



**Town of Brunswick, Maine**  
**STAFF REVIEW COMMITTEE**  
85 Union Street  
Brunswick, ME 04011

**STAFF REVIEW COMMITTEE AGENDA**  
**BRUNSWICK TOWN HALL**  
**85 UNION STREET**  
**Friday, August 7, 2020, 10:00 A.M.**

***THIS MEETING IS BEING CONDUCTED VIA ELECTRONIC DEVICES WITH STAFF REVIEW COMMITTEE MEMBERS PARTICIPATING FROM REMOTE LOCATIONS.***

***THERE IS NO OPPORTUNITY FOR THE PUBLIC TO VIEW THIS MEETING IN PERSON.***

***THE PUBLIC MAY PROVIDE COMMENT VIA EMAIL ([mpanfil@brunswickme.org](mailto:mpanfil@brunswickme.org)) PRIOR TO THE MEETING OR THEY MAY PROVIDE LIVE COMMENT VIA ZOOM VIDEO CONFERENCING AT:***

***<https://us02web.zoom.us/j/85398545601?pwd=U290Y2xIOENXQ1J6L2p6UG1vRlIOdz09>***

***OR VIA TELEPHONE AT: +1 (929) 205 6099; MEETING ID: 853 9854 5601; PASSWORD: 251852***

- 1. Case #20-027 Maine Blue Shellfish, INC:** The Staff Review Committee will review and take action on a **Minor Development Review Sketch/Final Plan** application submitted by Burnham and LoboZZo Builders LLC on behalf of Maine Blue Shellfish, INC to build a 1,900 square foot shellfish storage and distribution facility. The subject lot (Map 42, Lot 7) is within the **GM4 (Growth Mixed-Use 4) Zoning District**.
- 2. Other Business**
- 3. Adjourn**

This agenda is mailed to owners of property within 200 feet of proposed development sites. In cases where Committee action is pending this agenda serves as notice of same. In cases where the Committee's role is to advise the Planning Board, this agenda is mailed as a courtesy along with notice of the Planning Board meeting. The Staff Review Committee meeting is open to the public. All are invited to attend and participate. For further information call the Brunswick Department of Planning and Development (725-6660).

**DEVELOPMENT REVIEW  
APPLICATION**

1. Development Review application type (refer to **Appendix D**):

<input checked="" type="checkbox"/>
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**Minor Development Review**

Major Development Review: **Sketch Plan**

Major Development Review: **Final Plan**

Major Development Review: **Streamlined Final Plan**

2. Project Name: Maine Blue Shellfish, INC

3. Project Applicant

Name: Burnham and Loboizzo Builders LLC  
Address: 8 Grange Hall Road  
New Gloucester, Maine 04260  
Phone Number: 207-333-2551  
Email: jglobozzo@gmail.com

4. Project Owner (if different than applicant)

Name: Maine Blue Shellfish, INC  
Address: PO Box 357  
Brunswick, Maine 04011  
Phone Number: 617-423-1555  
Email: paul@capecodshell.com

5. Authorized Representative

Name: Charlie Burnham, PE  
Address: 38 Grange Hall Road  
New Gloucester, ME 04260  
Phone Number: 207-712-6990  
Email: edwinburnham@gmail.com

6. List of Design Consultants. Indicate the registration number, address and phone number, email for any additional project engineers, surveyors, architects, landscape architects or planners:

1. Grange Engineering, LLC (Civil Engineer)
2. \_\_\_\_\_
3. \_\_\_\_\_

7. Physical location of property: 60 Thomas Point, Brunswick Maine

8. Lot Size: 24,750 SQFT

9. Zoning District: Growth Mixed - 4

10. Overlay Zoning District(s): \_\_\_\_\_

11. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application?

The applicant is the owner of the property.

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12. Assessor's Tax Map CC2 Lot Number 7 of subject property.

13. Brief description of proposed use/subdivision: A shellfish storage and distribution facility.

\_\_\_\_\_

\_\_\_\_\_

14. Describe specific physical improvements to be done: 1,900 sqft warehouse with a paved parking and access area in front of and around the entire building.

\_\_\_\_\_

\_\_\_\_\_

Owner Signature:

\_\_\_\_\_

Applicant Signature (*if different*):

\_\_\_\_\_

**DEVELOPMENT REVIEW APPLICATION REQUIREMENTS**

The submission requirements contained in **Appendix D** of the Brunswick Zoning Ordinance (attached in checklist format for each application category) shall apply to all Minor Development, Major Development, and Streamlined Major Development Review unless a waiver is granted. Proposed development applications shall be submitted to the Director of Planning and Development.

For each item listed in Appendix D the applicant shall either submit the requested information or request a waiver from the information requirement pursuant to Subsection 5.2.9.M of the Zoning Ordinance.

REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW & MINOR REVIEW APPLICATION SUBMITTAL		Final Plan	Streamlined	Minor
General	Application form and fee			X
	Name of development			X
	Existing zoning district and overlay designations			X
	Location map			X
	Names of current owner(s) of subject parcel and abutting parcels			X
	Names of engineer and surveyor; and professional registration numbers of those who prepared the plan			X
	Location of features, natural and artificial, such as water bodies, wetlands, streams, important habitats, vegetation, railroads, ditches and buildings			X
	Documentation of Right, Title and Interest			X
	Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which common areas will be owned, maintained, and protected			X
	Draft performance guarantee or conditional agreement			
Survey, Topography, & Existing Conditions	Scale, date, north point, and area			X
	A survey submitted (stamped for final plan submittal) by a professional surveyor with a current license by the State of Maine Board of Licensure for Professional Surveyors			X
	Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed			X
	Existing easements associated with the development			X
	Location of existing utilities; water, sewer, electrical lines, and profiles of underground facilities			X
Survey, Topography, & Existing Conditions	Existing location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability			X
	Topography with contour intervals of not more than two (2) feet			
	A Medium Intensity Soil Survey, available from the Cumberland County Soil and water Conservation District,. The Planning Board may require a Class A (high intensity) Soil Survey, prepared in accordance with the standards of the Maine Association of Professional Soil Scientists, if issues of water quality, wetlands or other natural constraints are noted.			X
	Existing locations of sidewalks			X
	A delineation of wetlands, floodplains, important habitats, and other environmentally sensitive areas			X
	Approximate locations of dedicated public open space, areas protected by conservation easements and recreation areas			X

<b>REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW &amp; MINOR REVIEW APPLICATION SUBMITTAL</b>		<b>Final Plan</b>	<b>Streamlined</b>	<b>Minor</b>
<b>Infrastructure - Proposed</b>	Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of one (1) inch = 50 feet and vertical scale of one (1) = five (5) feet, with all evaluations referred to in U.S.G.S. datum			×
	Proposed easements associated with the development			×
	Kind, location, profile and cross-section of all proposed drainage facilities, both within and connections to the proposed development, and a storm-water management plan in accordance with Section			
	Location of proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of private wells.			×
	Proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability			×
	Proposed locations, widths and profiles of sidewalks			
	Locations and dimensions of proposed vehicular and bicycle parking areas, including proposed shared parking arrangement if applicable.			×
<b>Infrastructure - Proposed</b>	Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization			×
	Storm water management plan for the proposed project prepared by a professional engineer			×
	The size and proposed location of water supply and sewage disposal systems			×
	Where a septic system is to be used, evidence of soil suitability			
	A statement from the General Manager of the Brunswick Sewer District as to conditions under which the Sewer District will provide public sewer and approval of the proposed sanitary sewer infrastructure			×
	A statement from the Fire Chief recommending the number, size and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken			×
	A statement from the General Manager of the Brunswick and Topsham Water District as to conditions under which public water will be provided and approval of the proposed water distribution infrastructure			×
<b>Proposed Development Plan</b>	Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site			
	Reference to special conditions stipulated by the Review Authority			
	Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation. Dedicated public open specs, areas protected by conservation easements, and existing and proposed open spaces or recreation areas and potential connectivity to adjoining open space.			
	When applicable, a table indicating the maximum number of lots permitted based upon the applicable dimensional requirements, the number of lots proposed, and the number of lots permitted to be further subdivided.			
	Building envelopes showing acceptable locations for principal and accessory structures, setbacks and impervious coverage			×

REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW & MINOR REVIEW APPLICATION SUBMITTAL		Final Plan	Streamlined	Minor
Proposed Development Plan	Disclosure of any required permits or, if a permit has already been granted, a copy of that permit			
	A statement from the General Manager of the Brunswick and Topsham Water District regarding the proposed development if located within an Aquifer Protection Zone			
	A plan of all new construction, expansion and/or redevelopment of existing facilities, including type, size, footprint, floor layout, setback, elevation of first floor slab, storage and loading areas			X
	An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, signage and other features as may be required by specific design standards			X
	A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems			X
	A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, locations and purpose and type of vegetation			X
	Number of lots if a subdivision			
	A plan showing all ten (10) inch caliper trees to be removed as a result of the development proposal			X
	All applicable materials necessary for the Review Authority to review the proposal in accordance with the criteria of Chapter 5.			X
	Any additional studies required by the Review Authority			

## **CHAPTER 4 – PROPERTY DEVELOPMENT STANDARDS**

### **Section 1- Applicability of Property Development Standards**

The proposed project is in the GR 4 Zone. The project includes the construction of a nearly 2,000 square foot warehouse and the associated site improvements. The warehouse will be used for the storage and distribution of shellfish, similar to the direct abutter. There is no residential use associated with this project.

### **Section 2- Dimensional and Density Standards**

The lot is 100 feet wide and the required setbacks have been included on the Proposed Development Plan (Attachment 1). The development will include nearly 2,000 square feet of building and 6,500 square feet of pavement, covering a little over 34% of the site.

### **Section 3- Natural and Historic Areas**

The site was previously developed and there are no natural or historic areas on the site. Erosion control notes and details have been included as part of the Proposed Development Plan. The only impact to the groundwater will be as a result of using an existing well.

### **Section 4- Flood Hazard Standards**

There are no flood hazards in the proximity of the site. The FEMA Flood Map is included as Attachment 2.

### **Section 5- Basic and Municipal Services**

The site will be served by public sewer. An email from the Brunswick Sewer district has been included (Attachment 3). The official permit will be issued once the connection fees have been paid. Water will be supplied from an existing private well. Site will generate minimal solid waste, which will be disposed of in accordance with DEP solid waste guidance. Site will not impact more than 0.25 acres. An Erosion Control Plan has been included as part of Attachment 2.

We would like to request a waiver from meeting the stormwater quantity standards. The minimal increase in impervious area (5,300 square feet) will have a negligible impact on any stormwater infrastructure.

### **Section 6- Landscaping Requirements**

The landscaping will consist of grassed open space and protecting most of the trees in the back 100 feet of the site.

### **Section 7- Residential Recreation Requirements**

Not applicable.

### **Section 8- Circulation and Access**

The site will have a negligible impact on traffic. The curb cuts are existing.

### **Section 9- Parking and Loading**

There are four parking spaces included at the front of the building. Per Table 4.9.1.A. only 1 off-street parking space is required.

**Section 10- Lighting**

There is no outdoor lighting proposed.

**Section 11- Architectural Compatibility**

The building is consistent with the other buildings in the area. The structural drawings have been included as Attachment 5 and include elevations of each side.

**Section 12- Neighborhood Protection Standards**

Not Applicable.

**Section 13- Signs**

The proposed sign will be 4'x8'. A picture of the sign is included as Attachment 6.

**Section 14- Performance Standards**

There will be minimal/no noise, smoke, dust, fumes, odors, or vibrations associated with the operations of the facility.

**Section 15- Site Feature Maintenance**

General site maintenance will include mowing the grass and keeping the area clear of debris.

**Section 16- Financial and Technical Capacity**

The recorded deed is included as Attachment 4. A letter from the bank has been included to prove Financial Capacity. Burnham and LoboZZo builders have over 8 years of including residential, commercial, and industrial building projects.

A. SOIL EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF STABILIZED CONSTRUCTION ENTRANCES, SILTATION FENCE, EROSION CONTROL MIX, STONE CHECK DAMS, HAY BALE BARRIERS, CATCH BASIN SEDIMENT COLLECTION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AT EXPOSED STORM DRAIN AND CULVERT INLETS AND OUTLETS, AND PERMANENT VEGETATION.

A. GENERAL

1. IT IS ANTICIPATED THAT CONSTRUCTION MAY BEGIN AS SOON AS POSSIBLE FOLLOWING RECEIPT OF NECESSARY PERMITS.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION & SEDIMENT CONTROL BMPS - MANUAL FOR DESIGNERS AND ENGINEERS (2016), OR AS CURRENTLY REVISED OR U.S. ENVIRONMENTAL PROTECTION AGENCY PUBLICATION 832/R-92-005 (SEPTEMBER, 1992) STORM WATER MANAGEMENT FOR CONSTRUCTION, CHAPTER 3, WHICHEVER IS MORE STRINGENT.
3. ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED BY THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION, REPAIR/ REPLACEMENT/ MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS:
  - a.a. FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
  - a.b. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
  - a.c. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
  - a.d. FOR AREAS STABILIZED WITH RIP RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP RAP. STONE MUST BE SIZED APPROPRIATELY.
  - a.e. PAVED AREAS: FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
  - a.f. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS, OR DOWN CUTTING OF THE CHANNEL.

B. EROSION AND SEDIMENTATION CONTROL MEASURES

1. PRIOR TO THE BEGINNING OF CONSTRUCTION, THE TEMPORARY SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, OR ENGINEER. SILT FENCE SHALL BE INSTALLED ALONG THE DOWNGRADE SIDE OF CONSTRUCTION WORK AREAS, WITH LOCATIONS BEING ADJUSTED ALONG WITH THE CONSTRUCTION PHASING AREAS. THE CONTRACTOR MAY USE EROSION MIX IN PLACE OF SINGLE SILT FENCE BARRIER.
2. THE SILT FENCE SHALL BE INSTALLED PER THE DETAIL PROVIDED IN THE PLAN SET AND INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST WEEKLY IN THE ABSENCE OF SIGNIFICANT RAINFALL. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE SILT BARRIERS. THIS SEDIMENT WILL BE SPREAD AND STABILIZED IN AREAS OF THE SITE NOT SUBJECT TO EROSION. THE CONTRACTOR SHALL MAKE REPAIRS IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE LINE. IF SUCH EROSION IS OBSERVED, THE CONTRACTOR SHALL TAKE PROACTIVE ACTION TO IDENTIFY THE CAUSE OF THE EROSION AND TAKE ACTION TO AVOID ITS REOCCURRENCE. PROPER PLACEMENT OF STAKES AND KEYING THE BOTTOM OF THE FABRIC INTO THE GROUND IS CRITICAL TO THE FENCE'S EFFECTIVENESS. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THE FENCE, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM AND MEASURES TAKEN TO AVOID THE CONCENTRATION OF FLOWS NOT INTENDED TO BE DIRECTED TO THE SILT FENCE. SILT FENCE SHALL BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION.
3. EROSION CONTROL BERMS MAY BE USED IN PLACE OF SILT FENCE.
4. TEMPORARY SEDIMENT SUMPS WILL PROVIDE SEDIMENTATION CONTROL FOR STORMWATER RUNOFF FROM DISTURBED AREAS DURING CONSTRUCTION UNTIL STABILIZATION HAS BEEN ACHIEVED.
5. A CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED AT ALL ACCESS POINTS ONTO THE SITE TO PREVENT TRACKING OF SOIL ONTO ADJACENT LOCAL ROADS AND STREETS.
6. SILTSACKS™ WILL BE UTILIZED IN CATCH BASINS IN OR NEAR WORK AREAS AT RISK FROM RECEIVING TRANSPORTED SEDIMENT.
7. ALL CATCH BASINS AND FIELD INLETS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED DURING CONSTRUCTION.
8. REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT.
9. GRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER.
10. ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED IN A MANNER SUCH THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE WILL RESULT. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES. SEDIMENT BARRIERS SHALL BE INSTALLED DOWNSTREAM OF STOCKPILES. STORMWATER SHALL BE DIVERTED AROUND STOCKPILE AREAS.
11. TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY TO PREVENT OFF-SITE DRAINAGE FROM ENTERING THE WORK AREA.
12. TEMPORARY STABILIZATION SHALL BE CONSTRUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODABLE COVER.
13. TEMPORARY SEEDING SPECIFICATIONS: WHERE SEEDBED HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED. APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 600 LBS PER ACRE (13.8 LB. PER 1,000 SQUARE FEET), UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS NECESSARY. RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS:  
 AROOSTOOK RYE: RECOMMENDED SEEDING DATES: 8/15 -10/1 APPLICATION RATE: 112 LBS/ACRE  
 ANNUAL RYE GRASS: RECOMMENDED SEEDING DATES: 4/1 - 7/1 APPLICATION RATE: 40 LBS/ACRE  
 PERENNIAL RYE GRASS: RECOMMENDED SEEDING DATES: 8/15 - 9/15 APPLICATION RATE: 40 LBS/ACRE

15. PERMANENT SEEDING SPECIFICATION. IF A LANDSCAPE PLAN HAS BEEN PREPARED FOR THE PROJECT, SOIL PREPARATION AND SEED SPECIFICATIONS OF THAT PLAN SHALL SUPERSEDE THESE GENERAL PERMANENT SEEDING REQUIREMENTS. IT IS RECOMMENDED THAT PERMANENT SEEDING BE COMPLETED BETWEEN APRIL 1 AND JUNE 15 OF EACH YEAR. LATE SEASON SEEDING MAY BE DONE BETWEEN AUGUST 15 AND SEPTEMBER 15. AREAS NOT SEEDED OR WHICH DO NOT OBTAIN A SATISFACTORY GROWTH BY OCTOBER 15 SHALL BE SEEDED WITH AROOSTOOK RYE OR MULCHED AT RATES PREVIOUSLY SPECIFIED. SEE WINTER CONDITIONS NOTES FOR SEEDING STABILIZATION AFTER NOVEMBER 1.
  - a. APPLY TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES. MIX TOPSOIL WITH THE SUBSOIL TO A MINIMUM DEPTH OF 6 INCHES.
  - b. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS. IN LIEU OF SOIL TESTS, APPLY GRADED LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND GRANULAR, COMMERCIAL-GRADE, 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 800 LBS PER ACRE (18.4 LBS PER 1,000 SQUARE FEET).
  - c. UNIFORMLY APPLY SEED MIXTURE AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS NECESSARY.
  - d. THE SEED MIXTURE FOR LAWN AND FILTRATION BASIN AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:  
 30% CREEPING RED FESCUE  
 50% KENTUCKY BLUEGRASS  
 20% ITALIAN/PERENNIAL RYE GRASS  
 NOTE: SEED MIXTURE SHALL CONSIST OF AT LEAST TWO VARIETIES OF EACH TYPE OF GRASS. WHEN USED IN A FILTER BASIN, STORMWATER SHALL NOT BE DIRECTED TO THE BASIN UNTIL THE GRASS IS ESTABLISHED.
16. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE.

17. DITCH LININGS, STONE CHECK DAMS, AND RIP RAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.

18. RIP RAP REQUIRED AT CULVERTS AND STORM DRAIN INLETS AND OUTLETS SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE.

19. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 20%, IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES). EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

20. TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

C. SPECIAL MEASURES FOR SUMMER CONSTRUCTION

- DURING DRY SUMMER CONDITIONS, THE CONTRACTOR SHALL:
1. IMPLEMENT A PROGRAM TO APPLY DUST CONTROL MEASURES ON A DAILY BASIS EXCEPT THOSE DAYS WHERE PRECIPITATION IS SUFFICIENT TO SUPPRESS DUST FORMATION. THIS PROGRAM SHALL EXTEND TO AND INCLUDE SWEEPING OF ADJACENT STREETS.
  2. SPRAY ANY MULCHES WITH WATER AFTER ANCHORING TO DAMPEN THE SOIL AND ENCOURAGE EARLY GROWTH. SPRAYING MAY BE REQUIRED SEVERAL TIMES. TEMPORARY SEED MAY BE REQUIRED UNTIL THE LATE SUMMER SEEDING SEASON.
  3. COVER STOCKPILES OF FINE-GRAINED MATERIALS, OR EXCAVATED SOILS WHICH ARE SUSCEPTIBLE TO EROSION TO PROTECT FROM THE INTENSE, SHORT-DURATION STORMS WHICH ARE MORE PREVALENT IN THE SUMMER MONTHS.
  4. TAKE ADDITIONAL STEPS NEEDED, INCLUDING WATERING, OR COVERING EXCAVATED MATERIALS TO CONTROL FUGITIVE DUST EMISSIONS TO MINIMIZE REDUCTIONS IN VISIBILITY AND THE AIRBORNE DISBURSEMENT OF FINE-GRAINED SOILS. THIS IS PARTICULARLY IMPORTANT GIVEN THE POTENTIAL PRESENCE OF SOIL CONTAMINANTS, AND THEIR PROXIMITY ALONG THE ADJACENT STREETS AND PROPERTIES.
  5. THESE MEASURES MAY ALSO BE REQUIRED IN THE SPRING AND FALL DURING THE DRIER PERIODS OF THESE SEASONS.

D. WINTER CONDITIONS

1. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1ST THROUGH APRIL 15TH. IF AREAS WITHIN THE CONSTRUCTION ACTIVITY ARE NOT STABILIZED WITH TEMPORARY OR PERMANENT MEASURES OUTLINED ABOVE BY NOVEMBER 15TH, THEN THE SITE MUST BE PROTECTED WITH ADDITIONAL STABILIZATION MEASURES THAT ARE SPECIFIC TO WINTER CONDITIONS. NO MORE THAN ONE ACRE OF THE SITE MAY BE WITHOUT STABILIZATION AT ONE TIME.
2. SILT FENCE: IN LIEU OF PROVIDING THE 6" X 6" TRENCH, FOR FROZEN GROUND, STONY SOIL, THE PRESENCE OF LARGE ROOTS, OR OTHER PROHIBITIVE CONDITIONS, THE BOTTOM 8" TO 12" OF THE FABRIC MAY BE LAID ON EXISTING GRADE AND BACK FILLED WITH STONE ANCHORING MATERIAL, AS SHOWN ON THE DRAWINGS.
3. HAY MULCH SHALL BE APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
4. AFTER NOVEMBER 1ST OR THE FIRST KILLING FROST FOR THE REGION AND BEFORE SNOW FALL, ALL EXPOSED AND DISTURBED AREAS NOT TO UNDERGO FURTHER DISTURBANCE ARE TO HAVE DORMANT SEEDING. THE DORMANT SEEDING METHOD: PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED PERMANENT SEED MIXTURE AT DOUBLE THE REGULAR SEEDING RATE, AND MULCH AND ANCHOR. DORMANT SEEDINGS NEED TO BE ANCHORED EXTREMELY WELL ON SLOPES, DITCH BASES AND AREAS OF CONCENTRATED FLOWS. DORMANT SEEDING REQUIRES INSPECTION AND RESEEDING AS NEEDED IN THE SPRING. ALL AREAS WHERE COVER IS INADEQUATE MUST BE IMMEDIATELY RESEEDED AND MULCHED AS SOON AS POSSIBLE.
5. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1ST, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
6. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

E. HOUSEKEEPING

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON-SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORM WATER, AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS.
3. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:
  - DISCHARGES FROM FIREFIGHTING ACTIVITY;
  - FIRE HYDRANT FLUSHINGS;
  - VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
  - DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
  - ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
  - PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
  - UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
  - UNCONTAMINATED GROUNDWATER OR SPRING WATER;
  - FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED; UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
  - POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND LANDSCAPE IRRIGATION.

4. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:
  - WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
  - FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
  - SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
  - TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

5. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.

6. DEBRIS AND OTHER MATERIAL. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

7. COMPLY WITH THE REQUIREMENTS OF SPECIFICATION SECTION 024116, STRUCTURE DEMOLITION MANAGEMENT, FOR REMOVAL AND DISPOSAL OF CONSTRUCTION DEBRIS AND WASTE.

8. TRENCH OR FOUNDATION DE-WATERING. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED AREAS THAT ARE SPECIFICALLY DESIGNATED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFER DAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.

F. INSPECTION AND MAINTENANCE

1. INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORM WATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AND BEFORE AND AFTER A STORM EVENT, PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORM WATER CONTROLS, INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION GENERAL PERMIT AND ANY DEP OR MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES (BMPS) NEED TO BE MODIFIED IF ADDITIONAL BMPS ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (0.5IN OR GREATER IN 24-HOUR PERIOD). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.

2. AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES.

3. INSPECTION OF THE PROJECT WORK SITE SHALL INCLUDE:
  - a. IDENTIFICATION OF PROPER EROSION CONTROL MEASURE INSTALLATION IN ACCORDANCE WITH THE EROSION CONTROL DETAIL SHEET.
  - b. DETERMINE WHETHER EACH EROSION CONTROL MEASURE IS PROPERLY OPERATING. IF NOT, IDENTIFY DAMAGE TO THE CONTROL DEVICE AND DETERMINE REMEDIAL MEASURES.
  - c. IDENTIFY AREAS WHICH APPEAR VULNERABLE TO EROSION AND DETERMINE ADDITIONAL EROSION CONTROL MEASURES WHICH SHOULD BE USED TO IMPROVE CONDITIONS.
  - d. INSPECT AREAS OF RECENT SEEDING TO DETERMINE PERCENT CATCH OF GRASS. A MINIMUM CATCH OF 90 PERCENT IS REQUIRED PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.

4. IF INSPECTION OF THE SITE INDICATES A CHANGE SHOULD BE MADE TO THE EROSION CONTROL PLAN, TO EITHER IMPROVE EFFECTIVENESS OR CORRECT A SITE-SPECIFIC DEFICIENCY, THE INSPECTOR SHALL IMMEDIATELY IMPLEMENT THE CORRECTIVE MEASURE AND NOTIFY THE OWNER OF THE CHANGE.

