Section 411.3 are satisfied.*

411.4 Flood Hazard Areas

Based on the Flood Insurance Rate Map, community panel # 230042 0015 B, effective date, 1/3/1986, the project site is located within Zone C, described as areas of minimal flooding. The new structure is proposed for an area of minimal flooding and therefore the risk of flood damage is minimized. *The Committee finds that the provisions of Section 411.4 are satisfied.*

411.5 Stormwater Management

The small scale nature of the project allows for natural infiltration of stormwater to adequately treat runoff. *The Committee finds that the provisions of Section 411.5 are satisfied.*

411.6 Groundwater

No groundwater will be used as part of this development. The Board finds that the development will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of groundwater. *The Committee finds that the provisions of Section 411.6 are satisfied.*

411.7 Erosion and Sedimentation Control

The proposed development will not cause unreasonable soil erosion or reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results. *The Committee finds that the provisions of Section 411.7 are satisfied.*

411.8 Sewage Disposal

The development will be serviced by the Brunswick Sewer District. The applicant shall obtain a capacity to serve letter from the Sewer District confirming its ability to serve the project and obtaining this letter is a condition of approval. *The Committee finds that the provisions of Section 411.8 are satisfied, conditional upon the applicant receiving a capacity to serve letter from the Brunswick Sewer District.*

411.9 Water Supply

The development will be serviced by the Brunswick-Topsham Water District. The applicant shall obtain a capacity to serve letter from the Brunswick-Topsham Water District confirming its ability to serve the project and obtaining this letter is a condition

of approval. *The Committee finds that the provisions of Section 411.9 are satisfied, conditional upon the applicant receiving a capacity to serve letter from the Brunswick-Topsham Water District.*

411.10 Aesthetic, Cultural and Natural Values

The development will not have any undue adverse effect on the scenic or natural beauty of the area, historic sites, or significant wildlife habitat identified by the Maine Department of Environmental Protection and Inland Fisheries & Wildlife or by the Town of Brunswick, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline. *The Committee finds that the provisions of Section 411.10 are satisfied.*

411.11 Community Impact

Municipal resources are available to service the development in the case of an emergency and any on-site or off-site impacts associated with the development of the project will be mitigated. *The Committee finds that the provisions of Section 411.11 are satisfied.*

411.12 Traffic

The development will not cause unreasonable highway or public road congestion or unsafe conditions and the traffic associated with the development will maintain the existing level of service. *The Committee finds that the provisions of Section 411.12 are satisfied.*

411.13 Pedestrian and Bicycle Access and Safety

The development will accommodate bicyclists and addresses pedestrian access, safety and circulation both within the site and to points outside the site. *The Committee finds that the provisions of Section 411.13 are satisfied.*

411.14 Development Patterns

The development does not alter the town's historic development pattern. *The Committee finds that the provisions of Section 411.14 are satisfied.*

411.15 Architectural Compatibility

The proposed daycare is compatible with existing architecture in the area. *The Committee finds that the provisions of Section 411.15 are not applicable.*

411.16 Municipal Solid Waste Disposal

A solid waste impact fee of \$258.56 is assessed and payment of the fee is a condition of approval. *The Committee finds that the provisions of Section 411.16 are satisfied, conditional upon the applicant paying a solid waste impact fee of \$258.56.*

411.17 Recreational Needs

The development will not cause an unreasonable burden on the municipality's ability to provide recreational services. *The Committee finds that the provisions of Section 411.17 are satisfied.*

411.18 Access for Persons with Disabilities

The development shall comply with the Americans with Disabilities Act as applicable. *The Committee finds that the provisions of Section 411.18 are satisfied.*

411.19 Financial Capacity and Maintenance

The scope of the project is small and does not require extraordinary financial capacity to complete or maintain the development. *The Committee finds that the provisions of Section 411.19 are satisfied.*

411.20 Noise and Dust

Best Management Practices as outlined in the Maine Erosion and Sediment Control BMP's published by the Maine Department of Environmental Control, will be utilized to control dust during construction. Noise will be limited through the compliance of the site contractor with the standard hours of construction per Section 524.1. Upon construction completion, there are no anticipated impacts with regard to noise or dust. *The Committee finds that the provisions of Section 411.20 are satisfied.*

411.21 Right, Title and Interest

The project applicant owns the property and has sufficient right, title and interest in the property. *The Committee finds that the provisions of Section 411.21 are satisfied.*

411.22 Payment of Application Fees

The applicant has paid all application fees associated with the project. *The Committee finds that the provisions of Section 411.22 are not applicable.*

MOTIONS
Libby Daycare
CASE NUMBER
11-022

Motion 1: That the Minor Development Review application is deemed complete.

Motion 2: That the Minor Development Review application is approved with the following conditions:

1. That the Committee's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to receiving a building permit, the applicant shall receive a willingness to serve letter from the Brunswick Sewer District.
3. That prior to receiving a building permit, the applicant shall receive a willingness to serve letter from the Brunswick-Topsham Water District.
4. That prior to receiving a building permit, the applicant shall pay a solid waste impact fee of \$258.56.
5. That prior to the issuance of a building permit, the side setback on the site plan shall reflect 15 feet.
6. That prior to the issuance of a building permit, a copy of the easement agreement between the applicant and Hydro Systems shall be submitted to the Planning Office.
7. That prior to the issuance of a building permit, the site plan shall be updated to reflect one handicapped parking space.