5. ALL CERTIFICATIONS, INSPECTION FORMS, AND WRITTEN REPORTS PREPARED BY THE INSPECTOR(S) SHALL BE FILED WITH THE OWNER, AND THE PERMIT FILE CONTAINED ON THE PROJECT SITE. ALL WRITTEN CERTIFICATIONS, INSPECTION FORMS, AND WRITTEN REPORTS MUST BE FILED WITHIN ONE (1) WEEK OF THE INSPECTION DATE AND RECORDS MUST BE RETAINED FOR THREE YEARS FROM THE TIME PERMANENT STABILIZATION IS ACHIEVED.

6. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLYING WITH THE EROSION/SEDIMENT CONTROL REPORT, INCLUDING CONTROL OF FUGITIVE DUST, AND SHALL BE RESPONSIBLE FOR ANY MONETARY PENALTIES RESULTING FROM FAILURE TO COMPLY WITH THESE STANDARDS.

G. CONSTRUCTION SCHEDULE & SEQUENCE (TIMELINES ARE APPROXIMATE AND WILL BE DEPENDENT ON WEATHER AND SITE CONDITIONS).

1. PRE-CONSTRUCTION CONFERENCE: PRIOR TO ANY CONSTRUCTION AT THE SITE, REPRESENTATIVES OF THE CONTRACTOR, THE ARCHITECT, THE OWNER, AND THE SITE DESIGN ENGINEER SHALL MEET TO DISCUSS THE SCHEDULING OF THE SITE CONSTRUCTION AND THE DESIGNATION OF THE RESPONSIBLE PARTIES FOR IMPLEMENTING THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE MEETING. PRIOR TO THE MEETING, THE CONTRACTOR WILL PREPARE A DETAILED SCHEDULE AND A MARKED-UP SITE PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL CONDUCT A MEETING WITH EMPLOYEES AND SUB-CONTRACTORS TO REVIEW THE EROSION CONTROL PLAN, THE CONSTRUCTION TECHNIQUES WHICH WILL BE EMPLOYED TO IMPLEMENT THE PLAN, AND PROVIDE A LIST OF ATTENDEES AND ITEMS DISCUSSED AT THE MEETING TO THE OWNER. THREE COPIES OF THE SCHEDULE, THE CONTRACTOR'S MEETING MINUTES, AND MARKED-UP SITE PLAN SHALL BE PROVIDED TO THE OWNER.

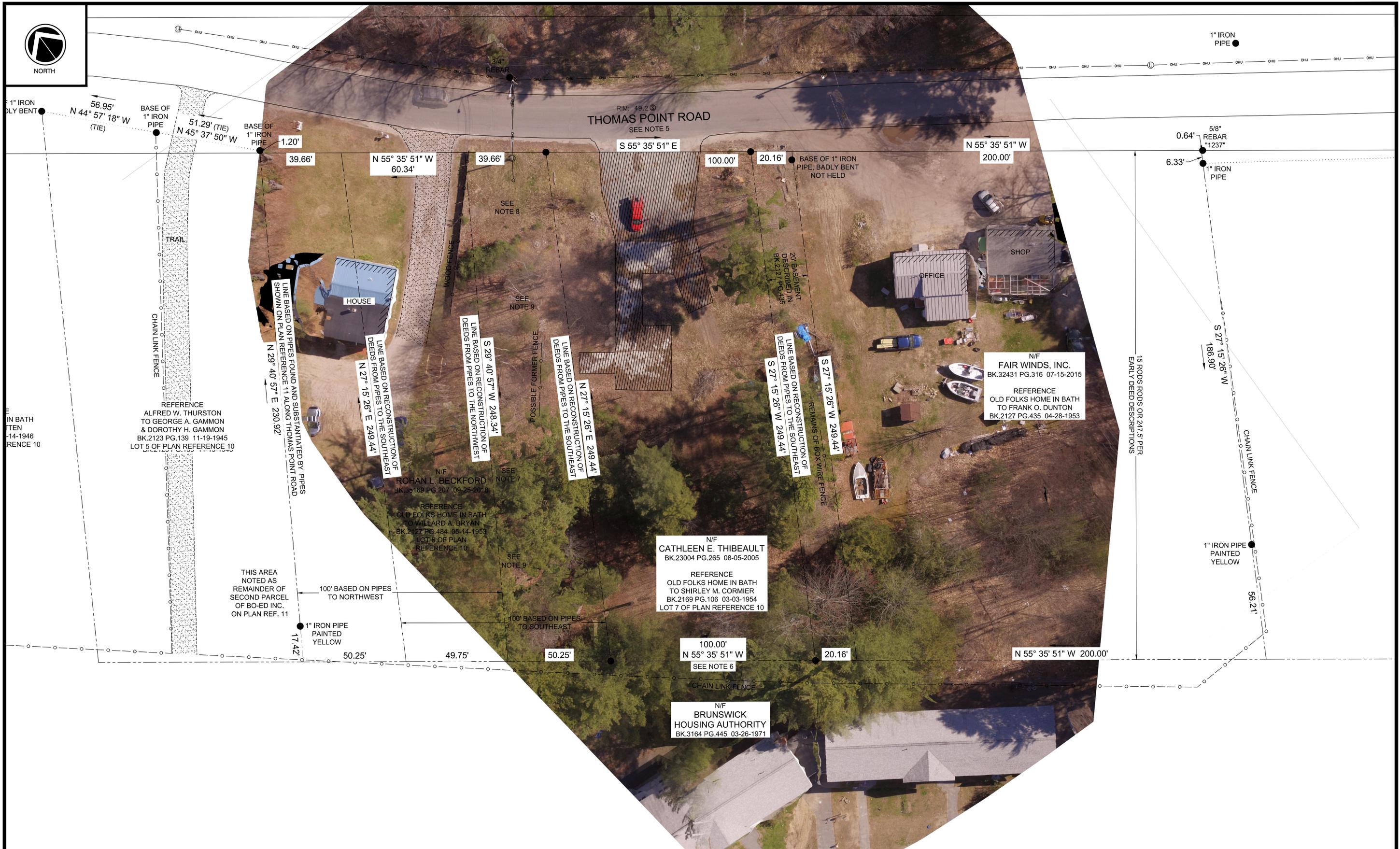
2. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES IS OPTIMIZED.
  - a. INSTALL SAFETY AND CONSTRUCTION FENCE TO SECURE THE SITE FOR CONSTRUCTION.
  - b. INSTALL ALL PERIMETER SILTATION FENCE AND EROSION CONTROL BARRIERS. PARTICULAR ATTENTION SHALL BE PAID TO AREAS UPSTREAM OF PROTECTED NATURAL RESOURCES. PROJECT LIMITS OF DISTURBANCE ARE CLEARLY DELINEATED ON THE DRAWINGS - NO ACTIVITY IS ALLOWED OUTSIDE THESE LIMITS. SIGNS SHALL BE ERECTED INDICATING THAT THE DOWNSTREAM AREAS ARE OFF LIMITS TO ALL CONSTRUCTION ACTIVITIES.
  - c. INSTALL CONSTRUCTION ENTRANCES.
  - d. CLEAR AND GRUB THE CONSTRUCTION AREA, REMOVE AND STOCKPILE UNSUITABLE FILL MATERIAL.
  - e. CONSTRUCT ACTIVITIES ON THE SITE TO OPTIMIZE THE HANDLING OF MATERIALS AND RESTRICT THE DENUDED AREAS TO THE TIME STIPULATED.
  - f. UNDERTAKE MAJOR EARTHWORK ACTIVITY TO ROUGH GRADE THE SITE
  - g. INSTALL UTILITIES AND CONSTRUCT STABILIZED PAD FOR FOUNDATION AND BUILDING CONSTRUCTION.
  - h. FINE GRADE THE SITE AND EXCAVATE FOR STORMWATER MANAGEMENT BMPS - DO NOT INSTALL UNDERDRAINS OR FILTER SOIL MATERIAL UNTIL UPSTREAM AREAS ARE FULLY STABILIZED.
  - i. INSTALL AND COMPACT NEW PAVEMENT BASE GRAVEL MATERIALS AND INSTALL BINDER PAVEMENT.
  - j. LANDSCAPE (LOAM AND SEED).
  - k. COMPLETE STORMWATER MANAGEMENT BMPS
  - l. INSTALL STRIPING, SIGNAGE, AND MISCELLANEOUS SITE IMPROVEMENTS.
  - m. REVIEW SITEMARK WITH ENGINEER AND OWNER AND COMPLETE ANY PUNCH LIST ITEMS.
  - n. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES.
3. THE CONTRACTOR MUST MAINTAIN AN ACCURATE SET OF RECORD DRAWINGS INDICATING THE DATE WHEN AN AREA IS FIRST DENUDED, THE DATE OF TEMPORARY STABILIZATION, AND THE DATE OF FINAL STABILIZATION. ON OCTOBER 1 OF ANY CALENDAR YEAR, THE CONTRACTOR SHALL SUBMIT A DETAILED PLAN FOR STABILIZING THE SITE FOR THE WINTER AND A DESCRIPTION OF WHAT ACTIVITIES ARE PLANNED DURING THE WINTER.

			<b>60 THOMAS POINT BRUNSWICK, MAINE</b>		Grange Engineering New Gloucester, ME 04260 Tel: 207.712.6990	
			<b>EROSION &amp; SEDIMENTATION CONTROL PLAN</b>			
			MAINE BLUE SHELLFISH, L.L.C. P.O. BOX 357 BRUNSWICK, MAINE 04011			
REV	DATE	DESCRIPTION	P.E. CHARLES E. BURNHAM LIC. #15377		DRAWN: CB	DATE: JULY 10, 2020
					DESIGNED: CB	SCALE: N/A
					CHECKED:	JOB NO. 2
					FILE NAME:	
		REVISIONS			SHEET: <b>D-1</b>	

**FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION**



NORTH

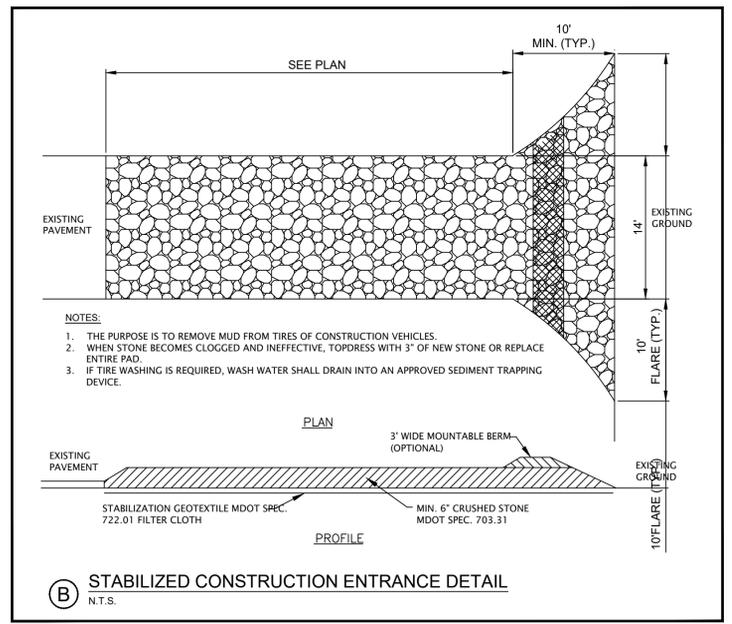
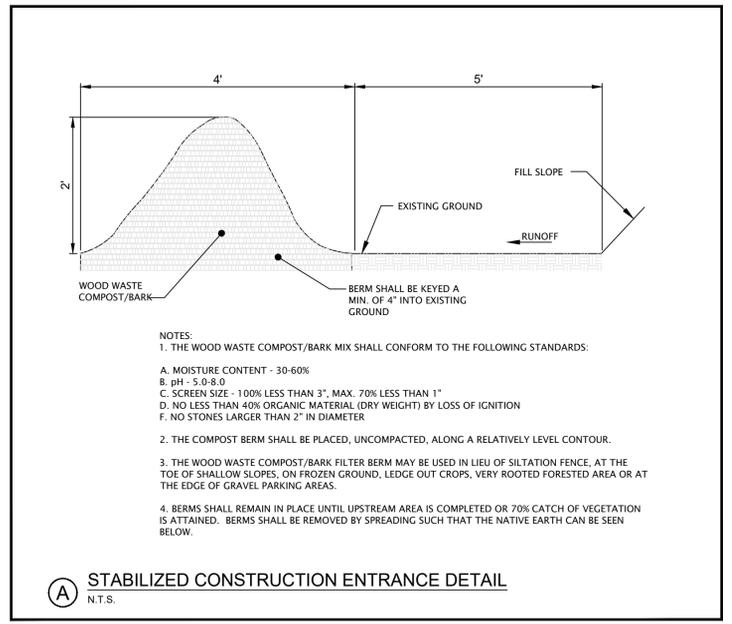
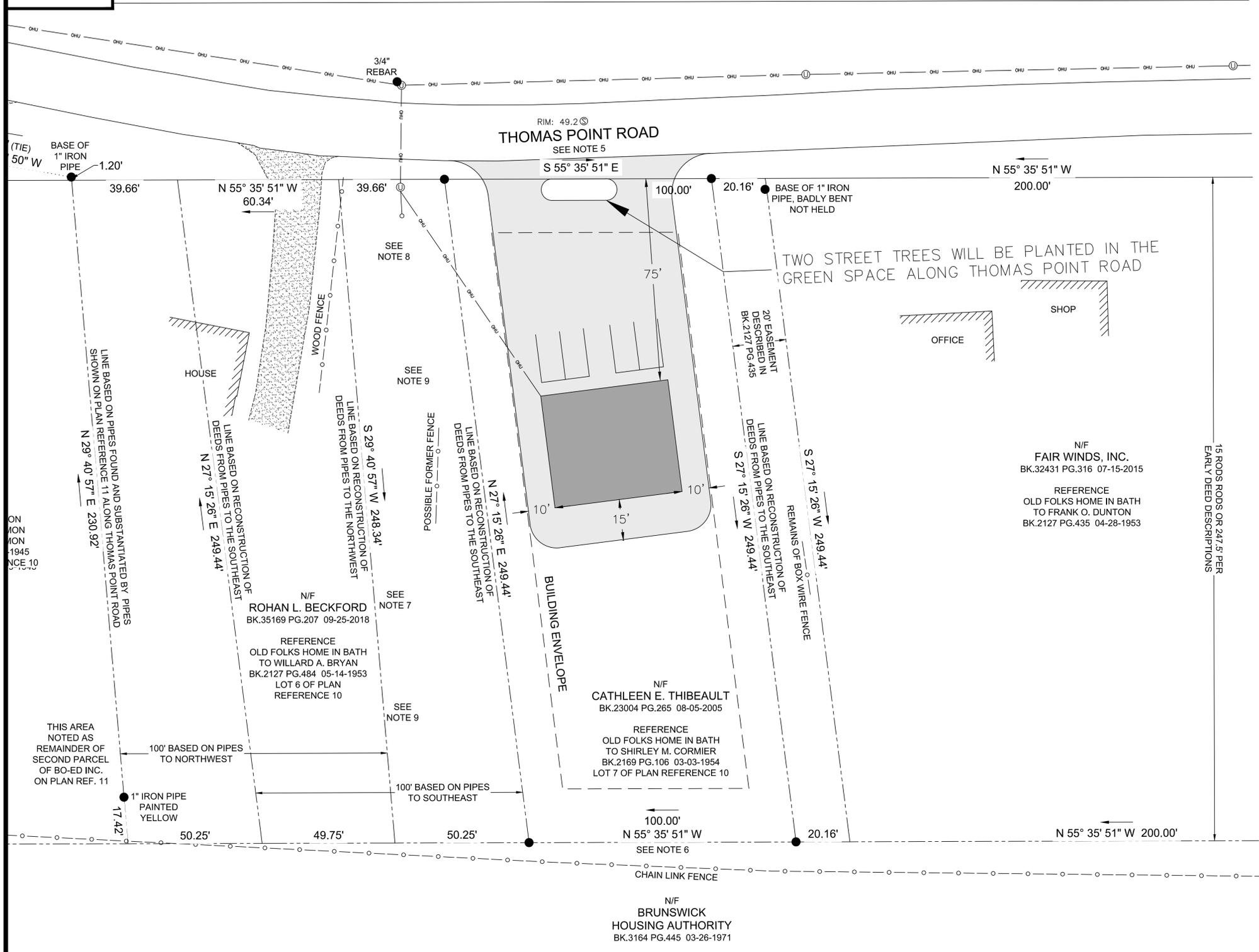


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NOT FOR CONSTRUCTION**

		60 THOMAS POINT BRUNSWICK, MAINE EXISTING CONDITIONS PLAN		Grange Engineering New Gloucester, ME 04260 Tel: 207.712.6990	
		MAINE BLUE SHELLFISH, L.L.C. P.O. BOX 357 BRUNSWICK, MAINE 04011		DRAWN: CB DESIGNED: CB CHECKED: FILE NAME: SHEET: C-1	
		P.E. CHARLES E. BURNHAM LIC. #15377		DATE: JULY 10, 2020 SCALE: 1" = 20' JOB NO. 2	
REV	DATE	DESCRIPTION	REVISIONS		



NORTH



- EROSION CONTROL NOTES:**
1. THE DISTURBED AREA WILL BE BOUNDED ON ALL THE DOWN HILL SLOPES BY AN EROSION CONTROL BERM. (SEE NOTE)
  2. IF ANY SEDIMENT IS TRACKED ONTO THOMAS POINT ROAD, THE ROAD WILL IMMEDIATELY BE SWEEPED AND A CONSTRUCTION ENTRANCE INSTALLED. (SEE NOTE)
- CONSTRUCTION NOTES:**
1. EXISTING SEWER CONNECTION WILL NEED TO BE FIELD LOCATED PRIOR TO CONSTRUCTION. (SEE ATTACHED SEWER TIE IN CARD)
  2. WATER WILL BE PROVIDED BY AN EXISTING WELL ON THE SITE.

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NOT FOR CONSTRUCTION

			<b>60 THOMAS POINT BRUNSWICK, MAINE</b> PROPOSED DEVELOPMENT PLAN	Grange Engineering New Gloucester, ME 04260 Tel: 207.712.6990
			MAINE BLUE SHELLFISH, L.L.C. P.O. BOX 357 BRUNSWICK, MAINE 04011	
				DRAWN: CB      DATE: JULY 10, 2020 DESIGNED: CB      SCALE: 1" = 20' CHECKED:      JOB NO. 2 FILE NAME: SHEET: C-2
REV      DATE      DESCRIPTION	P.E. CHARLES E. BURNHAM LIC. #15377	REVISIONS		

BRUNSWICK SEWER DISTRICT

SERVICE LOCATION TIE CARD

Permit # 890

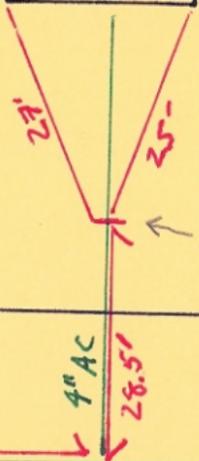
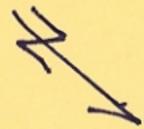
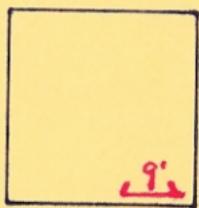
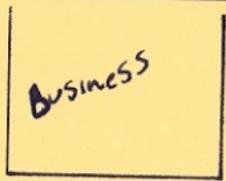
LOCATION 60 Thomas Pt. Rd

CONTRACTOR \_\_\_\_\_

DATE INSTALLED \_\_\_\_\_

INSPECTED BY ER / MJ

REMARKS \_\_\_\_\_

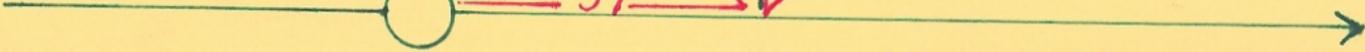


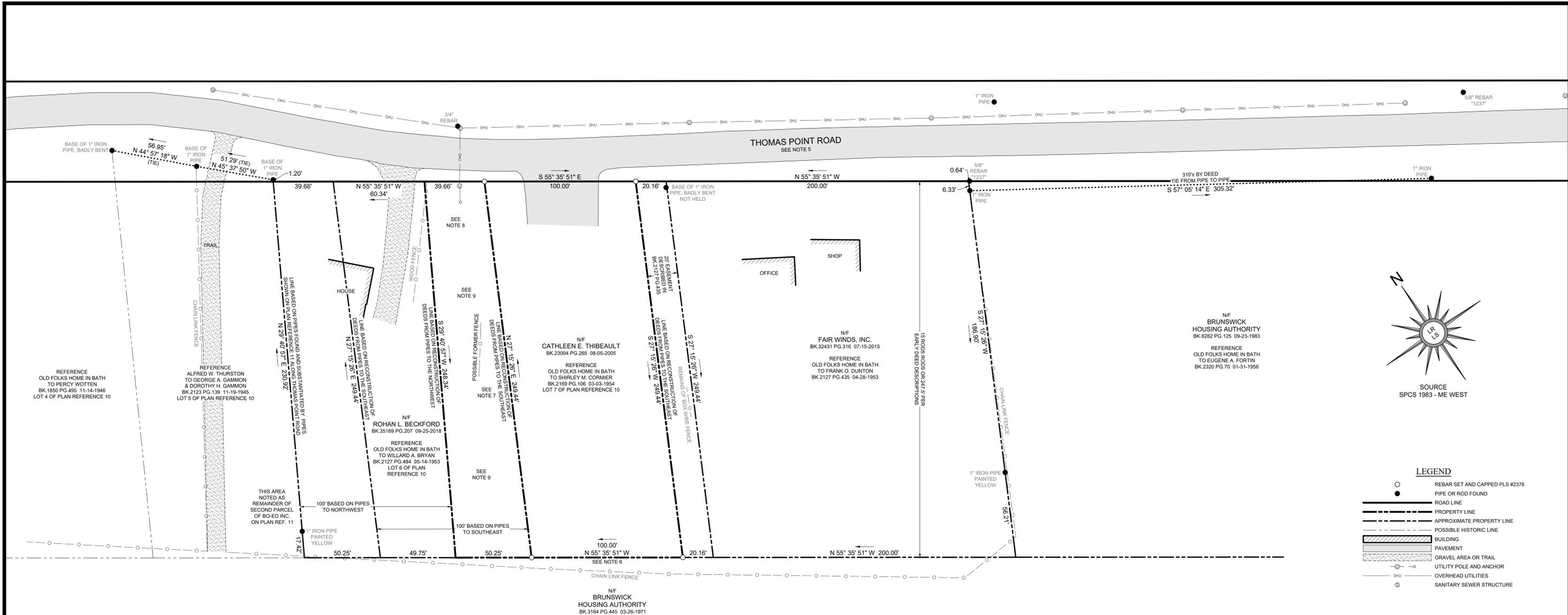
← Pipe was cut / +vid from here 1-13-03

4" AC



39'





REFERENCE  
OLD FOLKS HOME IN BATH  
TO PERCY WOTTEN  
BK 1850 PG.495 11-14-1946  
LOT 4 OF PLAN REFERENCE 10

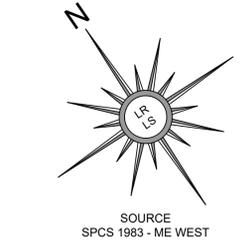
REFERENCE  
ALFRED W. THURSTON  
TO GEORGE A. GAMMON  
& DOROTHY H. GAMMON  
BK 2123 PG.139 11-19-1945  
LOT 5 OF PLAN REFERENCE 10

NF  
ROHAN L. BECKFORD  
BK 35169 PG.207 09-25-2018  
REFERENCE  
OLD FOLKS HOME IN BATH  
TO WILLARD A. BRYAN  
BK 2127 PG.484 05-14-1953  
LOT 9 OF PLAN  
REFERENCE 10

NF  
CATHLEEN E. THIBEAULT  
BK 23004 PG.265 08-05-2005  
REFERENCE  
OLD FOLKS HOME IN BATH  
TO SHIRLEY M. CORMIER  
BK 2169 PG.106 03-03-1954  
LOT 7 OF PLAN REFERENCE 10

NF  
FAIR WINDS, INC.  
BK 32431 PG.316 07-15-2015  
REFERENCE  
OLD FOLKS HOME IN BATH  
TO FRANK O. DUNTON  
BK 2127 PG.435 04-28-1953

NF  
BRUNSWICK  
HOUSING AUTHORITY  
BK 3164 PG.445 03-26-1971



- LEGEND**
- REBAR SET AND CAPPED PLS #2376
  - PIPE OR ROD FOUND
  - ROAD LINE
  - - - PROPERTY LINE
  - · - · - APPROXIMATE PROPERTY LINE
  - · - · - POSSIBLE HISTORIC LINE
  - ▨ BUILDING
  - ▨ PAVEMENT
  - ▨ GRAVEL AREA OR TRAIL
  - ○ ○ UTILITY POLE AND ANCHOR
  - ○ ○ OVERHEAD UTILITIES
  - ○ ○ SANITARY SEWER STRUCTURE

**PLAN REFERENCES**

- 1) "SANDY RIDGE - PHASE I - FINAL PLAN" DATED MAY 24, 1984 BY LARRY SLAUGHTER, RECORDED IN PLAN BOOK 143, PAGE 18.
- 2) "REGISTRY PLAN, PHASES II, III AND IV, SANDY RIDGE SUBDIVISION" DATED JANUARY 3, 1989 BY KIMBALL CHASE COMPANY, INC. RECORDED IN PLAN BOOK 177, PAGE 4.
- 3) "SUBDIVISION PLAN AMENDMENT TO REGISTRY PLAN PHASES II, III AND IV, SANDY RIDGE SUBDIVISION" DATED JANUARY 10, 1992 BY SITELINES, INC. RECORDED IN PLAN BOOK 192, PAGE 161.
- 4) "SUBDIVISION PLAN OF PARCELS OF LAND... FOR WAL-MART STORES, INC." DATED JANUARY 6, 1992 BY SITELINES, INC. RECORDED IN PLAN BOOK 192, PAGE 160.
- 5) "PLAN OF STANDARD BOUNDARY SURVEY OF PROPERTIES OF: MCDERMOTT, AUSTIN, CURRY, BIBBER, WILLIAMS, ET AL" DATED MAY 20, 1993 BY PAUL H. RUOPP JR. RECORDED IN PLAN BOOK 194, PAGE 62.
- 6) "AMENDED SUBDIVISION PLAN, WAL-MART STORES, INC." DATED JULY 9, 1993 BY THAYER ENGINEERING CO. RECORDED IN PLAN BOOK 193, PAGE 299.
- 7) "LAYOUT OF A PORTION OF SANDY RIDGE ROAD, SANDY RIDGE SUBDIVISION, PHASE II" DATED JANUARY 19, 1996 BY WRIGHT-PIERCE. RECORDED IN PLAN BOOK 196, PAGE 168.
- 8) "PLAN OF PROPERTIES... FOR BRUNSWICK COMMERCIAL ASSOCIATES" DATED JUNE 20, 1985 BY WRIGHT-PIERCE. RECORDED IN PLAN BOOK 151, PAGE 10.
- 9) "STANDARD BOUNDARY SURVEY... LAND OF HARRY C. CROOKER, LAND OF MARION A. CROOKER" DATED JUNE 8, 1989 BY SHIRLEY F. BEAL. RECORDED IN PLAN BOOK 191, PAGE 22.
- 10) AN UNRECORDED PLAN, POSSIBLY FOR ALFRED W. THURSTON, DATED CIRCA 1945 BY WARD E. FLYNN, MENTIONED IN MANY OF THE SOURCE DEEDS FOR THIS SERIES OF LOTS, NOT RECOVERED BY THIS SURVEYOR.

**PLAN REFERENCES CONTINUED**

- 11) "PLAN OF SHARED EASEMENTS BETWEEN PROPERTIES OF: THEATRICKS, INC., BO-ED, INC. & MOTEL SERVICE, INC." DATED MARCH 28, 1995 AND RECORDED IN PLAN BOOK 195, PAGE 161.
- 12) "PROPERTY OF BOWKER HEIRS" FROM CIRCA 1911. RECORDED IN PLAN BOOK 12, PAGE 3.
- 13) "STANDARD BOUNDARY SURVEY, HARRY C. CROOKER AND MARION A. CROOKER" DATED APRIL 8, 1988 BY SHIRLEY F. BEAL. RECORDED IN PLAN BOOK 170, PAGE 2.
- 14) "STANDARD BOUNDARY SURVEY FOR MELROSE ASSOC., INC." DATED SEPTEMBER 14, 1988. RECORDED IN PLAN BOOK 174, PAGE 41.
- 15) "STANDARD BOUNDARY SURVEY, LAND OF MAINE GRAVEL SERVICES, INC." DATED OCTOBER 4, 1997. RECORDED IN PLAN BOOK 198, PAGE 46.
- 16) "PLAN OF BOUNDARY SURVEY OF: PROPERTY OF BO-ED, INC. WORLD GYM PARCEL" DATED FEBRUARY 26, 2002. RECORDED IN PLAN BOOK 202, PAGE 351.
- 17) "WORKSHEET MADE FOR THE ESTATE OF VIOLA STINSON" DATED FEBRUARY 20, 2012. APPARENTLY UNRECORDED.
- 18) "SURVEY PLAN OF LAND TO BE CONVEYED TO PRIORITY ONE, LLC & PRIORITY TWO, LLC" DATED NOVEMBER 8, 2016. RECORDED IN PLAN BOOK 217, PAGE 1.

**NOTES**

- 1) OWNER OF RECORD: CATHLEEN E. THIBEAULT. REFERENCE DEED DATED AUGUST 5, 2005 RECORDED IN BOOK 23004, PAGE 265. BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- 2) BEARINGS ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM OF 1983, MAINE WEST ZONE, AS DERIVED FROM OBSERVATIONS PERFORMED WITH A LEICA GS14 GNSS RECEIVER PROCESSED IN REAL TIME USING THE MAINE DEPARTMENT OF TRANSPORTATION VRS SERVICE.
- 3) ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DERIVED FROM OBSERVATIONS PERFORMED WITH A LEICA GS14 GNSS RECEIVER PROCESSED IN REAL TIME USING THE MAINE DEPARTMENT OF TRANSPORTATION VRS SERVICE.
- 4) THE SUBJECT PARCEL IS SHOWN IN ZONE C. AREAS OF MINIMAL FLOODING (NO SHADING), AS DEPICTED ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF BRUNSWICK, MAINE WITH COMMUNITY-PANEL NUMBER 230042 0015 B AND AN EFFECTIVE DATE OF JANUARY 3, 1986.
- 5) THE RIGHT OF WAY LINES OF THOMAS POINT ROAD ARE BASED ON A BEST FIT OF OVER 4000 FEET OF THE CENTERLINE OF THE ROAD AS IT IS CURRENTLY CONSTRUCTED, BASED ON THIS LOCATION IT APPEARS ALL CURRENTLY DEVELOPED INFRASTRUCTURE, WITH THE EXCEPTION OF A FEW POLE ANCHORS, FALLS WITHIN A 4 ROD (66 FOOT) WIDTH AS DEFINED IN A LAYOUT ON FILE WITH THE CUMBERLAND COUNTY COMMISSIONERS IN VOLUME 1, PAGE 69 DATED OCTOBER 6, 1784. SPECIFIC REFERENCE MAY BE MADE TO A CALL OF "S 45° E, 248 (RODS) ON THE LINE BETWEEN SAMUEL THOMPSON AND ANTHONY COOMBS" WHICH APPEARS TO DESCRIBE THIS LOCATION.
- 6) THIS LINE IS BASED ON HOLDING A DISTANCE OF 15 RODS FROM THE SOUTHWEST LINE OF THOMAS POINT ROAD AS DESCRIBED IN EARLY DEEDS. THIS LINE PASSES THROUGH OR VERY NEAR THE LOCATION OF A 1 1/2 INCH IRON PIPE SHOWN ON PLAN REFERENCE 11 NEAR THE WESTERLY CORNER OF LAND SHOWN OWNED BY DAVID A. MCRATER WHICH WAS CONVEYED OFF THE NORTHWESTERN END OF THE PARENT TRACT OF THE SUBJECT PARCEL.
- 7) THERE IS SIGNIFICANT EVIDENCE OF HISTORICAL OCCUPATION IN THIS AREA INCLUDING A DUG WELL AND THE REMAINS OF CONCRETE PADS FROM VARIOUS STRUCTURES WHICH APPEAR TO HAVE BEEN OCCUPIED BY OWNERS OF THE THIBEAULT PARCEL. AERIAL PHOTOGRAPHY THROUGH 2009 INDICATES WHAT APPEARS TO BE A FENCE RUNNING THROUGH THIS AREA. IT LOOKS LIKE THESE STRUCTURES WERE REMOVED SOMETIME BETWEEN 2009 AND 2012.
- 8) AERIAL PHOTOGRAPHY INDICATES THE PRESENCE OF A GRAVEL DRIVEWAY IN THIS AREA THAT APPEARS TO HAVE BEEN UTILIZED BY OWNERS OF THE BECKFORD PARCEL UNTIL SOMETIME BETWEEN 2009 AND 2012.
- 9) THERE ARE DISCREPANCIES IN THIS AREA BETWEEN THE DIMENSIONS IN DEEDS REVIEWED BY THIS SURVEYOR MENTIONING LOTS CONVEYED BETWEEN 1945 AND 1953 FROM PLAN REFERENCE 10 AND PIPES FOUND WHICH APPEAR TO HAVE MONUMENTED THOSE LOTS. THE ISSUE IS FURTHER MUDDIED BY THE FACT THERE HAS BEEN SIGNIFICANT DEVELOPMENT NORTHWEST OF THE BECKFORD PARCEL OBSCURING OR DESTROYING ANY BOUNDARY EVIDENCE IN THOSE AREAS.



**CERTIFICATION**

TO: MAINE BLUE SHELLFISH, INC.  
TO THE BEST OF MY KNOWLEDGE THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING EXCEPTIONS:

1) NO SEPARATE REPORT



*J. Raitt*  
JERAMIAH RAITT PLS #2376

<b>STANDARD BOUNDARY SURVEY</b>	
FOR <b>MAINE BLUE SHELLFISH, INC.</b> C/O PAUL TODESCA, CAPE COD SHELLFISH 8 SEAFOOD WAY, BOSTON, MA 02210	
SITE LOCATION <b>60 THOMAS POINT ROAD BRUNSWICK, MAINE</b>	DATE: MARCH 23, 2020 SCALE: 1" = 30'
<b>LITTLE RIVER</b> LAND SURVEYING, INC. ME PLS #2376 NH LLS #957 PO BOX 332, LISBON FALLS MAINE 04252 (207) 841-0056	
PROJECT #20-018 DRAWING #20-018 DRAWN BY: JUR	

**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **foodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) Report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS Report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only landward of 0.0 North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study Report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **foodways** were computed at cross sections and interpolated between cross sections. The foodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study Report for this jurisdiction.

The AE Zone category has been divided by a **Limit of Moderate Wave Action (LIMWA)**. The LIMWA represents the approximate landward limit of the 1.5-foot breaking wave. The effects of wave hazards between the VE Zone and the LIMWA (or between the shoreline and the LIMWA for areas where VE Zones are not identified) will be similar to, but less severe than those in the VE Zone.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study Report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) zone 19. The **horizontal datum** was NAD 83, GRS 1980 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSMC-3, #9202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

**Base Map** information shown on this FIRM was derived from the Maine Office of Geographic Information Systems (MEGIS) at a scale of 1:6,000 or better from photography dated May 2013.

The **profile baselines** depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result of improved topographic data, the **profile baseline**, in some cases, may deviate significantly from the channel centerline or appear outside the SFHA.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and foodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables for multiple streams in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

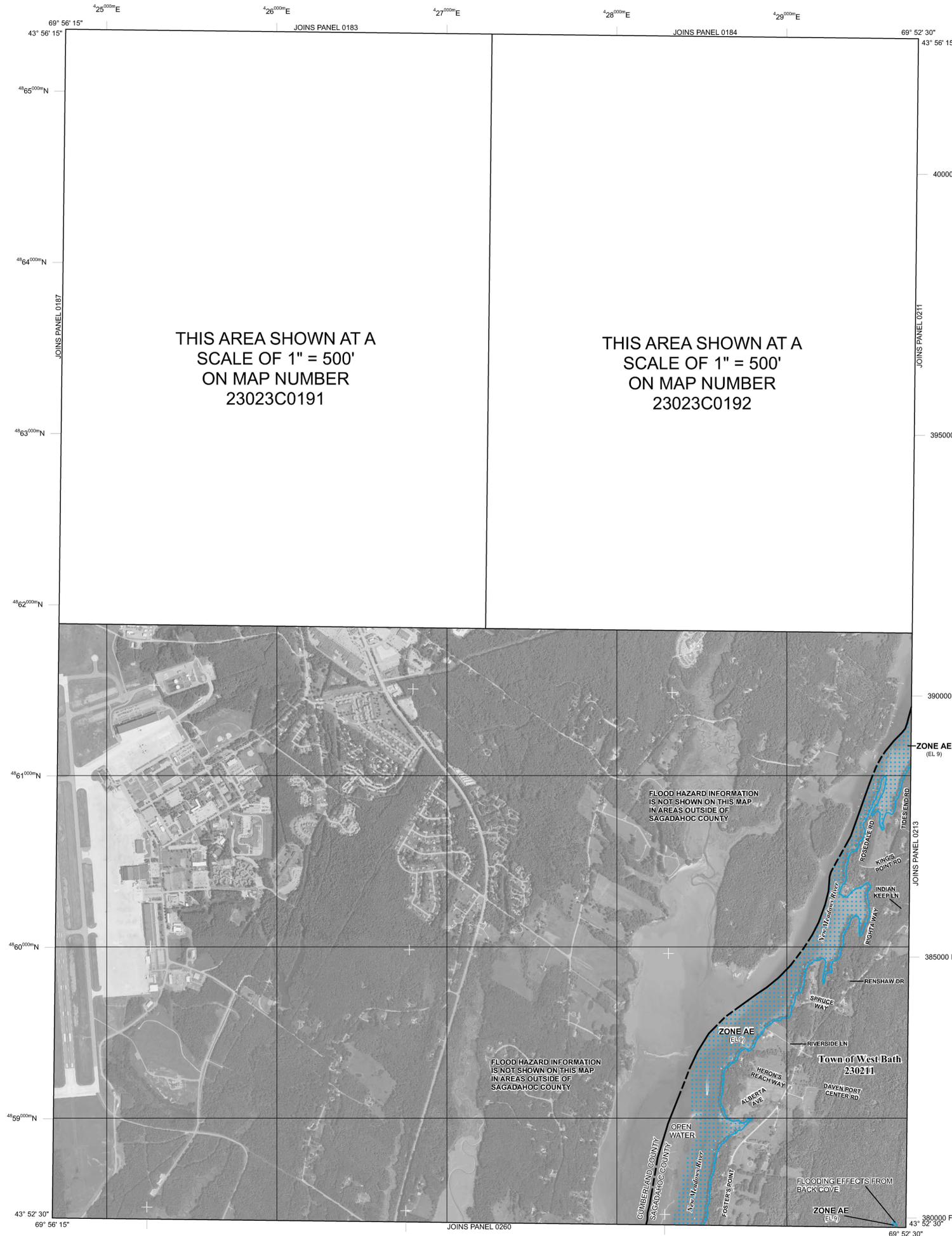
Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information on available products associated with this FIRM visit the **Map Service Center (MSC)** website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have **questions about this map**, how to order products, or the National Flood Insurance Program in general, please call the **FEMA Map Information eXchange (FMIX)** at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/nfp>.

**State of Maine Floodway Note:** Under the Maine Revised Statutes Annotated (M.R.S.A.) Title 30 § 439-A, 7C where the floodway is not designated on the Flood Insurance Rate Map, the floodway is considered to be the channel of a river or other water course and the adjacent land areas to a distance of one-half the width of the floodplain, as measured from the normal high water mark to the upland limit of the floodplain, unless a technical evaluation certified by a registered professional engineer is provided demonstrating the actual floodway based upon approved FEMA modeling methods.

Only coastal structures that are certified to provide protection from the 1-percent-chance annual flood are shown on this panel. However, all structures taken into consideration for the purpose of coastal flood hazard analysis and mapping are present in the DFIRM database in S\_Gen\_Struct.



THIS AREA SHOWN AT A  
SCALE OF 1" = 500'  
ON MAP NUMBER  
23023C0191

THIS AREA SHOWN AT A  
SCALE OF 1" = 500'  
ON MAP NUMBER  
23023C0192

**LEGEND**

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD  
The 1% annual chance flood (100-year flood), also known as the base flood, is the flood area that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently deteriorated. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS
- ZONE D** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
- OTHERWISE PROTECTED AREAS (OPAs)

- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% Annual Chance Floodplain Boundary
- 0.2% Annual Chance Floodplain Boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities.
- Limit of Moderate Wave Action
- Limit of Moderate Wave Action coincident with Zone Break
- Base Flood Elevation line and value; elevation in feet\*
- Base Flood Elevation value where uniform within zone; elevation in feet\*

- \*Referenced to the North American Vertical Datum of 1988
- Cross section line
- Transect line
- 45° 02' 08" - 93° 02' 12" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83) Western Hemisphere
- 3100000 FT 5000-foot ticks: Maine State Plane West Zone (FIPS Zone 1802), Transverse Mercator projection
- 1000-meter Universal Transverse Mercator grid values, zone 19
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- River Mile
- MAP REPOSITORIES**  
Refer to Map Repositories list on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP**  
July 16, 2015
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 1000'

500 0 1000 2000 FEET  
300 0 300 600 METERS

**NATIONAL FLOOD INSURANCE PROGRAM**

**PANEL 0195F**

**FIRM**

**FLOOD INSURANCE RATE MAP**

**SAGADAHOC COUNTY, MAINE**

**(ALL JURISDICTIONS)**

**PANEL 195 OF 375**

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
WEST BATH, TOWN OF	230211	0195	F

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
23023C0195F  
**EFFECTIVE DATE**  
JULY 16, 2015  
**Federal Emergency Management Agency**

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**From:** Rob Pontau  
**Sent:** Monday, July 6, 2020 9:23 AM  
**To:** edwinburnham@gmail.com  
**Cc:** Wes D. Wharff; Bonnie Shippen  
**Subject:** Re: BSD Entrance Permit Application

Hello Charlie,

Your permit for 60 Thomas Point Road is approved. Based on our discussion this morning, there will be relatively low usage of the sewer of the facility. The building will have a few employees and will be around 2,000 SF. The minimum entrance charge for a single dwelling will be assessed. The entrance charge is \$2,147.00. You can pay online at [brunswicksewer.org](http://brunswicksewer.org) or by mail or in person at 10 Pine Tree Road. If you need to arrange another form of payment, contact Bonnie Shippen at [bshippen@bsewer.org](mailto:bshippen@bsewer.org).

Once the permit fee is paid, you will be provided with a permit number. Before connecting to the sewer, please make sure and contact Wes Wharff at 841-7826 or [wwharff@bsewer.org](mailto:wwharff@bsewer.org) to arrange for an inspection.

Thank you for using our online permit system.

Rob

On Fri, Jul 3, 2020 at 11:29 AM BSD Entrance Permit <[shared@bsewer.org](mailto:shared@bsewer.org)> wrote:

Thank you for submitting an entrance permit application. You will be contacted by BSD staff soon to arrange for payment (if any) and inspection services. We hope you enjoy our online permit application. A copy of your submission is attached.

BSD Staff

MAINE REAL ESTATE TAX-Paid

DLN: 1002040091312

AFTER RECORDING RETURN TO:

Jeffrey B. Herbert, Esq.  
Jensen Baird Gardner & Henry  
P.O. Box 4510  
Portland, Maine 04112-4510

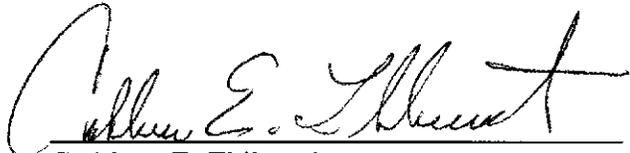
WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS that **CATHLEEN E. THIBEAULT**, whose address is 1174 Augusta Road, Bowdoin, Maine 04287-7728, for consideration paid, grants to **MAINE BLUE SHELLFISH, INC.**, a Maine business corporation whose address is 8 Seafood Way Docks 5-12, Boston, Massachusetts 02210, WITH WARRANTY COVENANT, a certain lot or parcel of land, with any buildings thereon, located in the Town of Brunswick, County of Cumberland and State of Maine, being more particularly described on Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said Cathleen E. Thibeault has caused this instrument to be executed and delivered this 31<sup>st</sup> day of March, 2020.

WITNESS:

  
\_\_\_\_\_

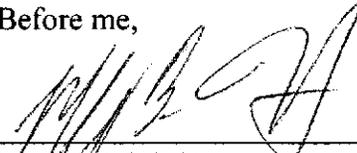
  
\_\_\_\_\_  
Cathleen E. Thibeault

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss.

March 31, 2020

Then personally appeared the above-named Cathleen E. Thibeault and acknowledged the foregoing instrument to be her free act and deed.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law  
Print Name: Jeffrey B. Herbert  
Bar No. 1008965

**EXHIBIT A**

A certain lot or parcel of land together with the mobile home and buildings thereon, situated at East Brunswick, so-called, in the Town of Brunswick, County of Cumberland and State of Maine, bounded and described as follows, to wit:

Beginning on the westerly side of the Bull Rock Road leading from Thomas Point to Brunswick at the southeast corner of land now or formerly owned by one Willard A. Brogan; thence running South forty (40) degrees West by said Brogan's southerly line two hundred fifty (250) feet more or less, to the easterly line of land now or formerly owned by George Gammon; thence turning and running South forty-two (42) degrees forty (40) minutes East by said Gammon's land one hundred (100) feet; thence turning and running North forty (40) degrees East keeping a distance of one hundred (100) feet southerly and parallel to said Brogan's southerly line two hundred fifty (250) feet, more or less, to the westerly side of the Bull Rock Road; thence in a northwesterly direction by said road to the point of beginning.

The above described premises being lot numbered seven (7) on an unrecorded plan, which is a portion of the property conveyed by Alfred W. Thurston to the Old Folk's Home in Bath by the following instruments:

Warranty Deed dated November 16, 1939, recorded in Cumberland Registry, Book 1590, Page 420; Warranty Deed recorded in Cumberland Registry, Book 1800, Page 224.

Meaning and intending to convey the same premises conveyed by Warranty Deed dated August 5, 2005 from Shirley M. Hart and David A. Hart to Cathleen E. Thibeault and recorded in the Cumberland County Registry of Deeds in Book 23004, Page 265.

Also conveying and releasing to the Grantee, without title covenant, all right, title, and interest to all property of the Grantor abutting the above described premises and located on the westerly side of the Bull Rock Road leading from Thomas Point to Brunswick.

**BUILDING INFORMATION:**

BUILDING SPAN: 48  
 BUILDING LENGTH: 42  
 EAVE HEIGHT: 16 /16  
 ROOF PITCH: 1.0:12

**BUILDING COLORS:**

GABLE/EAVE: Royal Blue  
 JAMB: Royal Blue  
 BASE: Light Stone  
 CORNER: Royal Blue  
 GUTTER: Royal Blue  
 DOWNSPOUT: Royal Blue  
 PRIMARY FRAMING: RED OXIDE  
 SECONDARY FRAMING: RED OXIDE

**DESIGN LOADS:**

DESIGN CODE/ED.: IBC 18  
 LIVE LOAD (ROOF) 53.00 P.S.F.  
 DEAD LOAD(ROOF) 2.000 P.S.F.  
 SNOW LOAD(ROOF) 49 P.S.F.  
 WIND LOAD 111 M.P.H.  
 EXPOSURE: B  
 SEISMIC ZONE: B  
 SEISMIC COEF.: 0.445  
 COLLATERAL LOAD 1 P.S.F.  
 IMPORTANCE FACTORS:  
 WIND: lw= 1.00  
 SEISMIC: le= 1.00  
 SNOW: ls= 1.00

# MBMI

## METAL BUILDINGS

### DRAWING COVER SHEET FOR:

CUSTOMER: MARK CASEY  
 ADDRESS: 20 OAK STREET  
BEVERLY, MA 01915

PHONE: 978-358-1203 FAX: \_\_\_\_\_  
 PROJECT: JONATHAN LABOZZO  
 LOCATION: BRUNSWICK, ME 04011

**GENERAL NOTES**

- MATERIALS:**

HOT ROLLED BAR	Fy = 50 ksi MIN.
STRUCTURAL STEEL SHEET	Fy = 50 ksi MIN.
STRUCTURAL STEEL PLATE	Fy = 50 ksi MIN.
COLD FORMED SHAPES	Fy = 55 ksi MIN.
ROOF AND WALL SHEETING	Fy = 80 ksi MIN. 26GA.
ROOF AND WALL SHEETING	Fy = 50 ksi MIN. 24GA.
BOLTS	A307 AND A325

MBMI METAL BUILDINGS RESERVES THE RIGHT TO SUBSTITUTE THE ABOVE MATERIALS WITH EQUAL OR BETTER MATERIAL.
- A325 BOLT TIGHTENING REQUIREMENTS**  
 ALL HIGH STRENGTH BOLTS ARE A325 UNLESS NOTED OTHERWISE. HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE "TURN OF THE NUT" METHOD IN ACCORDANCE WITH THE LATEST EDITION AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". A325 BOLTS SHALL BE INSTALLED WITHOUT WASHERS WHEN TIGHTENED BY THE "TURN OF THE NUT" METHOD. ALL BOLTED CONNECTIONS, FOR SHEAR / BEARING CONNECTION TYPE WITH BOLT THREADS EXCLUDED FROM THE SHEAR PLANE SHALL BE SNUG TIGHT ONLY.
- ALL STRUCTURAL STEEL TO RECEIVE A RUST INHIBITIVE PRIMER. THIS PAINT IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS.
- PRE-FORMED CLOSURE STRIPS ARE PROVIDED AT THE EAVE BENEATH THE ROOF SHEETS AND AT THE ENDWALLS BETWEEN THE RAKE TRIM AND THE ENDWALL SHEETS.
- BUILDING DESIGN AS PER METAL BUILDING SYSTEMS MANUAL 2018.
- WALL AND LINER PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. UNAUTHORIZED REMOVAL OF PANELS OR CUTTING PANELS FOR FRAMED OPENINGS NOT SHOWN IS PROHIBITED.
- OIL-CANNING, A PERCEIVED WAVINESS INHERENT TO LIGHT GAUGE METAL, MAY EXIST. THIS CONDITION DOES NOT AFFECT THE STRUCTURAL INTEGRITY OR THE FINISH, AND THEREFORE IS NOT A CAUSE FOR REJECTION.
- ANY TYPE OF SUSPENDED OR LOAD INDUCING SYSTEM(S) IS PROHIBITED IF ZERO COLLATERAL LOAD IS DESIGNATED ON THE CONTRACT. THIS WOULD INCLUDE LIGHTS, DUCT WORK, PIPING, AND INSULATION TYPES OTHER THAN 3" STANDARD DUTY FIBERGLASS BLANKET INSULATION, ECT.
- LIGHT TRANSMITTING PANELS ARE NOT DESIGNED OR INTENDED TO BEAR THE WEIGHT OF ANY PERSON WALKING, STEPPING, STANDING OR RESTING ON THEM.
- ANCHOR BOLTS - PER MBMA GUIDELINES, MBMI DESIGNS THE DIAMETER, PLACEMENT PATTERN, AND PROJECTION OF THE ANCHOR BOLTS ONLY. FOUNDATION DESIGN CONSIDERATIONS, INCLUDING BOLT EMBEDMENT LENGTH AND MINIMUM EDGE DISTANCE, ARE DETERMINED BY AND ARE THE RESPONSIBILITY OF THE FOUNDATION ENGINEER OR OTHERS, NOT MBMI

**BUILDER / CONTRACTOR RESPONSIBILITIES**

- IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO INSURE THAT ALL PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITIES. THE SUPPLYING OF SEALED ENGINEERING DATA AND DRAWINGS FOR THE METAL BUILDING SYSTEM DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT MBMI METAL BUILDINGS OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR A CONSTRUCTION PROJECT.
- THE CONTRACTOR MUST SECURE ALL REQUIRED APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCY AS REQUIRED.
- APPROVAL OF MBMI METAL BUILDINGS DRAWINGS AND CALCULATIONS INDICATE THAT MBMI METAL BUILDINGS CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. (AISC CODE OF STANDARD PRACTICES, 15TH ED.)
- WHERE DISCREPANCIES EXIST BETWEEN MBMI METAL BUILDINGS STRUCTURAL STEEL PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS SHALL GOVERN. (AISC CODE OF STANDARD PRACTICE 15TH ED.)
- DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY MBMI METAL BUILDINGS ARE THE RESPONSIBILITY OF THE CONTRACTORS AND ENGINEERS OTHER THAN MBMI METAL BUILDINGS ENGINEERS UNLESS SPECIFICALLY INDICATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION OF STEEL AND ASSOCIATED WORK IN COMPLIANCE WITH MBMI METAL BUILDINGS "FOR CONSTRUCTION" DRAWINGS.
- ALL BRACING AS SHOWN AND PROVIDED BY MBMI METAL BUILDINGS FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE.
- TEMPORARY SUPPORTS, SUCH AS TEMPORARY GUY, BRACES, FALSE WORK, CRIBBING OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION WILL BE DETERMINED AND FURNISHED AND INSTALLED BY THE ERECTOR. THESE TEMPORARY SUPPORTS WILL SECURE THE STEEL FRAMING, OR ANY PARTLY ASSEMBLED STEEL FRAMING, AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED, RESULTING FROM WIND, SEISMIC FORCES AND ERECTION OPERATIONS, BUT NOT THE LOADS RESULTING FROM THE PERFORMANCE OF WORK BY OR THE ACTS OF OTHERS, NOR SUCH UNPREDICTABLE LOADS AS THOSE DUE TO TORNADO, EXPLOSION OR COLLISION. (AISC CODE OF STANDARD PRACTICE, 15TH ED.)
- MBMI METAL BUILDING STANDARD SPECIFICATIONS APPLY UNLESS STIPULATED OTHERWISE IN THE CONTRACT DOCUMENTS. MBMI DESIGN, FABRICATION, QUALITY CRITERIA, STANDARDS, PRACTICE, METHODS, AND TOLERANCES SHALL GOVERN THE WORK ANY OTHER INTERPRETATIONS TO THE CONTRARY NOTWITHSTANDING. IT IS UNDERSTOOD BY BOTH PARTIES THAT THE CUSTOMER IS RESPONSIBLE FOR CLARIFICATIONS OF INCLUSIONS OR EXCLUSIONS FROM THE ARCHITECTURAL PLANS.
- ANCHOR BOLTS AND FOUNDATION BOLTS ARE DESIGNED, FURNISHED, AND SET BY THE CUSTOMER IN ACCORDANCE WITH AN APPROVED DRAWING. DIMENSIONAL ACCURACY SHALL SATISFY THE REQUIREMENTS OF SECTION 7.5.1 OF "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" IN THE AISC MANUAL.
- MBMI DOES NOT INVESTIGATE THE INFLUENCE OF THE METAL BUILDING SYSTEM ON EXISTING BUILDINGS OR STRUCTURES. THE END CUSTOMER ASSURES THAT SUCH BUILDINGS AND STRUCTURES ARE ADEQUATE TO RESIST SNOW DRIFTS, WIND LOADS, OR OTHER CONDITIONS AS RESULT OF THE PRESENCE OF THE METAL BUILDING SYSTEM.
- NORMAL ERECTION OPERATIONS INCLUDE THE CORRECTION OF MINOR MISFITS BY MODERATE AMOUNTS OF REAMING, CHIPPING, OR CUTTING AND THE DRAWING OF ELEMENTS INTO LINE THROUGH THE USE OF DRIFT PINS. ERRORS WHICH REQUIRE MAJOR CHANGES IN THE MEMBER CONFIGURATION ARE TO BE REPORTED IMMEDIATELY TO MBMI BY THE CUSTOMER TO ENABLE WHOEVER IS RESPONSIBLE TO EITHER CORRECT THE ERROR OR APPROVE THE MOST EFFICIENT AND ECONOMIC METHOD OF CORRECTION TO BE USED ("CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" IN THE AISC MANUAL; SECTION 7.12).
- ALL DOCUMENTATION AND RECORDS SHALL BE THE RESPONSIBILITY OF THE CUSTOMER.
- ANY CLAIMS OR SHORTAGES BY THE BUYER MUST BE MADE TO MBMI WITHIN SEVEN (7) WORKING DAYS AFTER DELIVERY, OR SUCH CLAIMS WILL BE CONSIDERED TO HAVE BEEN WAIVED BY THE CUSTOMER AND DISALLOWED.
- CLAIMS FOR CORRECTION OF ALLEGED MISFITS WILL BE DISALLOWED UNLESS MBMI SHALL HAVE RECEIVED PRIOR NOTICE THEREOF AND ALLOWED REASONABLE INSPECTION OF SUCH MISFITS. ORDINARY INACCURACIES OF SHOP WORK SHALL NOT BE CONSTRUED AS MISFITS. NO PART OF THE BUILDING MAY BE RETURNED OR CHARGES ASSESSED FOR ALLEGED MISFITS WITHOUT PRIOR APPROVAL FROM MBMI.
- NEITHER MBMI NOR THE CUSTOMER WILL CUT, DRILL, OR OTHERWISE ALTER THEIR WORK, OR WORK OF OTHER TRADES TO ACCOMMODATE OTHER TRADES UNLESS SUCH WORK IS CLEARLY SPECIFIED IN THE CONTRACT DOCUMENTS. WHENEVER SUCH WORK IS SPECIFIED THE CUSTOMER IS RESPONSIBLE FOR FURNISHING COMPLETE INFORMATION AS TO MATERIALS, SIZE, LOCATION AND NUMBER OF ALTERATIONS PRIOR TO THE PREPARATION OF SHOP DRAWINGS.

**SHEETING INFORMATION:**

ROOF COVER: SX COLOR: Royal Blue GA: 26  
 WALL COVER: SX COLOR: Light Stone GA: 26  
 LINER PANEL: \_\_\_\_\_ COLOR: \_\_\_\_\_ GA: \_\_\_\_\_  
 GABLE SOFFIT: \_\_\_\_\_ COLOR: \_\_\_\_\_ GA: \_\_\_\_\_  
 EAVE SOFFIT: \_\_\_\_\_ COLOR: \_\_\_\_\_ GA: \_\_\_\_\_

**APPROVAL NOTES**

THE FOLLOWING CONDITIONS APPLY IN THE EVENT THAT THESE DRAWINGS ARE USED AS APPROVAL DRAWINGS:

- IT IS IMPERATIVE THAT ANY CHANGES TO THESE DRAWINGS:
  - BE MADE IN CONTRASTING INK.
  - HAVE ALL INSTANCES OF CHANGE CLEARLY INDICATED.
  - BE LEGIBLE AND UNAMBIGUOUS.
- DATED SIGNATURE IS REQUIRED ON ALL PAGES.
- MANUFACTURER RESERVES THE RIGHT TO RE-SUBMIT DRAWINGS WITH EXTENSIVE OR COMPLEX CHANGES REQUIRED TO AVOID MISFABRICATION. THIS MAY IMPACT THE DELIVERY SCHEDULE.
- APPROVAL OF THESE DRAWINGS INDICATES CONCLUSIVELY THAT MBMI METAL BUILDINGS HAS CORRECTLY INTERPRETED THE CONTRACT REQUIREMENTS, AND FURTHER CONSTITUTES AGREEMENT THAT THE BUILDING AS DRAWN, OR AS DRAWN WITH INDICATED CHANGES REPRESENTS THE TOTAL OF THE MATERIALS TO BE SUPPLIED BY MANUFACTURER.
- ANY CHANGES NOTED ON THE DRAWINGS NOT IN CONFORMANCE WITH THE TERMS AND REQUIREMENTS OF THE CONTRACT BETWEEN MANUFACTURER AND ITS CUSTOMER ARE NOT BINDING ON MANUFACTURER UNLESS SUBSEQUENTLY SPECIFICALLY ACKNOWLEDGED AND AGREED TO IN WRITING BY CHANGE ORDER OR SEPARATE DOCUMENTATION. MANUFACTURER RECOGNIZES THAT RUBBER STAMPS ARE ROUTINELY USED FOR INDICATING APPROVAL, DISAPPROVAL, REJECTION, OR MERE REVIEW OF THE DRAWINGS SUBMITTED. HOWEVER, MANUFACTURER DOES NOT ACCEPT CHANGES OR ADDITIONS TO CONTRACTUAL TERMS AND CONDITIONS THAT MAY APPEAR WITH USE OF A STAMP OR SIMILAR INDICATION OF APPROVAL, DISAPPROVAL, ETC. SUCH LANGUAGE APPLIED TO MANUFACTURER'S DRAWINGS BY THE CUSTOMER, ARCHITECT, ENGINEER, OR ANY OTHER PARTY WILL BE CONSIDERED AS UNACCEPTABLE ALTERATIONS TO THESE DRAWING NOTES, AND WILL NOT ALTER THE CONTRACTUAL RIGHTS AND OBLIGATIONS EXISTING BETWEEN MANUFACTURER AND ITS CUSTOMER.
- IT IS THE RESPONSIBILITY OF THE CUSTOMER TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO FABRICATION.
- FAILURE TO RESPOND TO CLOUDED AREAS AND AREAS TO VERIFY MAY RESULT IN ADDITIONAL COST AND/OR SCHEDULE DELAYS FOR WHICH MBMI WILL NOT BE RESPONSIBLE.
- ANY CHANGES MADE AFTER THE MBMI CUSTOMER HAS SIGNED AND RETURNED THE APPROVAL DRAWINGS AND THE PROJECT IS RELEASED FOR FABRICATION SHALL BE BILLED TO THE CUSTOMER INCLUDING MATERIAL, ENGINEERING, AND OTHER COST.

WARNING: IN NO CASE SHOULD GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE HARMFUL CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN-OFF FROM COPPER FLASHING, WIRING, OR TUBING ONTO GALVALUME SHOULD BE AVOIDED.

ACCESSORIES	
DESCRIPTION	QUANTITY
2 - 3070 WITH HARDWARE	
1 - 8' X 12' FRAMED OPENING RIGHT ENDWALL	
4 - WINDOW FRAME KITS (SIZE TO BE DETERMINED)	

DRAWING STATUS		REVISIONS	
NO.	DATE	DESCRIPTION	DET/CHK
<input checked="" type="checkbox"/>		FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	
<input type="checkbox"/>		FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	
<input type="checkbox"/>		FOR CONSTRUCTION: FINAL DRAWINGS.	
A	6/ 8/20	FOR APPROVAL	JAS JAS
B	6/11/20	FOR APPROVAL	JAS JAS
C	6/15/20	FOR CONSTRUCTION	CER JAS

**ERECTOR NOTE**  
 ONLY USE DRAWINGS ISSUED  
 "FOR CONSTRUCTION" TO ERECT BUILDING

NAEEM AKHTER, P.E.  
 CONSULTING STRUCTURAL ENGINEER

10404 W 154th STREET  
 OVERLANDPARK, KS 66221  
 TEL.: 913-685-2015

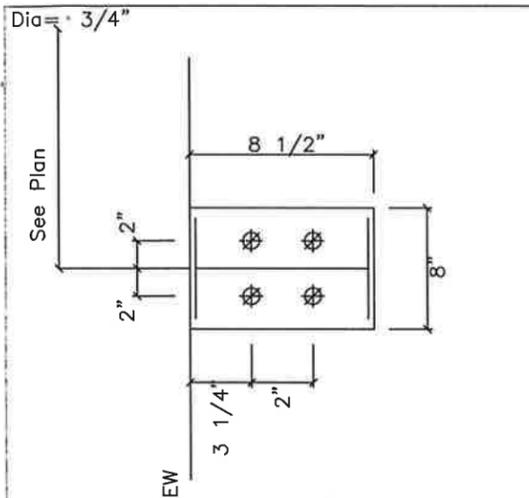
**MBMI** METAL BUILDINGS

The choice in pre-engineered metal buildings

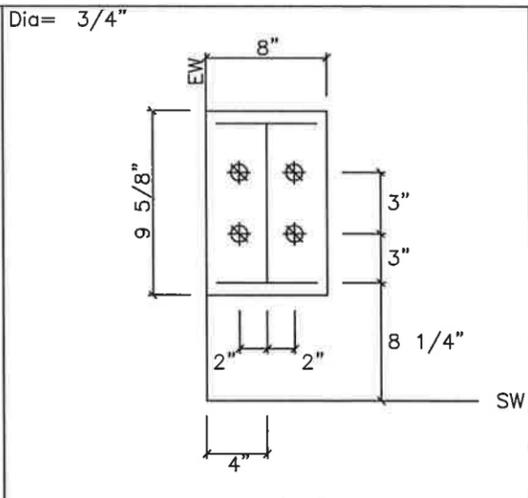
4723 W ATLANTIC AVE, STE A20 DELRAY BEACH, FL 33445 (800) 293-2097 www.mbmi.biz

JOB NO. 28016

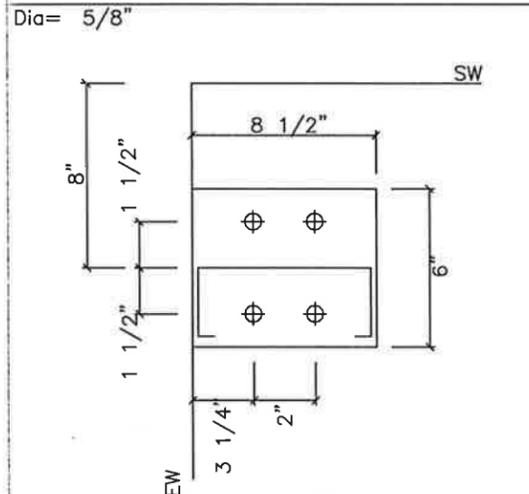




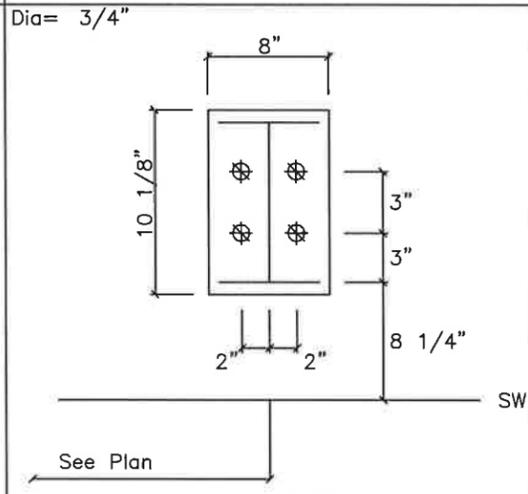
DETAIL A Base EL. 102'-0"



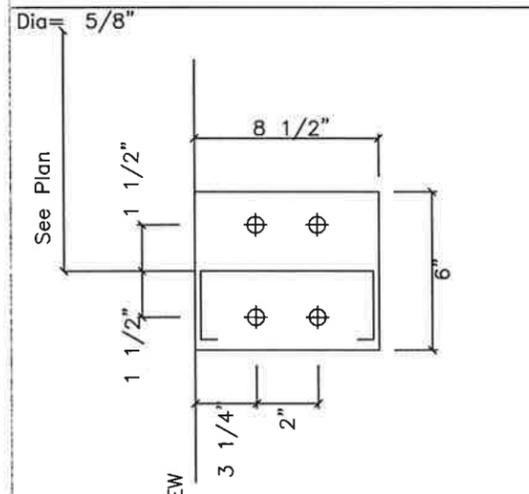
DETAIL D Base EL. 102'-0"



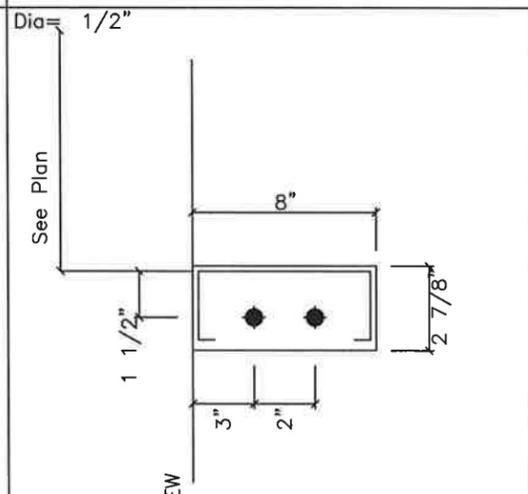
DETAIL B Base EL. 102'-0"



DETAIL E Base EL. 102'-0"



DETAIL C Base EL. 102'-0"



DETAIL F Base EL. 102'-0"

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft)	=	48.0
Length (ft)	=	42.0
Eave Height (ft)	=	16.0 / 16.0
Roof Slope (rise/12)	=	1.0 / 1.0
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	1.0
Live Load (psf)	=	53.0
Snow Load (psf)	=	49.0
Wind Speed (mph)	=	111.0
Wind Code	=	IBC 18
Exposure	=	B
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	B
Seismic Coeff (Fa*Sa)	=	0.44

ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type	Proj (in)
4	Jamb	1/2"	A307	2.00
8	Endwall	3/4"	A307	3.00
16	Endwall	5/8"	A307	3.00
16	Frame	3/4"	A307	3.00

GENERAL NOTES

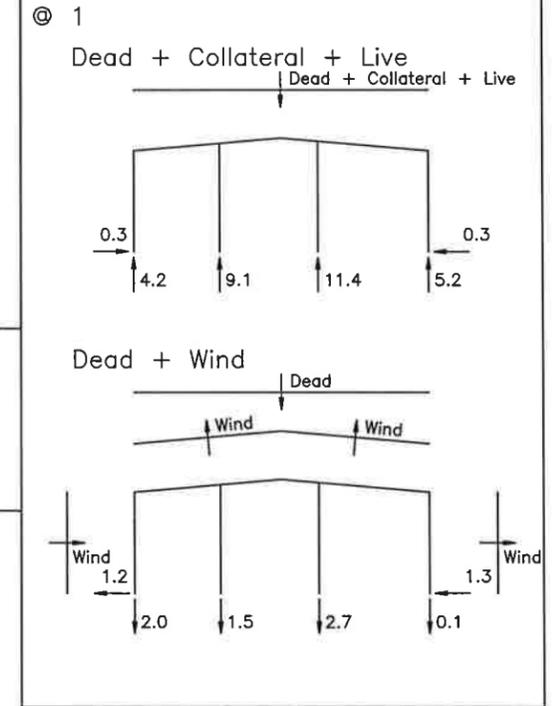
1. Foundation design and construction are not the responsibility of MBMI.
2. The building reaction data reports the loads which this building places on the foundation.
3. Anchor bolts shall be accurately set to a tolerance of +/- 1/8" in both elevation and location. Anchor bolts are to be type A36.
4. Column base plates are designed not to exceed a bearing pressure of 1125 pounds per square inch.

BUILDING BRACING REACTIONS

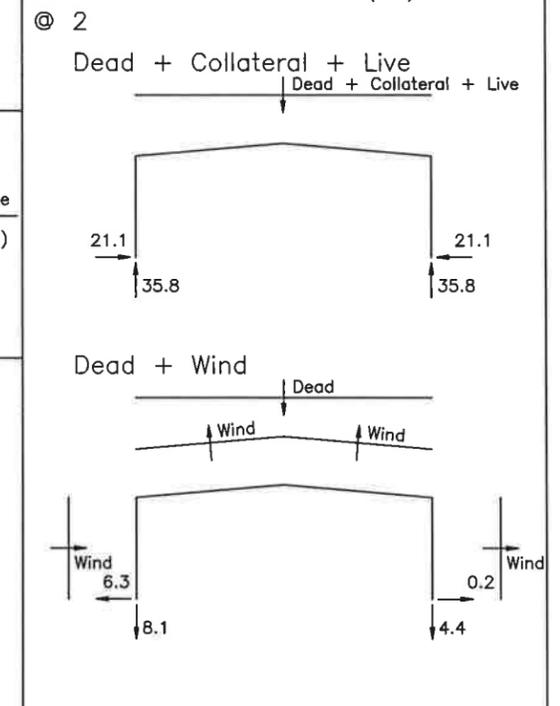
Wall Loc	Col Line	± Reactions (k)	Panel Shear (lb/ft)	Note
		Wind Horz	Seismic Horz	
L_EW	1			(h)
F_SW	F	1,2	3.1	1.9
R_EW	3	F,E	1.6	1.5
B_SW	A	2,1	3.1	1.9

(h) Rigid frame at endwall

RIGID FRAME REACTIONS (k)

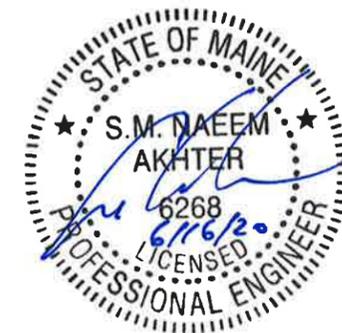


RIGID FRAME REACTIONS (k)



ENDWALL COLUMN REACTIONS(k)

MAXIMUM VERTICAL Dead+Collateral+Live	=	11.6
MAXIMUM VERTICAL Dead+Wind	=	-2.9
MAXIMUM HORIZONTAL Dead+Wind	=	1.9



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**DRAWING STATUS**

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FOR CONSTRUCTION: FINAL DRAWINGS.

**REVISIONS**

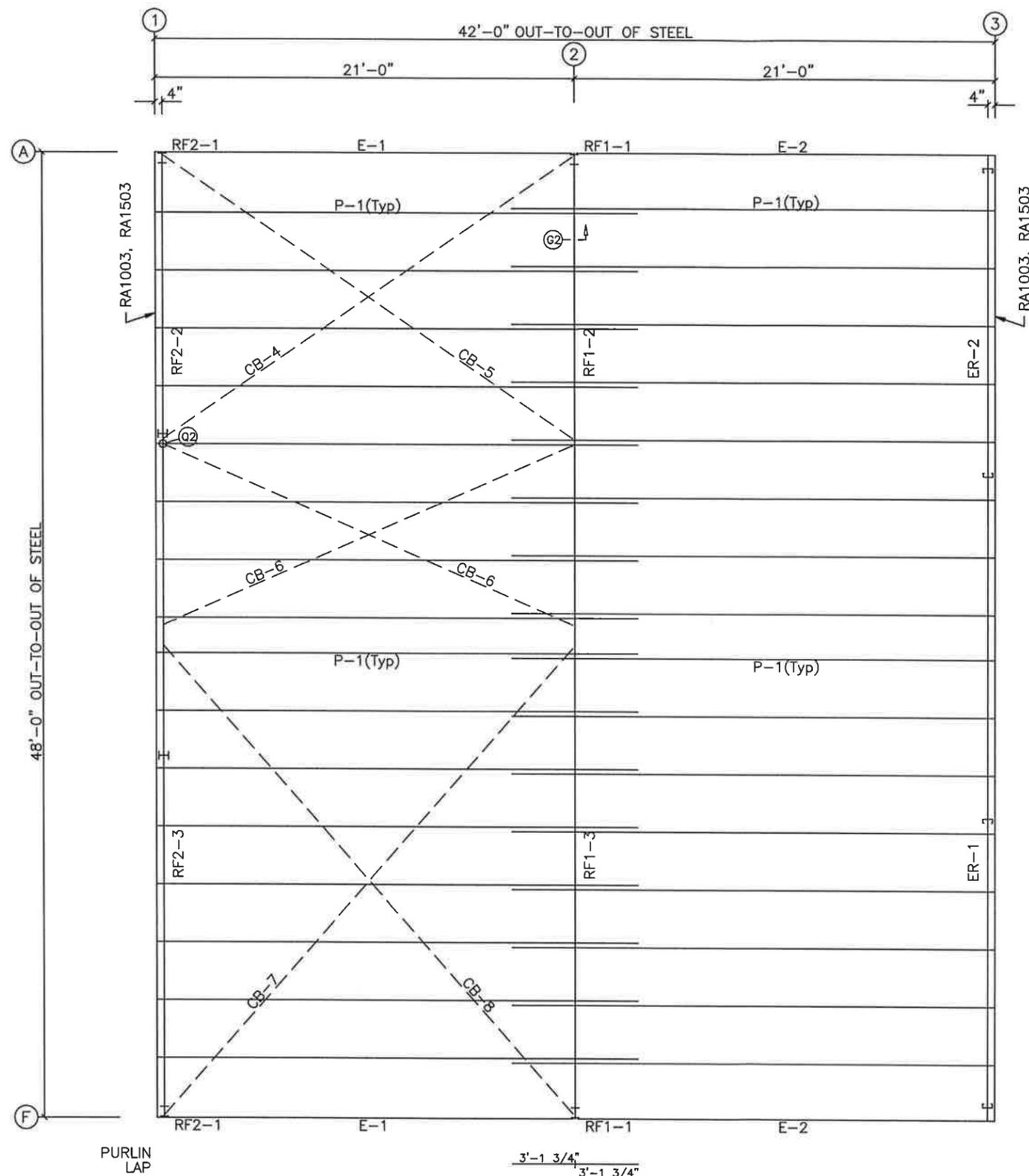
NO.	DATE	DESCRIPTION	DET	CHK
A	6/ 8/20	FOR APPROVAL	JAS	JAS
B	6/11/20	FOR APPROVAL	JAS	JAS
C	6/15/20	FOR CONSTRUCTION	CER	JAS

**MBMI**  
METAL BUILDINGS  
4723 W ATLANTIC AVE.  
SUITE A20  
DELRAY BEACH, FL 33445  
TEL.: 800-293-2097

THE COASTAL GROUP  
JONATHAN LABOZZO  
60 THOMAS POINT ROAD  
BRUNSWICK, ME 04011  
DATE: 6/15/20  
DWG NO: 2 OF 11  
A. BOLT DETAILS & REACTIONS  
JOB NO 28016

TRIM TABLE	
ROOF PLAN	
◇ ID MARK	DETAIL
1   SSRC	TRIM_108

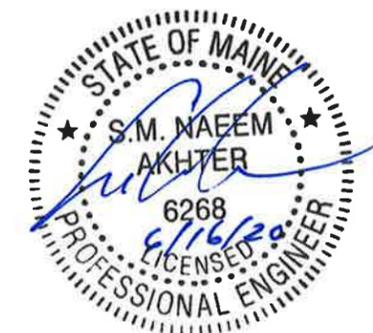
MEMBER TABLE	
ROOF PLAN	
MARK	SIZE
P-1	8X25Z14
E-1	8E14
E-2	8E14
CB-4	0.25_CBL
CB-5	0.25_CBL
CB-6	0.25_CBL
CB-7	0.25_CBL
CB-8	0.25_CBL



23'-11"  
(14)

23'-11"  
(14)

ROOF SHEETING



- GENERAL NOTES:**
- FOR STANDING SEAM ROOF SYSTEMS SEE STANDING SEAM MANUAL, FOR SCREW DOWN ROOF SYSTEMS SEE BELOW.
  - ATTACH ROOF PANELS TO FRAMING MEMBERS WITH #12 S.D. SCREWS AS NOTED:  
4" O.C. AT RIDGE CAP & END LAPS,  
6" O.C. AT EAVE (4" O.C. 130 MPH & OVER WIND LOAD) &  
12" O.C. AT ALL OTHER PURLINS (6" O.C. 130 MPH & OVER WIND LOAD).
  - USE #14 S.D. SCREWS 24" O.C. (MAX.) AT PANEL SIDE LAPS (12" O.C. 130 MPH & OVER WIND LOAD).
  - USE #14 S.D. SCREWS 12" O.C. AT ROOF TRIM.
  - USE #12 TEK2 SCREWS AT RAKE ANGLE TO PURLIN.
  - MBMI HIGHLY RECOMMENDS INSTALLING A SNOW RETENTION SYSTEM (BY OTHERS) TO PROTECT THE GUTTER SYSTEM FROM DAMAGE IN HIGH SNOW LOAD AREAS.

**ROOF FRAMING PLAN**

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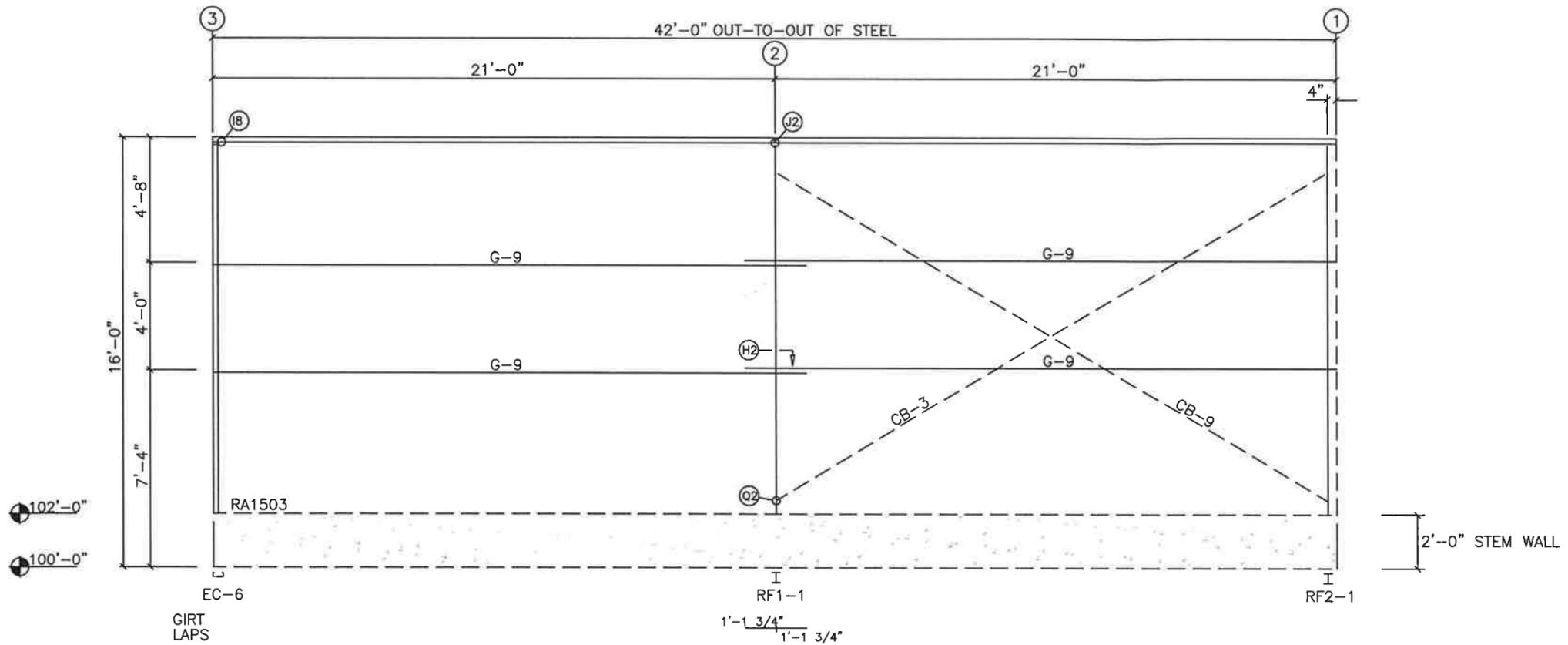
REVISIONS	
NO.	DATE
A	6/ 8/20
B	6/11/20
C	6/15/20

**MBMI**  
METAL BUILDINGS  
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SUITE A20  
DELRAY BEACH, FL 33445  
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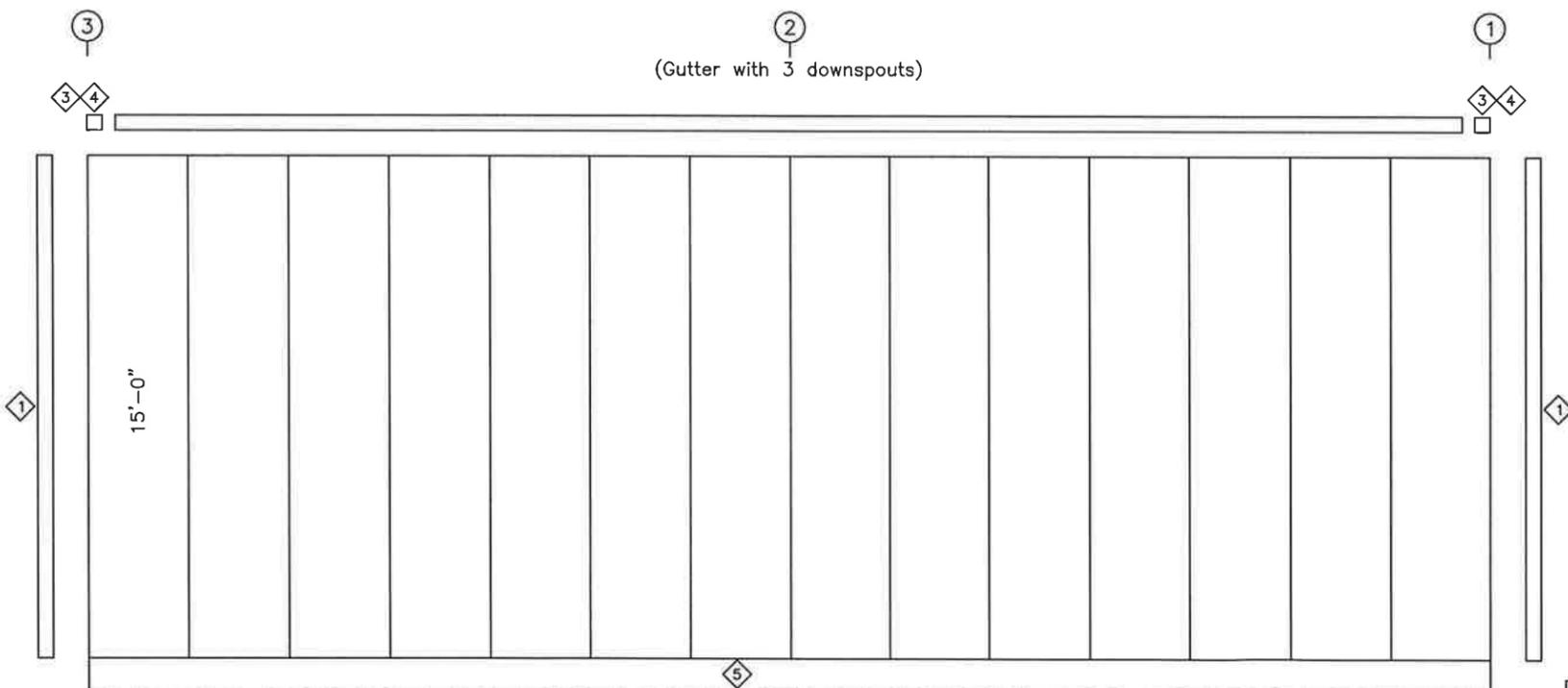
THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/15/20	DWG NO 3 OF 11
ROOF FRAMING	JOB NO 28016

TRIM TABLE		
LINE A		
ID	MARK	DETAIL
1	CT-102	TRIM_111
2	GU-121	TRIM_104
3	EC121	
4	SCB	TRIM_103
5	BT-101	

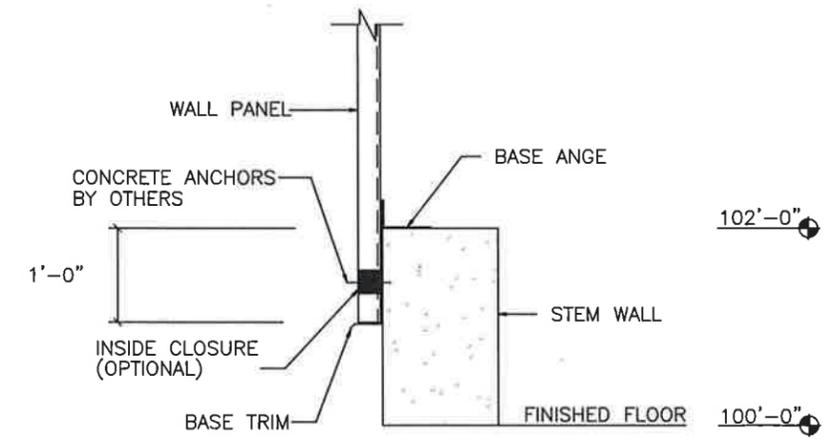
MEMBER TABLE		
LINE A		
MARK	SIZE	
G-9	8X25Z16	
CB-3	0.31_CBL	
CB-9	0.31_CBL	



BACK SIDEWALL FRAMING: LINE A



BACK SIDEWALL SHEETING & TRIM: LINE A



BASE DETAIL

NOTE: PANEL LAPS STEM WALL 12"



GENERAL NOTES:

- FIELD SLOT FLUSH GIRTS FOR BRACING (IF REQUIRED).
- ATTACH WALL PANELS TO FRAMING MEMBERS WITH #12 S.D. SCREWS AS NOTED:  
4" O.C. AT BASE & TOP OF PANELS  
12" O.C. AT ALL OTHER GIRTS (6" O.C. 130 MPH & OVER WIND LOAD).
- USE #14 S.D. SCREWS 24" O.C. (MAX.) AT PANEL SIDELAPS (12" O.C. 130 MPH & OVER WIND LOAD).
- USE #14 S.D. SCREWS 24" O.C. AT CORNER TRIM. (12" O.C. 130 MPH & OVER WIND LOAD).

**NAEEM AKHTER, P.E.**  
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.

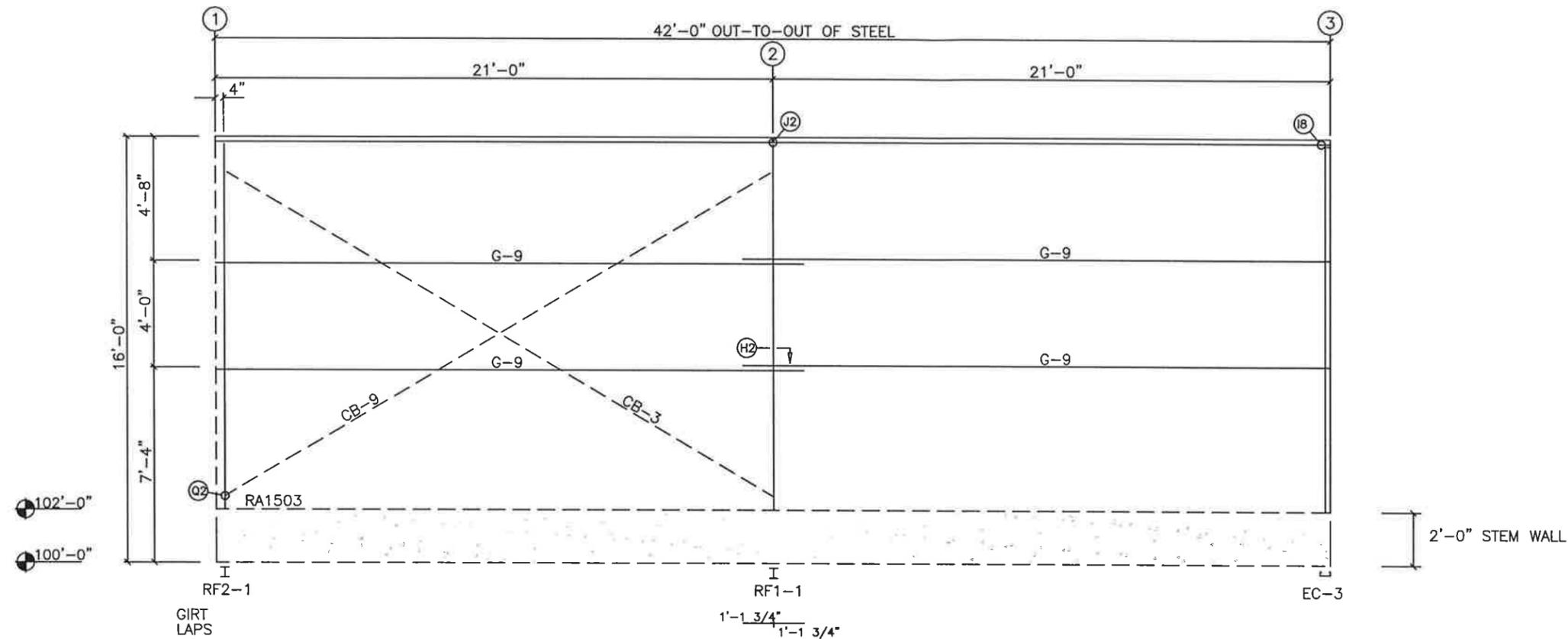
REVISIONS			
NO.	DATE	DESCRIPTION	DET/CHK
A	6/ 8/20	FOR APPROVAL	JAS/JAS
B	6/11/20	FOR APPROVAL	JAS/JAS
C	6/15/20	FOR CONSTRUCTION	CER/JAS

**MBMI**  
METAL BUILDINGS  
4723 W ATLANTIC AVE.  
SUITE A20  
DELRAY BEACH, FL 33445  
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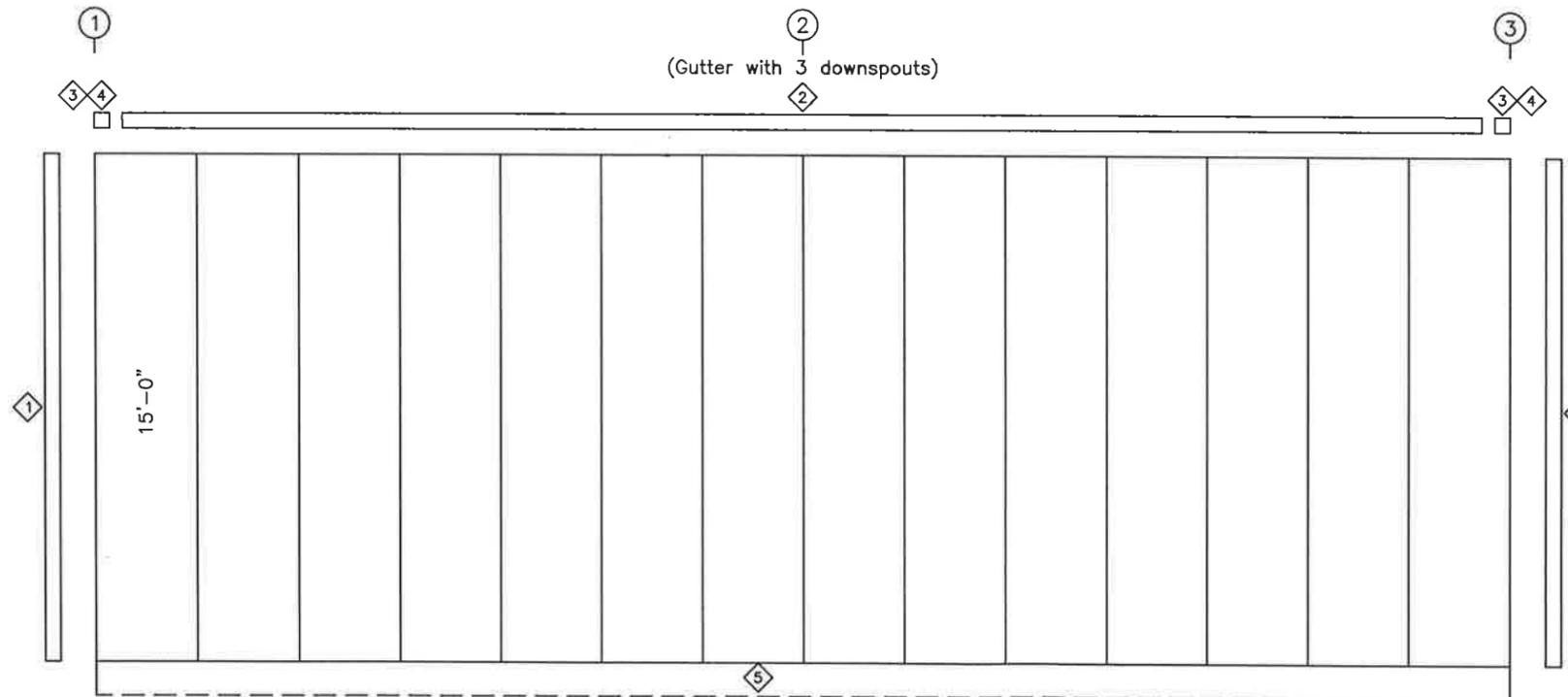
THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/15/20	DWG NO 4 OF 11
SIDEWALL ELEVATION	JOB NO 28016

TRIM TABLE		
LINE F		
ID	MARK	DETAIL
1	CT-102	TRIM_111
2	GU-121	TRIM_104
3	EC121	
4	SCB	TRIM_103
5	BT-101	

MEMBER TABLE		
LINE F		
MARK	SIZE	
G-9	8X25Z16	
CB-3	0.31_CBL	
CB-9	0.31_CBL	



FRONT SIDEWALL FRAMING: LINE F



FRONT SIDEWALL SHEETING & TRIM: LINE F

NOTE: PANEL LAPS STEM WALL 12"



**GENERAL NOTES:**

1. FIELD SLOT FLUSH GIRTS FOR BRACING (IF REQUIRED).
2. ATTACH WALL PANELS TO FRAMING MEMBERS WITH #12 S.D. SCREWS AS NOTED:  
4" O.C. AT BASE & TOP OF PANELS  
12" O.C. AT ALL OTHER GIRTS (6" O.C. 130 MPH & OVER WIND LOAD).
3. USE #14 S.D. SCREWS 24" O.C. (MAX.) AT PANEL SIDELAPS (12" O.C. 130 MPH & OVER WIND LOAD).
4. USE #14 S.D. SCREWS 24" O.C. AT CORNER TRIM. (12" O.C. 130 MPH & OVER WIND LOAD).

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OVERLANDPARK, KS 66221  
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DRAWING STATUS		REVISIONS				
<input checked="" type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	NO.	DATE	DESCRIPTION	DET	CHK
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.					
		A	6/ 8/20	FOR APPROVAL	JAS	JAS
		B	6/11/20	FOR APPROVAL	JAS	JAS
		C	6/15/20	FOR CONSTRUCTION	CER	JAS



4723 W ATLANTIC AVE.  
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TEL.: 800-293-2097

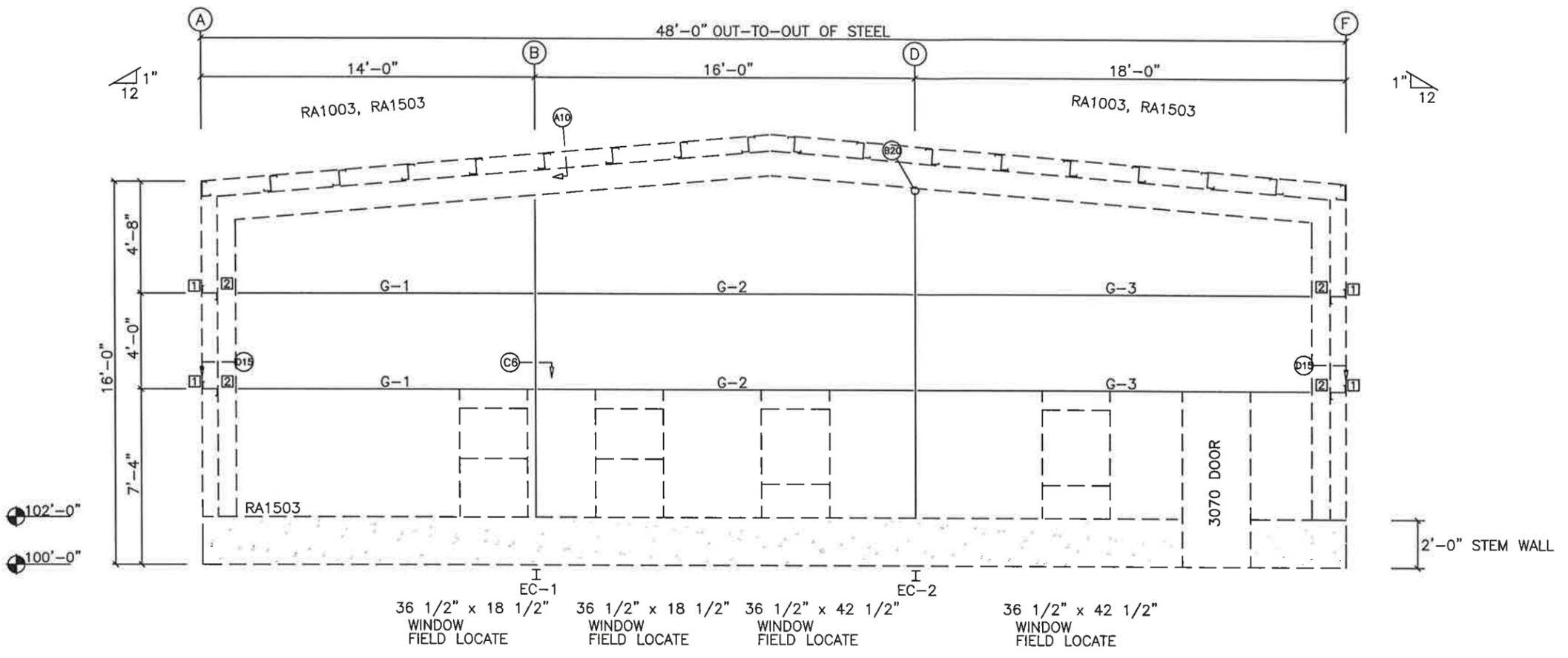
THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/15/20	DWG NO 5 OF 11
SIDEWALL ELEVATION	JOB NO 28016

BOLT TABLE				
LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Rof	4	A325	1/2"	1 1/2"

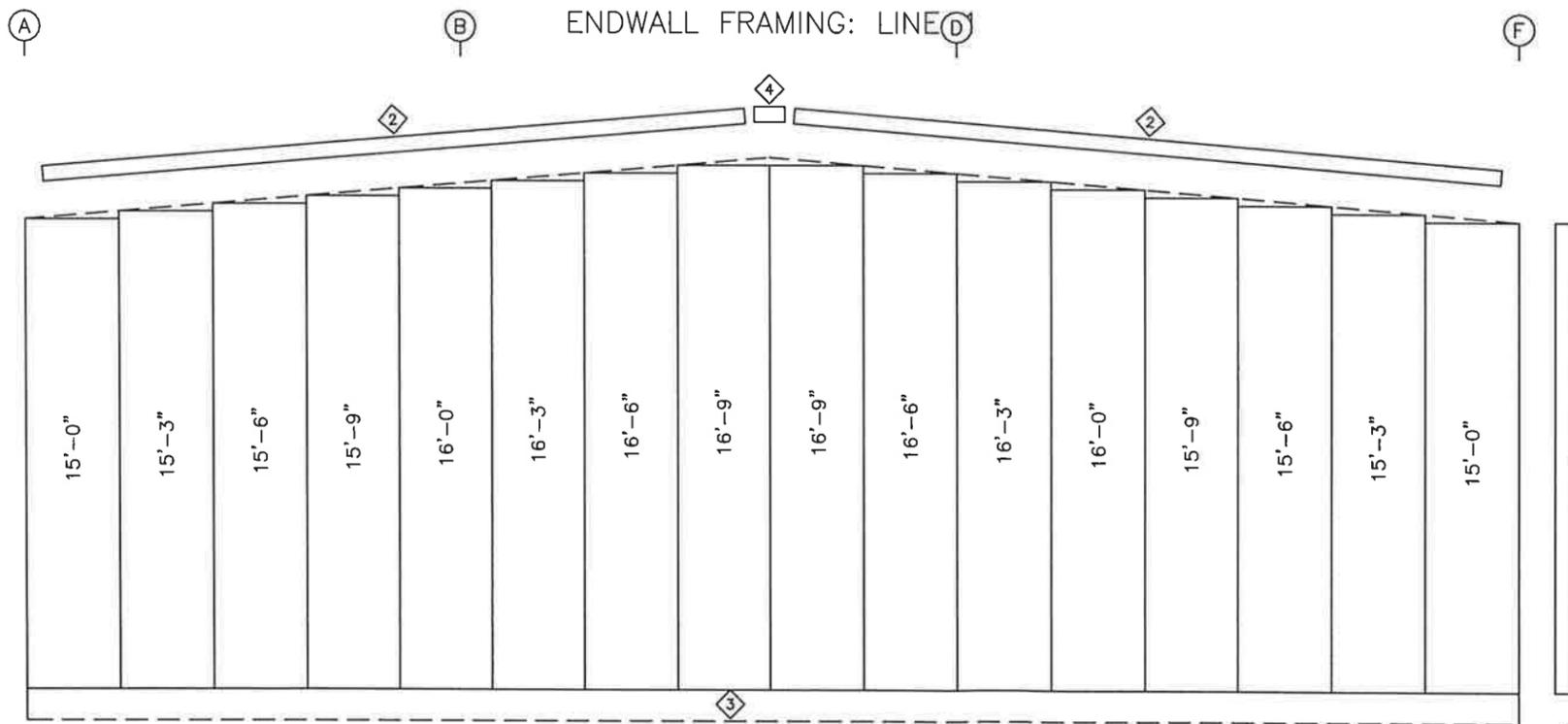
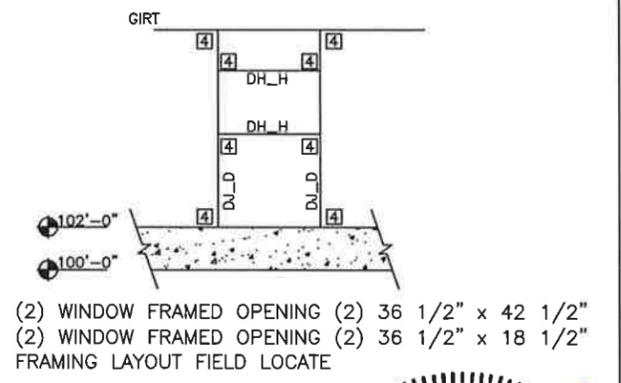
TRIM TABLE		
LINE 1		
ID	MARK	DETAIL
1	CT-102	TRIM_111
2	RT-101	TRIM_105
3	BT-101	
4	SPB1	
7	JT-101	
8	HT-101	
9	MT-113	

MEMBER TABLE	
LINE 1	
MARK	SIZE
EC-1	W8541
EC-2	W8541
G-1	8X25Z16
G-2	8X25Z16
G-3	8X25Z16

CLIP TABLE	
LINE 1	
ID	MARK
1	SA005
2	SZ-1
4	CA005



2'-0" STEM WALL



(4) WINDOW FRAMED OPENING TRIM LAYOUT FIELD LOCATE

NOTE: PANEL LAPS STEM WALL 12"

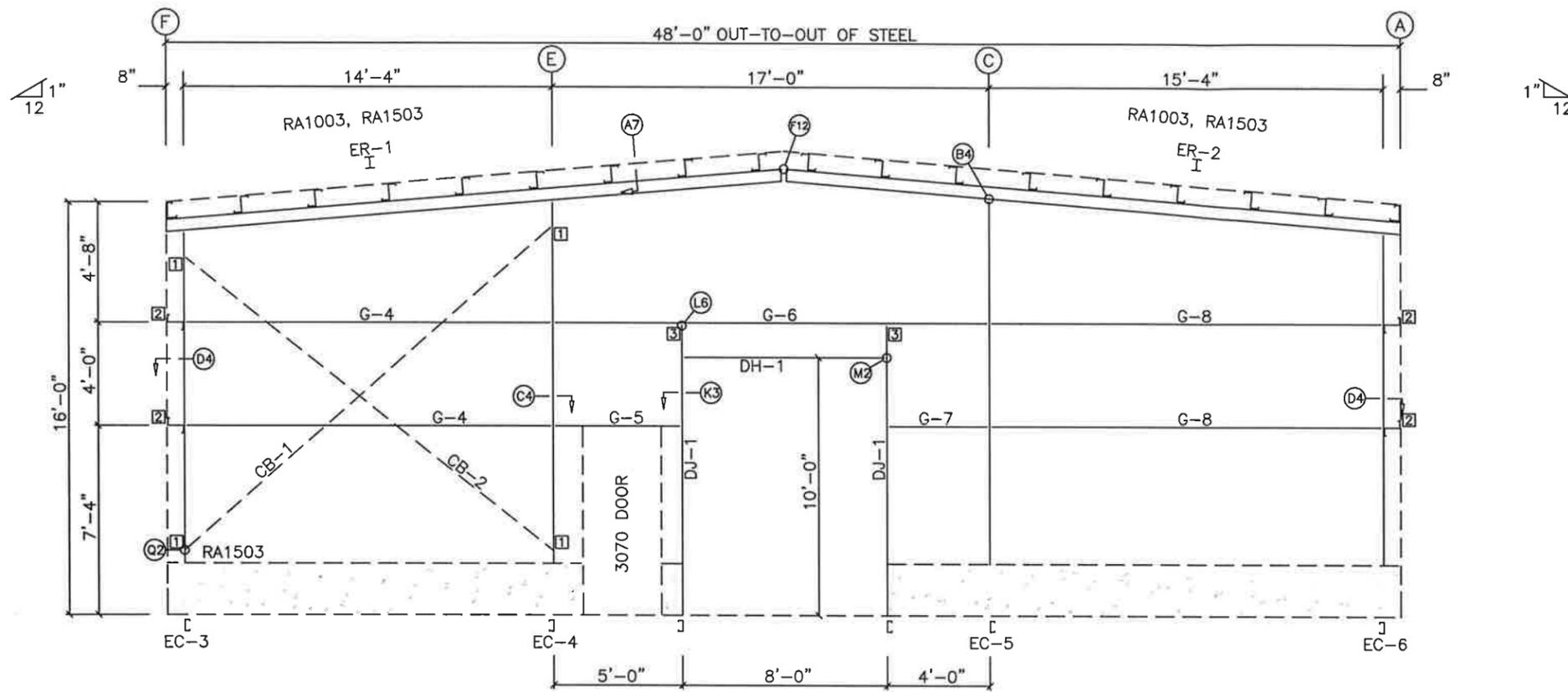
**GENERAL NOTES:**  
 1. USE BACK-UP PLATE (AK504) FOR BRACING (IF REQUIRED) AT COLD FORMED FRAMING MEMBERS  
 2. FIELD CUT ENDWALL PANELS AT ROOF PITCH FOR SLOPES GREATER THAN 1:12.  
 3. SEE SIDEWALL DRAWING FOR ADDITIONAL NOTES & SCREW PATTERNS.

**NAEEM AKHTER, P.E.**  
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DRAWING STATUS		REVISIONS				
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<input type="checkbox"/> FOR CONSTRUCTION:	FINAL DRAWINGS.	B	6/11/20	FOR APPROVAL	JAS	JAS
		C	6/15/20	FOR CONSTRUCTION	CER	JAS

**MBMI**  
 METAL BUILDINGS  
 4723 W ATLANTIC AVE.  
 SUITE A20  
 DELRAY BEACH, FL 33445  
 TEL.: 800-293-2097

THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/15/20	DWG NO 6 OF 11
ENDWALL ELEVATION	JOB NO 28016



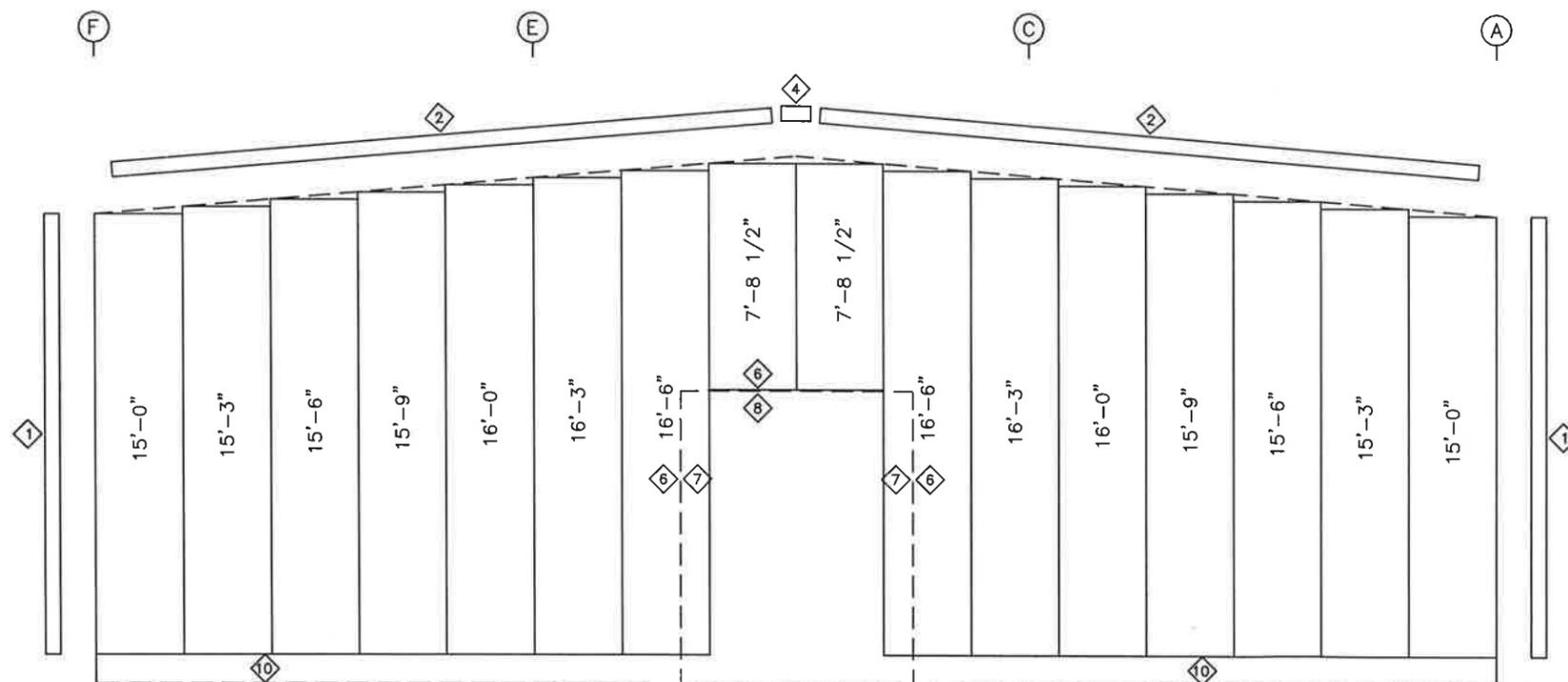
ENDWALL FRAMING: LINE 3

BOLT TABLE				
LINE 3				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	1/2"	1 1/2"
Columns/Raf	2	A325	1/2"	1 1/4"

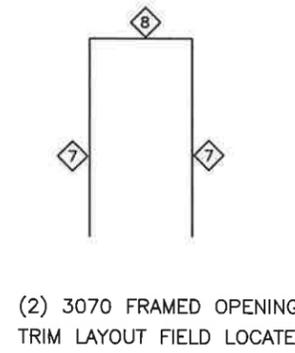
TRIM TABLE		
LINE 3		
ID	MARK	DETAIL
1	CT-102	TRIM_111
2	RT-101	TRIM_105
4	SPB1	
6	MT116B	TRIM_115
7	JT-101	TRIM_115
8	HT-101	TRIM_116
9	MT-113	
10	BT-101	

MEMBER TABLE	
LINE 3	
MARK	SIZE
EC-3	8X25C16
EC-4	8X25C14
EC-5	8X25C12
EC-6	8X25C16
ER-1	W8541
ER-2	W8541
DJ-1	8X25C16
DH-1	8X25C16
G-4	8X25Z16
G-5	8X25Z16
G-6	8X25Z16
G-7	8X25Z16
G-8	8X25Z16
CB-1	0.25_CBL
CB-2	0.25_CBL

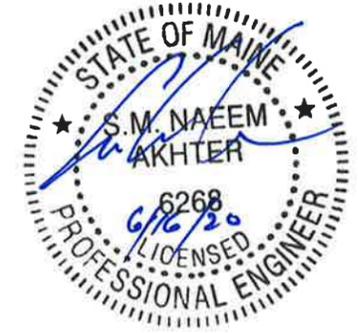
CLIP TABLE	
LINE 3	
ID	MARK
1	AK504
2	SA005
3	AK200



ENDWALL SHEETING & TRIM: LINE 3



(2) 3070 FRAMED OPENING TRIM LAYOUT FIELD LOCATE



- GENERAL NOTES:**
- USE BACK-UP PLATE (AK504) FOR BRACING (IF REQUIRED) AT COLD FORMED FRAMING MEMBERS
  - FIELD CUT ENDWALL PANELS AT ROOF PITCH FOR SLOPES GREATER THAN 1:12.
  - SEE SIDEWALL DRAWING FOR ADDITIONAL NOTES & SCREW PATTERNS.

**NAEEM AKHTER, P.E.**  
CONSULTING STRUCTURAL ENGINEER  
10404 W 154th STREET  
OVERLANDPARK, KS 66221  
TEL.: 913-685-2015

DRAWING STATUS	
<input checked="" type="checkbox"/>	<b>FOR APPROVAL:</b> THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
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REVISIONS			
NO.	DATE	DESCRIPTION	DET/CHK
A	6/ 8/20	FOR APPROVAL	JAS JAS
B	6/11/20	FOR APPROVAL	JAS JAS
C	6/15/20	FOR CONSTRUCTION	CER JAS

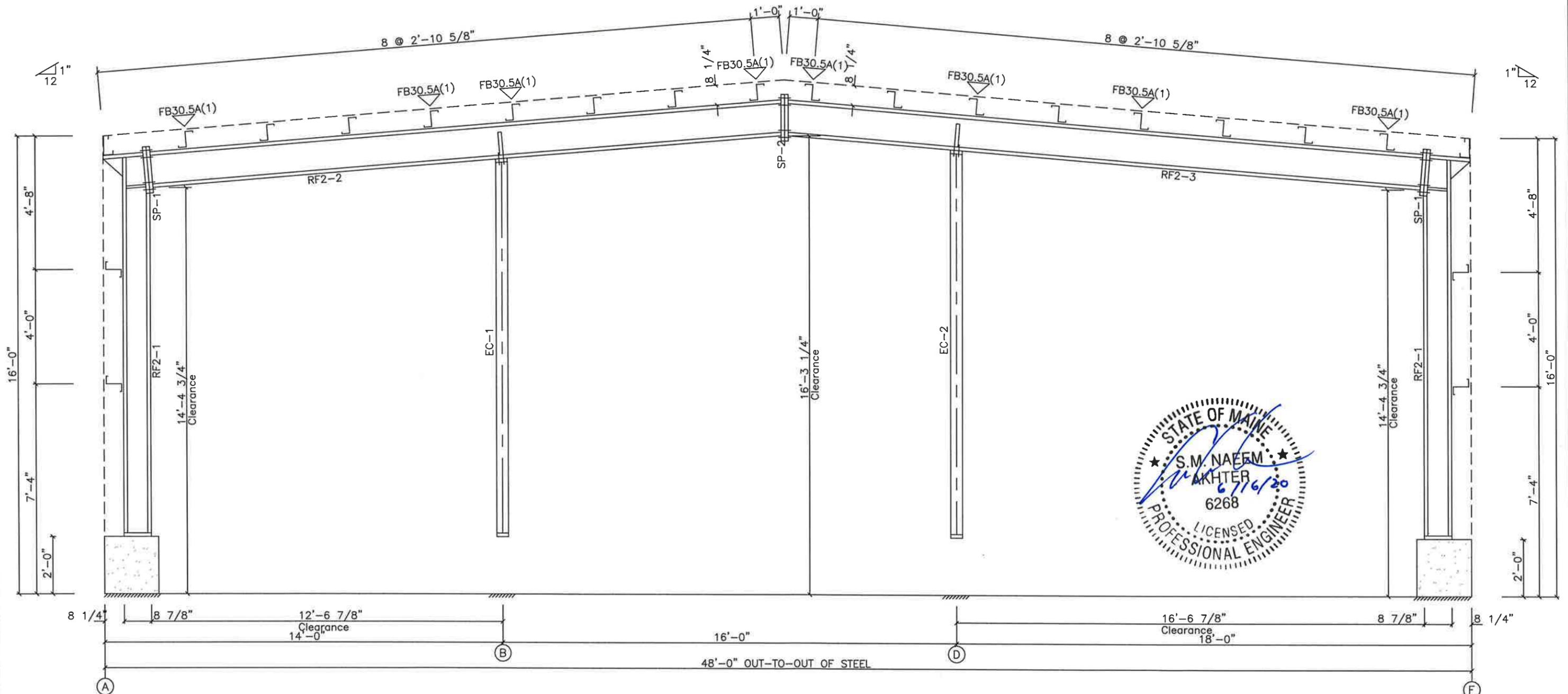
**MBMI**  
METAL BUILDINGS  
4723 W ATLANTIC AVE.  
SUITE A20  
DELRAY BEACH, FL 33445  
TEL.: 800-293-2097

THE COASTAL GROUP  
JONATHAN LABOZZO  
60 THOMAS POINT ROAD  
BRUNSWICK, ME 04011  
DATE: 6/15/20  
ENDWALL ELEVATION  
DWG NO: 7 OF 11  
JOB NO: 28016

SPLICE PLATE & BOLT TABLE										CAP PLATE BOLTS				
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length	Mark	Qty	Type	Dia	Length
	Top	Bot												
SP-1	4	4	0	A325	0.625	1.75	6"	3/8"	1'-7 1/4"	EC-1	4	A325	0.500	1.50
SP-2	4	4	0	A325	0.625	1.75	6"	3/8"	1'-6 3/4"	EC-2	4	A325	0.500	1.50

Mark	Web Depth		Web Plate		Outside Flange			Inside Flange		
	Start	End	Thick	Length	W	Thk	Length	W	Thk	Length
RF2-1	8.5	8.5	0.135	160.5	5	3/16"	x 159.8	5	3/16"	x 144.7
RF2-2	12.0	12.0	0.135	236.2	6	3/16"	x 15.7	5	3/16"	x 271.2
	12.0	12.0	0.135	36.0	5	3/16"	x 272.2			
RF2-3	12.0	12.0	0.135	36.0	5	3/16"	x 272.2	5	3/16"	x 271.2
	12.0	12.0	0.135	236.2						
EC-1	W8541									
EC-2	W8541									

FLANGE BRACES: (1) One Side; (2) Two Sides  
 FBxxA(1): xx=length(in)  
 A - L2X2X14



RIGID FRAME CROSS SECTION: FRAME LINE 1

GENERAL NOTES:

- CONSTRUCTION NOTES FOR THE RIGID FRAMES.
- ALL FIELD CONNECTIONS OF PRIMARY FRAMING MEMBERS SHALL BE BOLTED. WITH A325 H. S. BOLTS AND INSTALLED BY THE "TURN OF THE NUT" METHOD.
  - ALL FIELD CONNECTIONS OF SECONDARY FRAMING SHALL BE BOLTED WITH A307 MACHINE BOLTS.
  - WELDING PROCESSES USED BY MANUFACTURER ARE IN ACCORDANCE WITH SEC. 1.3 OF AWS D 1.1.

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DRAWING STATUS		REVISIONS			
<input checked="" type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	NO.	DATE	DESCRIPTION	DET/CHK
<input type="checkbox"/>	FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	A	6/ 8/20	FOR APPROVAL	JAS JAS
<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.	B	6/11/20	FOR APPROVAL	JAS JAS
		C	6/15/20	FOR CONSTRUCTION	CER JAS

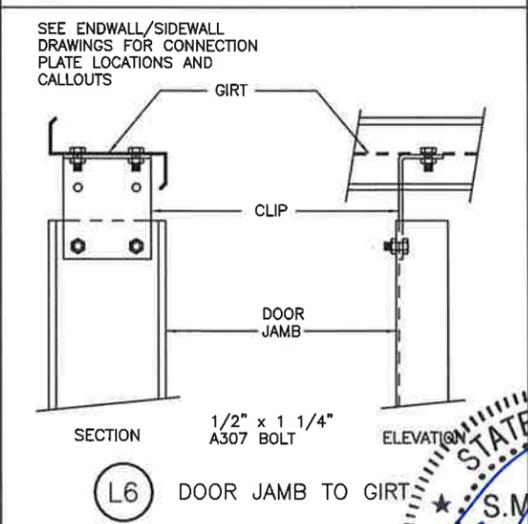
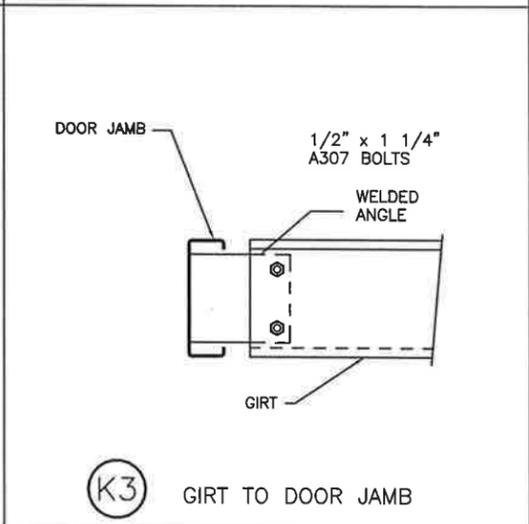
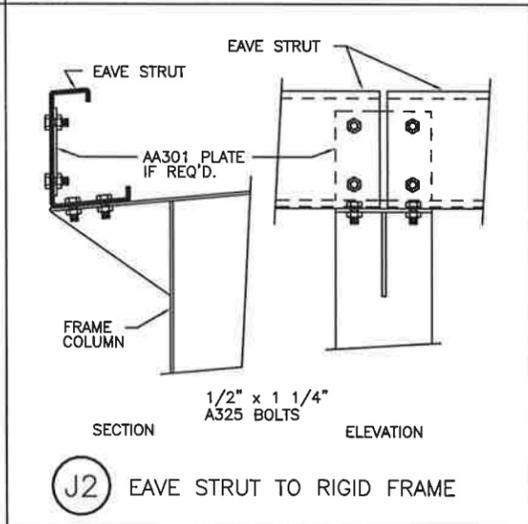
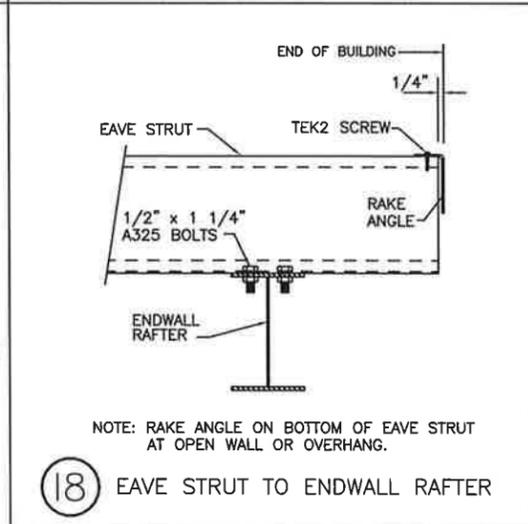
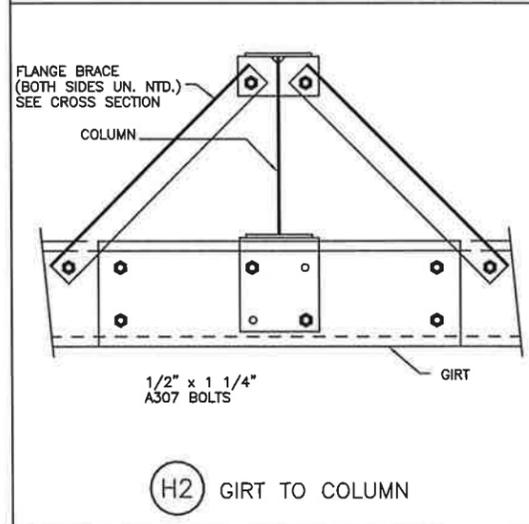
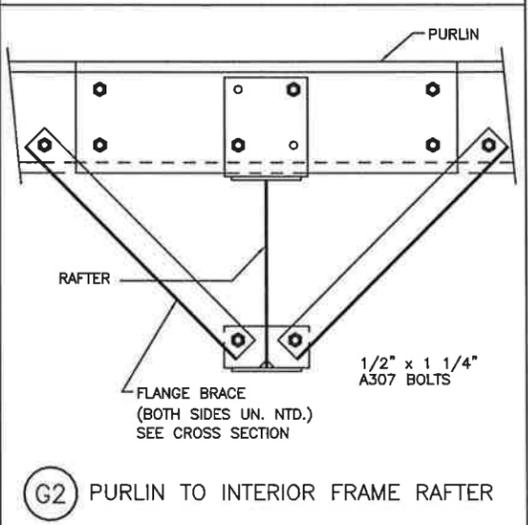
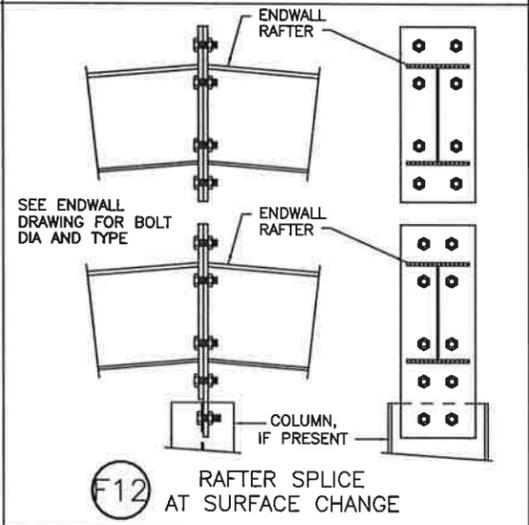
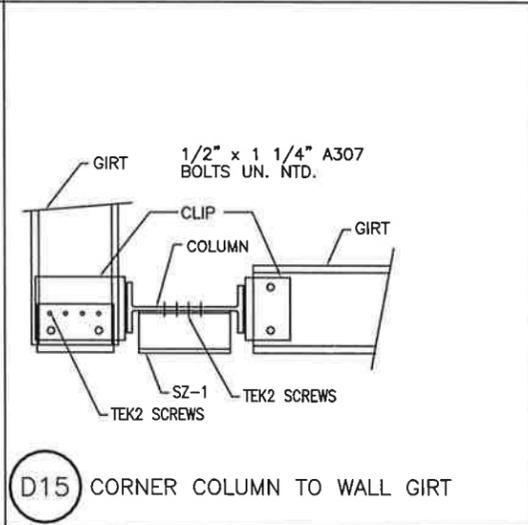
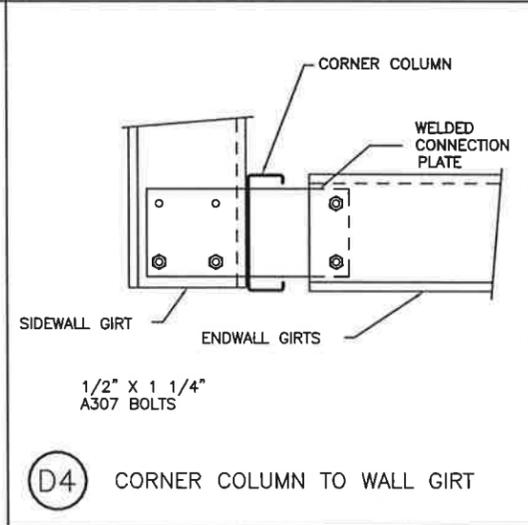
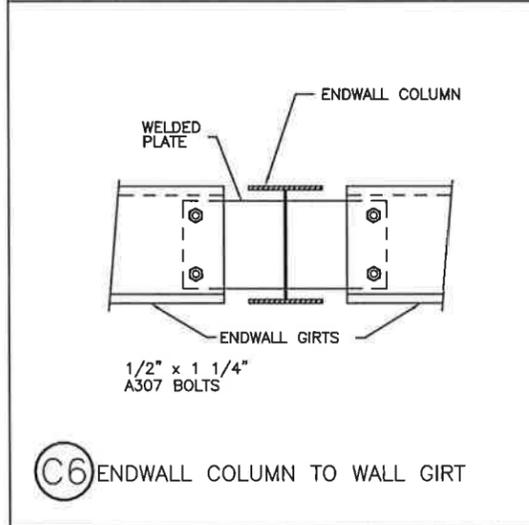
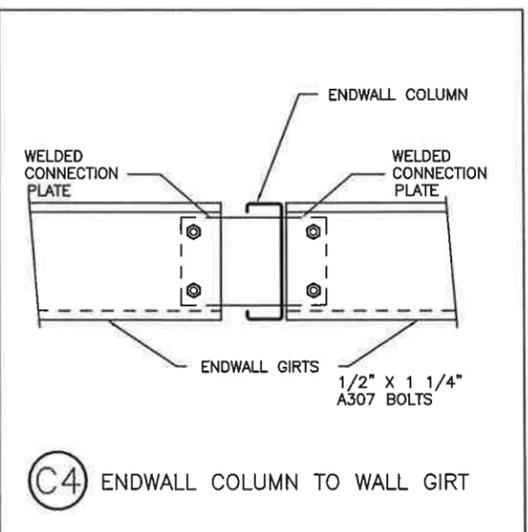
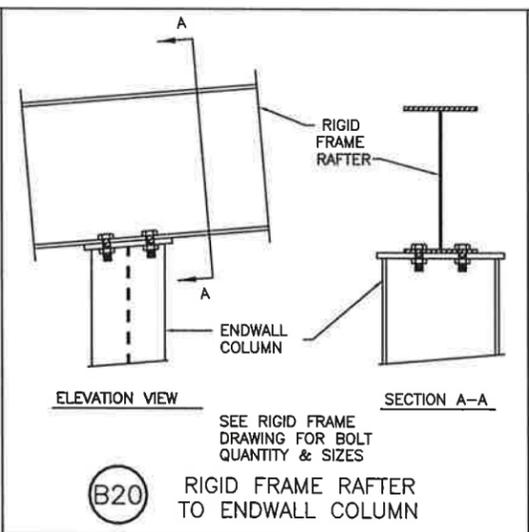
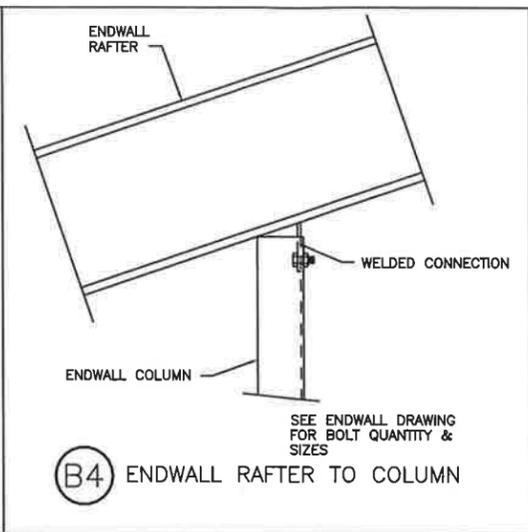
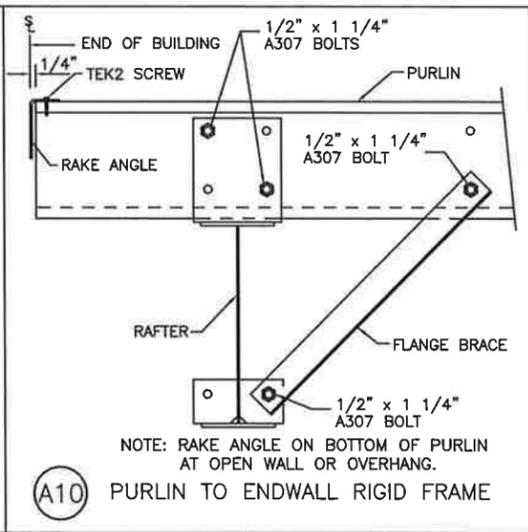
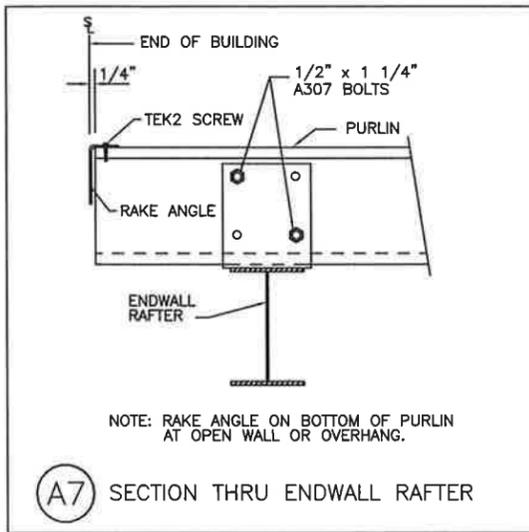


4723 W ATLANTIC AVE.  
 SUITE A20  
 DELRAY BEACH, FL 33445  
 TEL.: 800-293-2097

THE COASTAL GROUP

JONATHAN LABOZZO  
 60 THOMAS POINT ROAD  
 BRUNSWICK, ME 04011

DATE 6/15/20	DWG NO 9 OF 11
RIGID FRAME ELEVATION	
JOB NO 28016	



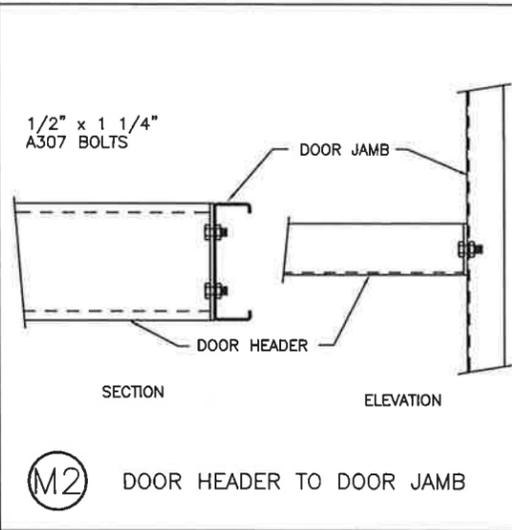
**NAEEM AKHTER, P.E.**  
CONSULTING STRUCTURAL ENGINEER  
10404 W 154th STREET  
OVERLANDPARK, KS 66221  
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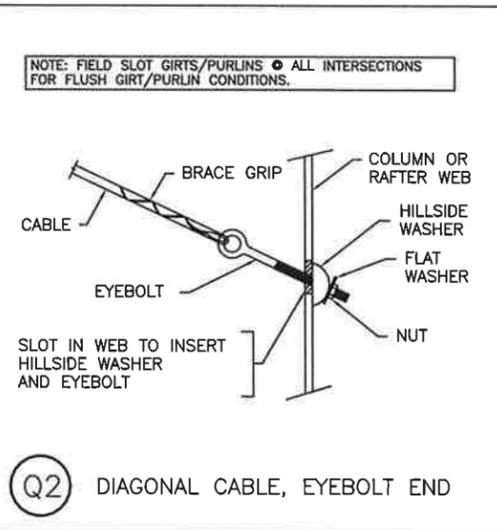
REVISIONS				
NO.	DATE	DESCRIPTION	DET	CHK
A	6/8/20	FOR APPROVAL	JAS	JAS
B	6/11/20	FOR APPROVAL	JAS	JAS
C	6/15/20	FOR CONSTRUCTION	CER	JAS

**MBMI**  
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4723 W ATLANTIC AVE.  
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TEL.: 800-293-2097

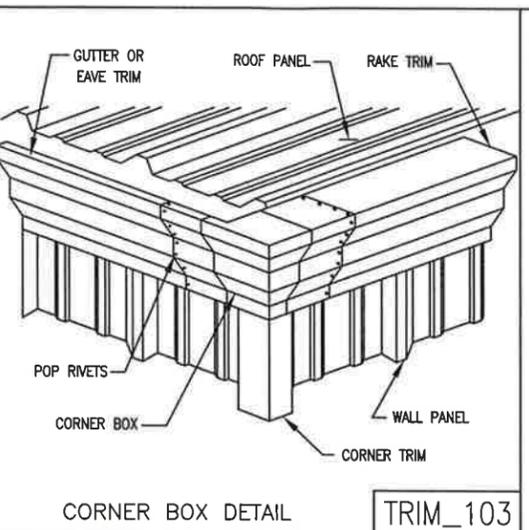
THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/11/20	DWG NO 10 OF 11
DETAIL DRAWINGS	
JOB NO 28016	



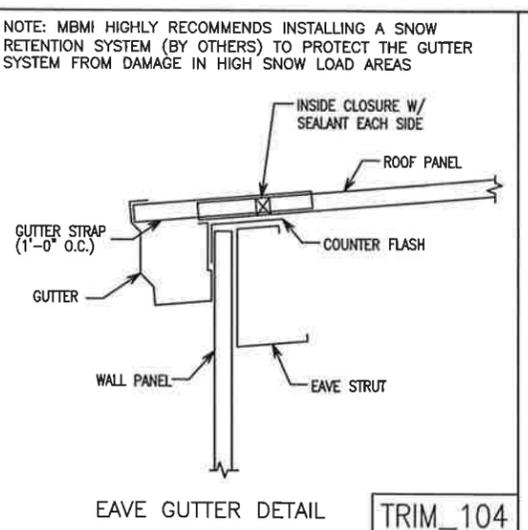
M2 DOOR HEADER TO DOOR JAMB



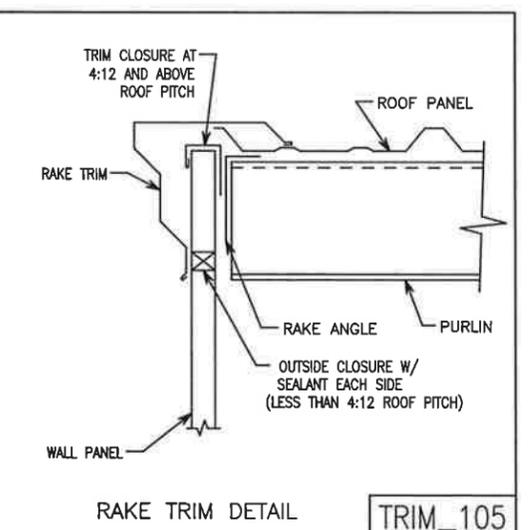
Q2 DIAGONAL CABLE, EYEBOLT END



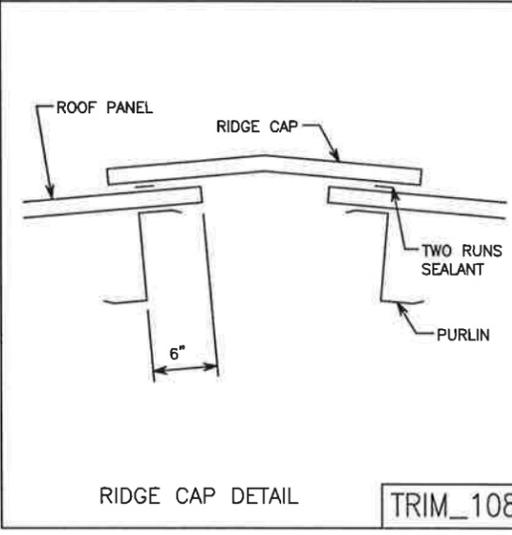
CORNER BOX DETAIL TRIM\_103



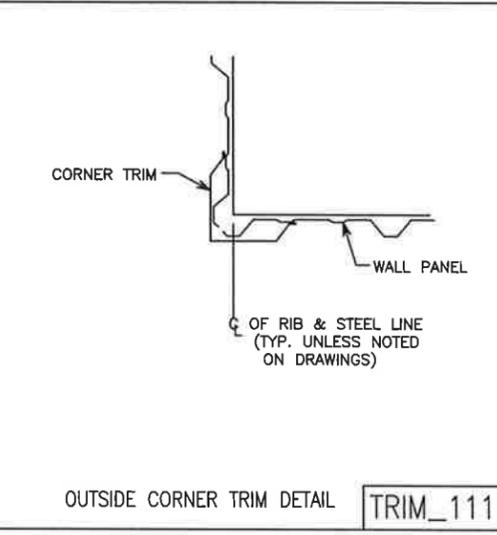
EAVE GUTTER DETAIL TRIM\_104



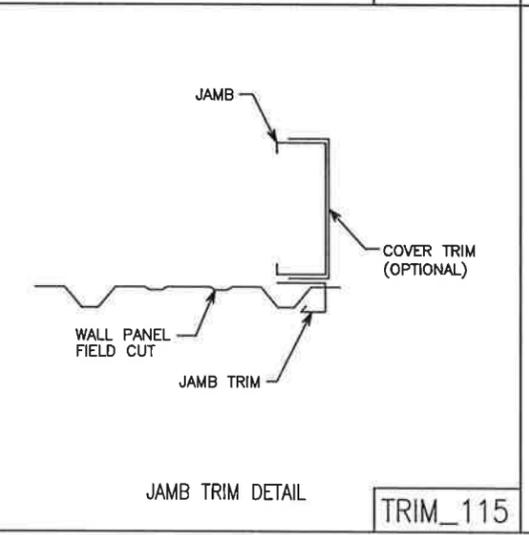
RAKE TRIM DETAIL TRIM\_105



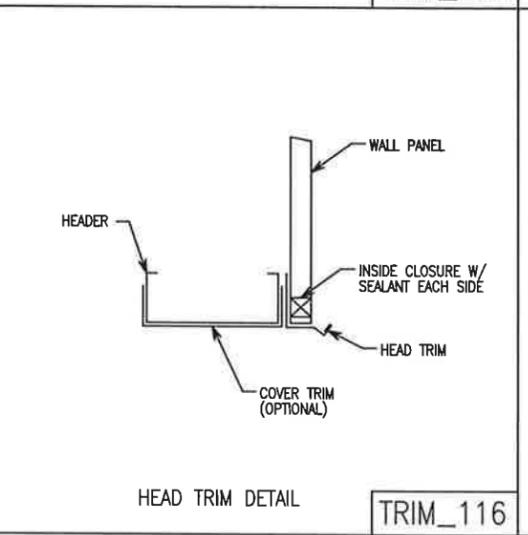
RIDGE CAP DETAIL TRIM\_108



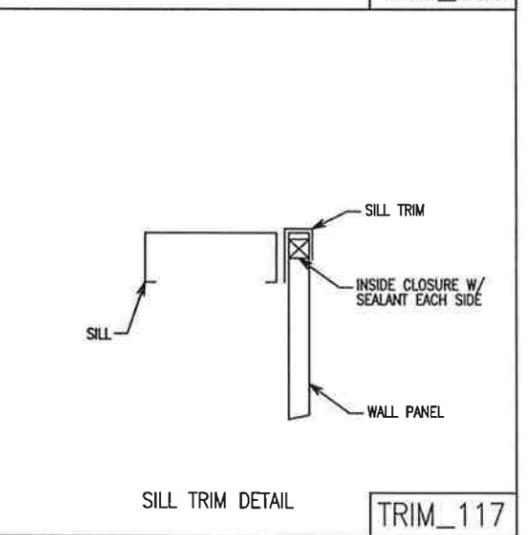
OUTSIDE CORNER TRIM DETAIL TRIM\_111



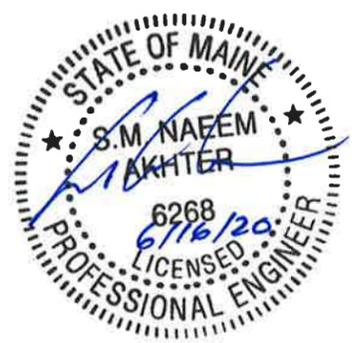
JAMB TRIM DETAIL TRIM\_115



HEAD TRIM DETAIL TRIM\_116



SILL TRIM DETAIL TRIM\_117



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10404 W 154th STREET  
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REVISIONS			
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B	6/11/20	FOR APPROVAL	JAS JAS
C	6/16/20	FOR CONSTRUCTION	CER JAS

**MBMI**  
METAL BUILDINGS  
4723 W ATLANTIC AVE.  
SUITE A20  
DELRAY BEACH, FL 33445  
TEL.: 800-293-2097

THE COASTAL GROUP	
JONATHAN LABOZZO 60 THOMAS POINT ROAD BRUNSWICK, ME 04011	
DATE 6/11/20	DWG NO 11 OF 11
DETAIL DRAWINGS	JOB NO 28016



COMING SOON 207-846-1555



July 15, 2020

Paul Todesca  
Maine Blue Shellfish, Inc  
60 Thomas Point Road  
Brunswick, Maine 04011

Dear Town of Brunswick,

This letter is a reference that Maine Blue Shellfish, Inc. is in good standing with Citizens Bank and has the financial viability to execute the cost of the construction project. Please let me know if you have any questions.

Regards,

A handwritten signature in black ink, appearing to read "J. Morse", written over a light blue horizontal line.

**Jeffrey D. Morse**  
Vice President  
Relationship Manager II  
Business Banking  
Citizens Bank

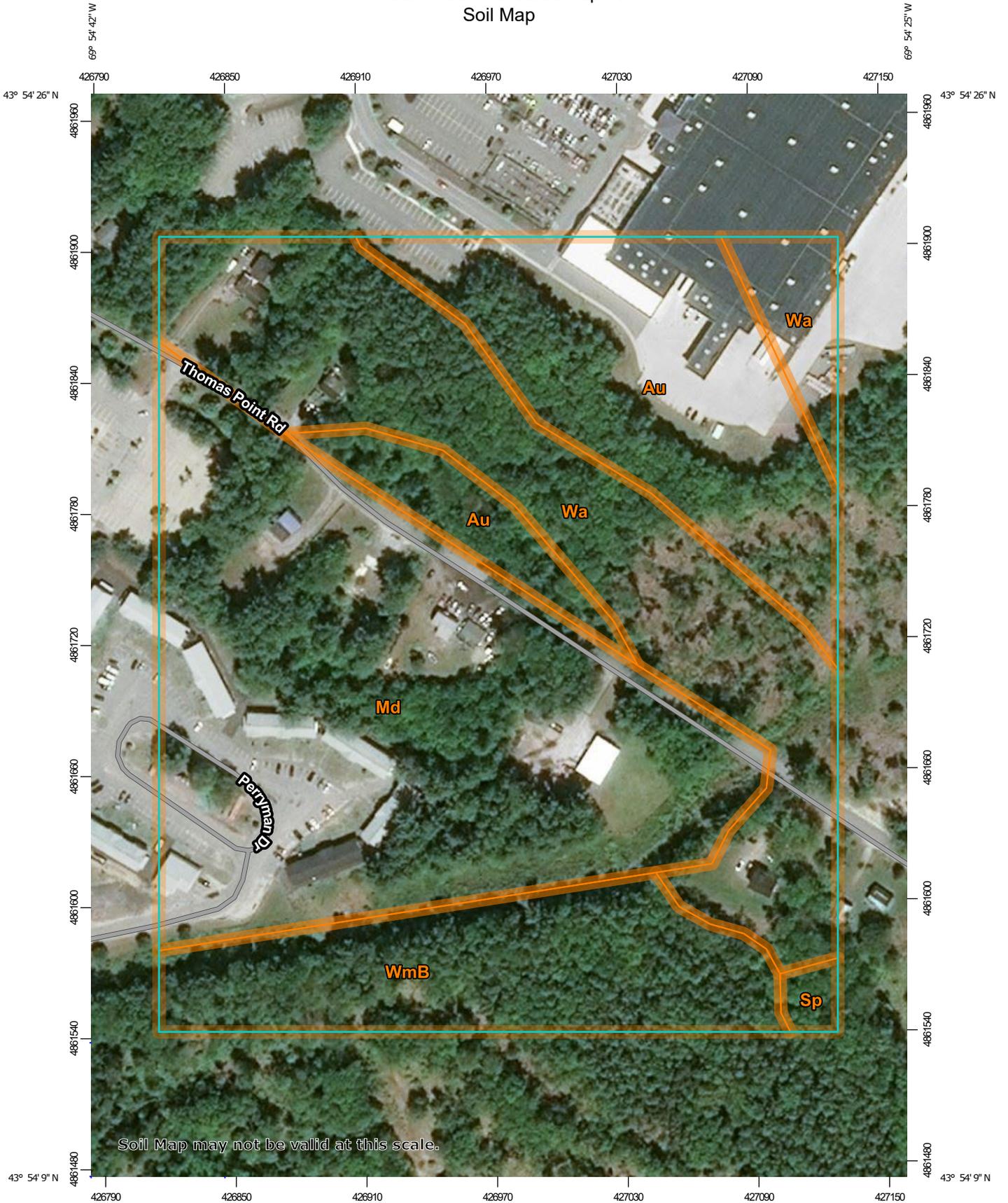


45 Dan Road  
Canton, MA 02021

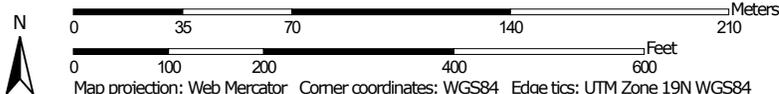
Cell: 603-682-4586

[jeffrey.morse@citizensbank.com](mailto:jeffrey.morse@citizensbank.com)

# Custom Soil Resource Report Soil Map



Map Scale: 1:2,410 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine  
 Survey Area Data: Version 17, Jun 5, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 7, 2019—Jul 2, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background

**MAP LEGEND**

**MAP INFORMATION**

imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Au	Au Gres loamy sand	5.7	20.1%
Md	Made land	11.1	39.4%
Sp	Sebago mucky peat	0.2	0.7%
Wa	Walpole fine sandy loam	7.4	26.2%
WmB	Windsor loamy sand, 0 to 8 percent slopes	3.8	13.6%
<b>Totals for Area of Interest</b>		<b>28.1</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate

## Custom Soil Resource Report

pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Cumberland County and Part of Oxford County, Maine

### Au—Au Gres loamy sand

#### Map Unit Setting

*National map unit symbol:* blgr  
*Elevation:* 10 to 2,200 feet  
*Mean annual precipitation:* 29 to 50 inches  
*Mean annual air temperature:* 37 to 46 degrees F  
*Frost-free period:* 70 to 160 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Au gres and similar soils:* 85 percent  
*Minor components:* 15 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Au Gres

##### Setting

*Landform:* Outwash plains  
*Landform position (two-dimensional):* Toeslope  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Sandy glaciofluvial deposits derived from granite and gneiss

##### Typical profile

*H1 - 0 to 10 inches:* loamy sand  
*H2 - 10 to 32 inches:* loamy sand  
*H3 - 32 to 65 inches:* sand

##### Properties and qualities

*Slope:* 0 to 3 percent  
*Depth to restrictive feature:* More than 80 inches  
*Natural drainage class:* Poorly drained  
*Capacity of the most limiting layer to transmit water (Ksat):* High (2.00 to 6.00 in/hr)  
*Depth to water table:* About 0 to 18 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water storage in profile:* Low (about 3.6 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 4w  
*Hydrologic Soil Group:* A/D  
*Hydric soil rating:* Yes

#### Minor Components

##### Saugatuck

*Percent of map unit:* 6 percent  
*Landform:* Outwash plains  
*Landform position (two-dimensional):* Toeslope  
*Landform position (three-dimensional):* Talf

## Custom Soil Resource Report

*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* Yes

### **Deerfield**

*Percent of map unit:* 4 percent  
*Landform:* Outwash plains  
*Landform position (two-dimensional):* Toeslope  
*Landform position (three-dimensional):* Rise  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

### **Scantic**

*Percent of map unit:* 2 percent  
*Landform:* Coastal plains  
*Landform position (two-dimensional):* Toeslope  
*Landform position (three-dimensional):* Dip  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

### **Walpole**

*Percent of map unit:* 2 percent  
*Landform:* Outwash plains  
*Landform position (two-dimensional):* Toeslope  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* Yes

### **Windsor**

*Percent of map unit:* 1 percent  
*Landform:* Outwash plains  
*Landform position (two-dimensional):* Summit  
*Landform position (three-dimensional):* Rise  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

## **Md—Made land**

### **Map Unit Setting**

*National map unit symbol:* blj8  
*Elevation:* 10 to 1,800 feet  
*Mean annual precipitation:* 30 to 50 inches  
*Mean annual air temperature:* 37 to 46 degrees F  
*Frost-free period:* 90 to 160 days  
*Farmland classification:* Not prime farmland

**Map Unit Composition**

*Made land: 85 percent*

*Minor components: 15 percent*

*Estimates are based on observations, descriptions, and transects of the mapunit.*

**Description of Made Land**

**Setting**

*Landform position (two-dimensional): Toeslope*

*Landform position (three-dimensional): Tread*

*Down-slope shape: Linear*

*Across-slope shape: Linear*

**Typical profile**

*H1 - 0 to 65 inches: variable*

**Interpretive groups**

*Land capability classification (irrigated): None specified*

*Land capability classification (nonirrigated): 8s*

*Hydric soil rating: No*

**Minor Components**

**Buxton**

*Percent of map unit: 3 percent*

*Landform: Coastal plains*

*Landform position (two-dimensional): Toeslope*

*Landform position (three-dimensional): Tread*

*Down-slope shape: Linear*

*Across-slope shape: Linear*

*Hydric soil rating: No*

**Scantic**

*Percent of map unit: 3 percent*

*Landform: Coastal plains*

*Landform position (two-dimensional): Toeslope*

*Landform position (three-dimensional): Tread*

*Down-slope shape: Concave*

*Across-slope shape: Concave*

*Hydric soil rating: Yes*

**Belgrade**

*Percent of map unit: 3 percent*

*Landform: Lakebeds*

*Landform position (two-dimensional): Toeslope*

*Landform position (three-dimensional): Tread*

*Down-slope shape: Linear*

*Across-slope shape: Linear*

*Hydric soil rating: No*

**Deerfield**

*Percent of map unit: 2 percent*

*Landform: Outwash terraces*

*Landform position (two-dimensional): Toeslope*

*Landform position (three-dimensional): Tread*

*Down-slope shape: Linear*

*Across-slope shape: Linear*

## Custom Soil Resource Report

*Hydric soil rating:* No

### **Au gres**

*Percent of map unit:* 2 percent

*Landform:* Outwash terraces

*Landform position (two-dimensional):* Toeslope

*Landform position (three-dimensional):* Tread

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

### **Hollis**

*Percent of map unit:* 2 percent

*Landform:* Till plains

*Landform position (two-dimensional):* Foothlope

*Landform position (three-dimensional):* Rise

*Down-slope shape:* Convex

*Across-slope shape:* Convex

*Hydric soil rating:* No

## **Sp—Sebago mucky peat**

### **Map Unit Setting**

*National map unit symbol:* blk0

*Elevation:* 0 to 2,500 feet

*Mean annual precipitation:* 28 to 55 inches

*Mean annual air temperature:* 37 to 52 degrees F

*Frost-free period:* 80 to 195 days

*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Sebago and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Sebago**

#### **Setting**

*Landform:* Bogs

*Landform position (two-dimensional):* Toeslope

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Organic material

#### **Typical profile**

*Oe - 0 to 36 inches:* mucky peat

*Oi - 36 to 65 inches:* mucky peat

#### **Properties and qualities**

*Slope:* 0 to 1 percent

**From:** [Rob Pontau](#)  
**To:** [Laurel Margerum](#)  
**Cc:** [Jared Woolston](#)  
**Subject:** Re: SRC 8/7  
**Date:** Monday, August 03, 2020 11:33:51 AM

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Hi Laurel,

I'm just getting caught up from vacation. I do have plans Friday, but I will try to call in. As you can see in the packet, I have already had conversations with the applicant. In case I don't make it, I'd just like to reiterate and get on record that based on our conversation, only standard (typical) sewage will enter the municipal sewer, and any process materials will be disposed of separately.

Thanks,

Rob

*Robert A. Pontau Jr., PE*  
*Assistant General Manager*  
*Brunswick Sewer District*  
[www.brunswicksewer.org](http://www.brunswicksewer.org)

*All emails associated with the Brunswick Sewer District are considered public information and are subject to the State of Maine Freedom of Access Act.*

On Wed, Jul 29, 2020 at 4:16 PM Laurel Margerum <[lmargerum@brunswickme.org](mailto:lmargerum@brunswickme.org)> wrote:

Hi Staff Review Committee,

The [packet](#) for Friday, 8/7 is posted. This meeting is for minor development review which means the Committee takes action. Draft findings of fact will be distributed closer to the meeting. Building renderings are anticipated as an application addendum.

Laurel

Laurel Margerum

Planning Assistant

Brunswick Planning & Codes

[lmargerum@brunswickme.org](mailto:lmargerum@brunswickme.org)

(207) 725-6660

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**From:** [Jared Woolston](#)  
**To:** [Laurel Margerum](#)  
**Subject:** FW: Cape Cod - 60 Thomas Point  
**Date:** Wednesday, August 05, 2020 3:55:54 PM  
**Attachments:** [Elevation drawings.pdf](#)

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2 of 2

Jared Woolston, AICP  
Town Planner  
Town of Brunswick  
85 Union Street  
Brunswick, ME 04011

(207) 725-6660, ext. 4022 (v)  
(207) 725-6663 (f)  
[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)  
[www.brunswickme.org](http://www.brunswickme.org)

**From:** Jonathan Loboza <[jglobozza@gmail.com](mailto:jglobozza@gmail.com)>  
**Sent:** Wednesday, August 05, 2020 3:41 PM  
**To:** Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)>  
**Cc:** Charlie Burnham <[charlie@arc-maine.com](mailto:charlie@arc-maine.com)>; Laurel Margerum <[lmargerum@brunswickme.org](mailto:lmargerum@brunswickme.org)>  
**Subject:** Re: Cape Cod - 60 Thomas Point

Jared,

See attached. Will this suffice? Thanks, -JL

On Wed, Aug 5, 2020 at 2:31 PM Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)> wrote:

Jonathan and Charlie,

Just checking in. You can send those building renderings to Laurel (cc'd) for an addendum to the SRC packet when ready.

Jared Woolston, AICP  
Town Planner  
Town of Brunswick  
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Brunswick, ME 04011

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[www.brunswickme.org](http://www.brunswickme.org)

**From:** Jonathan Loboza <[jglobozza@gmail.com](mailto:jglobozza@gmail.com)>  
**Sent:** Wednesday, July 29, 2020 12:37 PM

**To:** Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)>

**Cc:** Charlie Burnham <[charlie@arc-maine.com](mailto:charlie@arc-maine.com)>

**Subject:** Re: Cape Cod - 60 Thomas Point

I have requested a rendering and will send it along as soon as I have it. Is the meeting on Friday the 7th via Zoom?

On Wed, Jul 29, 2020 at 12:22 PM Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)> wrote:

Jonathan,

Renderings of what the building would like are probably the best way to show the committee that it is a New England style but you can probably get away with basic information about the façade (color, materials...). Generally earth tones are good to go. Happy to add additional supporting material to the packet if you have something in mind.

Jared Woolston, AICP  
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Town of Brunswick  
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[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)

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**From:** Jonathan Loboza <[jglobozzo@gmail.com](mailto:jglobozzo@gmail.com)>

**Sent:** Wednesday, July 29, 2020 11:32 AM

**To:** Charlie Burnham <[charlie@arc-maine.com](mailto:charlie@arc-maine.com)>

**Cc:** Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)>

**Subject:** Re: Cape Cod - 60 Thomas Point

The roof and trim of the building will be the color Royal Blue and the walls will be Light Stone. Do we need to supply color renderings in addition to the structural renderings? Thanks, -JL

On Wed, Jul 29, 2020 at 11:29 AM Charlie Burnham <[charlie@arc-maine.com](mailto:charlie@arc-maine.com)> wrote:

And here is Part 2. Thanks Jared!

Charlie

Sent from [Mail](#) for Windows 10

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**From:** [Charlie Burnham](#)

**Sent:** Wednesday, July 29, 2020 11:27 AM

**To:** [Jared Woolston](#)

**Cc:** [Jonathan Loboza](#)

**Subject:** Cape Cod - 60 Thomas Point

Afternoon Jared,

Attached is Part 1 of the Staff Review Application.

I attempted to get the USGS topography onto our property, but the contours in that area don't cross through our site, since it's so flat. So I guess I could argue that I did include 2 foot contours.

I have updated the checklist.

A note requiring two street trees and the parking spaces are on the Proposed Development Plan.

Jon is working on getting additional elevation information and if he can get it in time, he is going to print it off with the rest of this package.

He plans on dropping off the packages this afternoon with the check, last we talked.

Part 2 of the application will follow shortly.

Thanks,  
Charlie

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**From:** [Jared Woolston](#)  
**To:** [Laurel Margerum](#)  
**Subject:** FW: Maine Blue Shellfish  
**Date:** Wednesday, August 05, 2020 3:47:26 PM

---

Please add this email as 1 of 2 SRC addendum documents.

Jared Woolston, AICP  
Town Planner  
Town of Brunswick  
85 Union Street  
Brunswick, ME 04011

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---

**From:** Julie Erdman <[jerdman@brunswickme.org](mailto:jerdman@brunswickme.org)>  
**Sent:** Wednesday, August 05, 2020 3:20 PM  
**To:** Jared Woolston <[jwoolston@brunswickme.org](mailto:jwoolston@brunswickme.org)>  
**Subject:** Maine Blue Shellfish

Jared,

I have reviewed the Minor Development Review application for Maine Blue Shellfish and have the following comments:

- Warehousing and Storage is a permitted use in the GM4 zoning district.
- The project appears to meet all the density and dimensional standards of the ordinance.
- The use requires just one parking space per 2,500 square feet so the project has more than required with 4 spaces.
- Please let the applicant know that he does need a sign permit and that the existing pole sign exceeds the 25 sq ft that the ordinance allows.

Thank you,

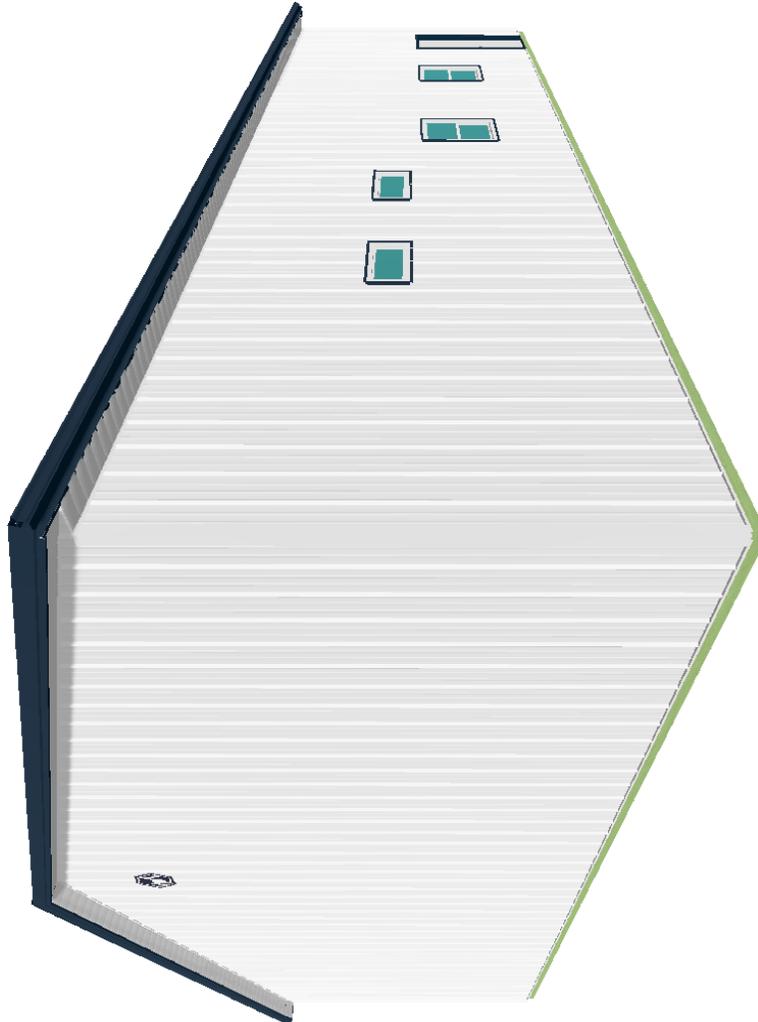
Julie Erdman  
Codes Enforcement Officer  
Dept of Planning & Development  
Town of Brunswick  
85 Union Street

Brunswick, ME 04011

Phone: (207)725-6660 x4025

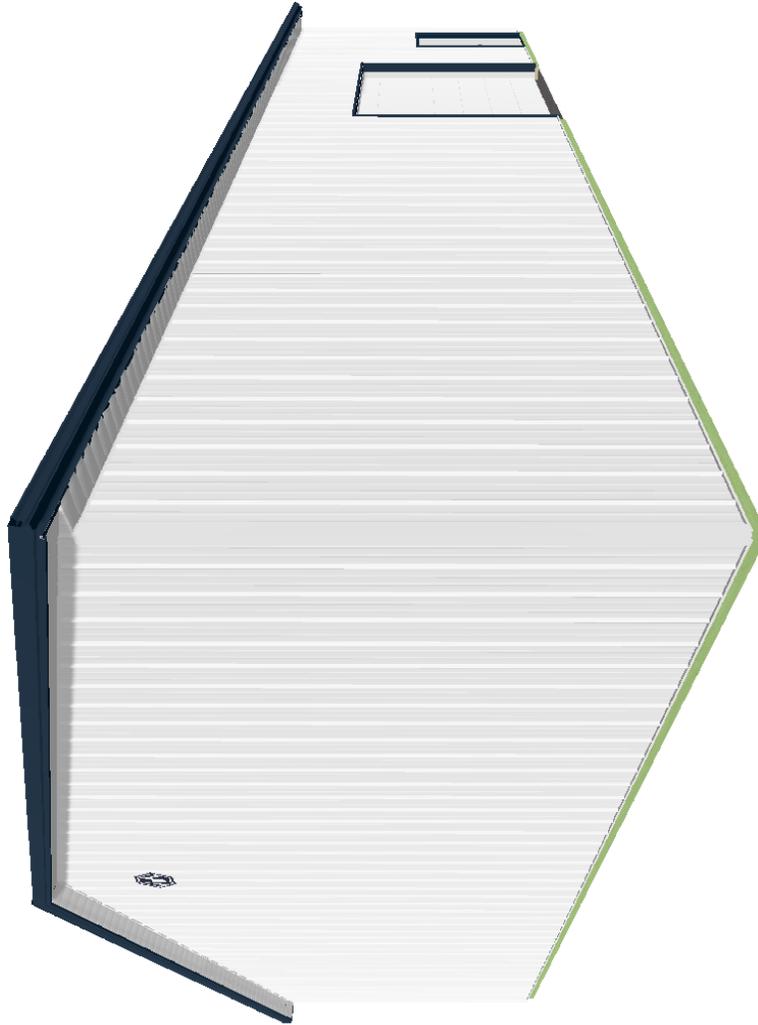
Fax: (207)725-6663

### 306 42'x14'x48' West and South Walls



252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

### 306 42'x14'x48' East and North Walls



# Town of Brunswick, Maine

DEPARTMENT OF PLANNING AND DEVELOPMENT

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## DRAFT FINDINGS OF FACT FINAL PLAN MINOR DEVELOPMENT REVIEW

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**SRC REVIEW DATE:** August 7, 2020  
**PROJECT NAME:** Maine Blue Shellfish, INC  
**CASE NUMBER:** 20-027  
**ADDRESS:** 60 Thomas Point Road  
**TAX MAP:** Map CC2, Lot 7  
**ZONING DISTRICT:** Growth Mixed Use 4 (GM4)  
**OVERLAY ZONING:** None

**PROJECT APPLICANT:** Burnham and LoboZZo Builders, LLC  
8 Grange Hall Road  
New Gloucester, ME 04260

**PROPERTY OWNER:** Maine Blue Shellfish, INC  
PO Box 357  
Brunswick, ME 04011

**AUTHORIZED REPRESENTATIVE:** Charlie Burham, PE  
38 Grange Hall Road  
New Gloucester, ME 04260

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### I. DRAFT MOTION 1 – APPLICATION COMPLETENESS:

*That the Committee deems the application for Final Plan Minor Development Review complete.*

### II. PROJECT SUMMARY:

The proposed development is the construction of 1,900 square foot shellfish storage and distribution facility at 60 Thomas Point Road. The applicant will construct a parking lot with two (2) driveway entrances on Thomas Point Road. A landscaped area is depicted between the proposed driveways.

### III. CHAPTER 4 – PROPERTY DEVELOPMENT STANDARDS:

#### **Section 4.1 – Applicability of Property Development Standards**

The proposed development is within the GM4 zoning district. The proposed project complies with all applicable property development standards set forth in Chapter 4 of the Zoning Ordinance. Staff recommend approval for Section 4.1.

*The Committee finds that the provisions of Section 4.1 are satisfied.*

### **Section 4.2 – Dimensional and Density Standards**

The application material provided by the applicant indicate the proposed development complies with all dimensional and density standards of the GM4 Zoning District. The Code Enforcement Officer provided review correspondence on August 5, 2020 that indicates Section 4.2 is satisfied.

*The Committee finds that the provisions of Section 4.2 are satisfied.*

### **Section 4.3 – Natural and Historic Areas**

#### **4.3.1 – Mapping of Natural and Historic Area Requirements**

In accordance with subsection 4.3.1, the applicant depicted all features important to the natural, scenic, or historic character of the Town on the site plans and to the greatest extent practicable incorporated protection for these features into the site design.

#### **4.3.2 – Pollution**

The applicant will connect to the public sewer system. Based on the information provided, the proposed development will not result in undue water or air pollution.

#### **4.3.3 – Protection of Natural Vegetation**

The site plans indicate the proposed development area on the subject lot is oriented toward Thomas Point Road. Based on the plans, the project maximizes the preservation of natural landscape features, does not occur within or cause harm to land not suitable for development, and will not have an undue adverse effect on the area’s scenic or natural beauty.

#### **4.3.4 – Protection of Significant Plant and Animal Habitat**

No significant plant and animal habitats were identified within the project area. Subsection 4.3.4 is not applicable to the project.

#### **4.3.5 – Steep Slopes**

The available information indicates no steep slopes are within the project area. Subsection 4.3.5 is not applicable to the project.

#### **4.3.6 – Erosion and Sedimentation**

The proposed development will be constructed in accordance with the Maine Department of Environmental Protection’s Best Management Practices and is not anticipated to cause

unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy situation results.

#### 4.3.7 – Groundwater

The project will connect to the public sewer system. No wastewater treatment is proposed on-site. The applicant will use an existing well. Based in the available information and the small scale of the proposal, the development does not alone or in conjunction with existing activities, have an undue adverse effect on the quality or quantity of groundwater.

#### 4.3.8 – Surface Waters, Wetlands, and Marine Resources

There are no marine resources located within the subject property. Subsection 4.3.8 is not applicable to the proposed project.

#### 4.3.9 – Historic and Archeological Resources

No historic or archaeological resources were identified within the project area.

*The Committee finds that the provisions of Section 4.3 are satisfied.*

### **Section 4.4 – Flood Hazard Areas**

The subject property is not located within a Flood Protection Overlay (FPO) District.

*The Committee finds that the provisions of Section 4.4 are not applicable.*

### **Section 4.5 – Basic Municipal Services**

#### 4.5.1 – Sewage Disposal

The applicant will connect to the public sewer system as approved by the Brunswick Sewer District. The proposed development will not cause an unreasonable burden on municipal services.

#### 4.5.2 – Water Supply and Quality

The applicant will connect to an existing well for water. Based on the information provided, the proposed development will have sufficient water available for the reasonably foreseeable needs of the development and will have no undue adverse impact on existing water supplies.

Staff note fire hydrants are near the project site as depicted on the town GIS database. Nevertheless, staff advise consultation with the Fire Chief or designee to develop and implement a plan to provide water for the purpose of fire protection in accordance with subsection 4.5.2.D, "Specific Standards: Fire Protection Water Supply." Staff advise a

condition of approval on Fire Department review and approval of fire protection water supply requirements as part of the building permit review.

#### 4.5.3 – Solid Waste Disposal

No solid waste impact fees are required.

#### 4.5.4 – Stormwater Management

The proposed development is below the 0.25 acre stormwater treatment threshold. As noted in section 4.3.6, the proposal includes an erosion and sedimentation control plan. The proposed development is designed to minimize the total area of impervious surface on the development site and incorporate stormwater management measures to minimize runoff volume and rate, as well as pollutant and nutrient loadings, from the site to the extent required.

*The Committee finds that the provisions of Section 4.5 are conditionally satisfied provided fire protection water supply is provided.*

#### Section 4.6 – Landscaping Requirements

The applicant will provide a landscaped area with trees between the two (2) proposed entrances. Existing topography and vegetation will be maintained where practicable. The applicant is advised to consult with the Town Arborist for the final selection of plantings in the landscaped area.

*The Committee finds that the provisions of Section 4.6 are satisfied provided the final selection of plantings are approved by the Town Arborist.*

#### Section 4.7 – Residential Recreation Requirements

The proposed project does not include a new residence. Residential impact fees are not applicable to the project.

*The Committee finds that the provisions of Section 4.7 are not applicable to the proposed development.*

#### Section 4.8 – Circulation and Access

Staff reviewed the proposed driveway entrances, circulation, and access, and advise the proposed plans are consistent with town standards. The proposed development is not anticipated to cause unreasonable vehicular or pedestrian congestion or unsafe conditions within the subject property or on the public right-of-way.

*The Committee finds that the provisions of Section 4.8 are satisfied.*

#### **Section 4.9 – Parking and Loading**

The Code Enforcement Officer reviewed the parking lot and advised the proposed dimensions and number of parking spots are consistent with the zoning ordinance for the proposed use.

*The Planning Board finds that the provisions of Section 4.9 are satisfied.*

#### **Section 4.10 – Lighting**

No outdoor lighting is proposed.

*The Committee finds that the provisions of Section 4.10 is not applicable as proposed.*

#### **Section 4.11 – Architectural Compatibility**

The Cooks Corner Design standards apply within the GM4 zoning district. The applicant provided construction drawings and renderings of the proposed building. The relatively small scale of the proposed development and use as a warehouse is compatible with its architectural surroundings in terms of its size, mass, and design.

*The Committee finds that the provisions of Section 4.11 are satisfied.*

#### **Section 4.12 – Neighborhood Protection Standards**

The proposed development is not located within a Growth Mixed-Use Zoning District or a Growth Special Purpose Zoning District.

*The Committee finds that the provisions of Section 4.12 are not applicable.*

#### **Section 4.13 – Signs**

The proposed sign dimensions are 4 feet by 8 feet (32 square feet). The Code Enforcement Officer (CEO) reviewed the proposed sign dimensions and the existing “coming soon” sign in the application. Based on the information provided, the existing pole sign exceeds the 25 square foot dimensional limit for a sign and was not issued a sign permit.

If the project is approved by the SRC the applicant shall remove the unlicensed sign and submit an after-the-fact sign permit application.

*The Committee finds that the provisions of Section 4.13 are conditionally satisfied on removal of the unlicensed sign within one week of this approval and upon the after-the-fact review and approval of a sign permit by the CEO.*

#### **Section 4.14 – Performance Standards**

The proposed development is not anticipated to exceed any of the performance standards established within Section 4.14.

*The Committee finds that the provisions of Section 4.14 are satisfied.*

**Section 4.15 – Site Feature Maintenance**

This finding serves to advise the applicant that site features constructed or installed as required by this development approval must be maintained in good repair, and replaced if damaged or destroyed, or in the case of living materials, if they die or are effectively destroyed after installation.

*The Committee finds that the provisions of Section 4.15 are satisfied.*

**Section 4.16 – Financial and Technical Capacity**

Site plans were prepared by technical consultants with certifications in their field. A third-party financial institution provided documentation that the applicant’s financial capacity is acceptable.

*The Committee finds that the provisions of Section 4.16 are satisfied.*

**Section 4.17 – Administrative Adjustments / Alternative Equivalent Compliance**

The applicant does not request any administrative adjustments.

*The Committee finds that the provisions of Section 4.17 are not applicable*

**IV. DRAFT MOTION 2**

That the Final Plan Minor Development Review is approved with the following conditions:

1. That the Committee’s review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification shall require a review and approval in accordance with the Brunswick Zoning Ordinance.
2. That prior to the issuance of a building permit, the final landscaping plans shall be reviewed and approved by the Town Arborist and to the satisfaction of the Director of Planning and Development.
3. That the existing unlicensed sign shall be removed by the applicant within seven (7) days from the date of this approval (Friday, August 14, 2020), to the satisfaction of the

Director of Planning and Development and the Code Enforcement Officer.

4. That prior to installing a new sign for the proposed development, an after-the-fact sign permit shall be reviewed and approved by the Code Enforcement Officer and to the satisfaction of the Director of Planning and Development.