



Town of Brunswick, Maine  
STAFF REVIEW COMMITTEE  
85 Union Street  
Brunswick, ME 04011

**STAFF REVIEW COMMITTEE AGENDA  
BRUNSWICK TOWN HALL  
85 UNION STREET  
Wednesday, September 16, 2020, 10:00 A.M.**

***THIS MEETING IS BEING CONDUCTED VIA ELECTRONIC DEVICES WITH STAFF REVIEW COMMITTEE MEMBERS PARTICIPATING FROM REMOTE LOCATIONS.***

***THERE IS NO OPPORTUNITY FOR THE PUBLIC TO VIEW THIS MEETING IN PERSON.***

***THE PUBLIC MAY PROVIDE COMMENT VIA EMAIL ([mpanfil@brunswickme.org](mailto:mpanfil@brunswickme.org)) PRIOR TO THE MEETING OR THEY MAY PROVIDE LIVE COMMENT VIA ZOOM TELEPHONE AT: +1 929 205 6099;  
MEETING ID: 869 1903 1104; PASSCODE: 883438***

- 1. Case #20-042 Sea Point Land Company Shoreline Stabilization:** The Staff Review Committee will review and make a recommendation to the Planning Board on a **Sketch Plan Major Development Review** application submitted by Walsh Engineering Associates, INC. on behalf of Sea Point Land Company to complete an eighty-five-foot shoreline stabilization project using a riprap boulder revetment at Map MP1, Lot 11. The subject parcel is located within the **Rural Protection 1 (RP1) zoning district** and contains the **SPO-RP (2 Acre 20% Steep Slope)**, **SPO-RP (Bluff, Highly unstable)**, **SPO-RP (FEMA 100 Flood, Tidal-River)**, **SPO-FPO (Special Flood Hazard Area)**, and **Rural Protection Stormwater Management overlay zones**.
- 2. Case #20-041 Cooks Corner Self Storage:** The Staff Review Committee will review and make a recommendation to the Planning Board on a **Sketch/Final Plan Major Development Review** application submitted by Sitelines, PA on behalf of Old Bath Road SPE, LLC for after-the-fact construction of additional gravel areas at an existing storage facility and forest restoration plans at Map 45, Lot 1A. The subject parcel is located within the **Growth Mixed-Use 4 (GM4) zoning district** and contains **no overlays**.
- 3. Other Business**
- 4. Adjourn**

This agenda is mailed to owners of property within 200 feet of proposed development sites. In cases where Committee action is pending this agenda serves as notice of same. In cases where the Committee's role is to advise the Planning Board, this agenda is mailed as a courtesy along with notice of the Planning Board meeting. The Staff Review Committee meeting is open to the public. All are invited to attend and participate. For further information call the Brunswick Department of Planning and Development (725-6660).



August 31, 2020

Jared Woolston, Planner  
Department of Planning & Development  
City of Brunswick  
85 Union Street  
Brunswick, ME 04011

**RE: Sketch Plan Submission  
Shoreline Stabilization  
East Marginal Road  
Brunswick, ME**

Dear Jared,

On behalf of the Sea Point Land Company (Applicant), Walsh Engineering Associates, Inc. (WEA) is pleased to submit the enclosed Sketch Plan Application for shoreline stabilization on East Marginal Road.

### **Existing Conditions**

The property consists of a parcel of land identified as Map MP1, Lot 11 on the Town of Brunswick Assessor's Map. The parcel extends around the tip of Mere Point and generally contains the area between East Marginal Road and the Casco Bay on the south side of Mere Point and West Marginal Road and Casco Bay on the north side of Mere Point. The portion of the property that requires shoreline stabilization is undeveloped with the exception of a dock and stairs to access the dock.

The shoreline around the dock has experienced significant erosion and scouring due to wave and tidal action. On the northeast side of the dock a near vertical face of exposed overburden is visible. On the southwest side of the dock the existing trees have had their roots exposed and are not expected to remain long under current conditions. The rest of the bluff is covered in small vegetation with some large trees and other areas of exposed overburden in places of recent erosion.

Stabilization of the shoreline is necessary to protect the integrity of the dock and stair system. Erosion of the bank under current conditions would expose the foundations of the stairs and eventually reach a septic pump station located at the top of bluff. A boulder revetment is necessary due to the wave action in the bay.

The property is located within the Resource Protection 1 zone and within the 75' Shoreland Zone Resource Protection overlay district associated with the Atlantic Ocean.

### **Proposed Improvements**

The Applicant proposes to stabilize the shoreline by installing a rip-rap boulder revetment. The rip-rap boulder revetment consists of large boulders (3.5'-4.5'± dia.) placed on top of each other. Boulders will be pinned to ledge at the toe of the revetment. The revetment will slope at a rate of 1(H) to 1(V) and the top of the stone will have an elevation of 12± (NAVD88). Elevation 12± was chosen based on preliminary

flood zone maps and erosion observations. It is our judgment that this elevation is required to mitigate damage to the top of bluff from wave overtopping. Geotextile fabric and drainage stone will be placed behind the revetment. The area above the revetment up to elevation 14.0 will have erosion control mix spread with native shrubs planted to limit erosion and provide treatment for drainage from the existing lawn above. Trees and shrubs will be planted to replace those damaged during construction.

A Natural Resources Protection Act Permit has been submitted to Maine DEP staff and is currently under review. The project is also currently being reviewed by the U.S. Army Corps of Engineers.

On behalf of the Applicant, we look forward to working with you to make this project a success. Please find enclosed the required Sketch Plan Application materials. Please contact us at your earliest convenience if you require any additional information.

Respectfully,



Norman G. Chamberlain II, PE  
Walsh Engineering Associates, Inc.

cc: Doug Nevin, Sea Point Land Company (Applicant)

enc: Development Review Sketch Plan Application  
Sketch Plan Fee: \$200.00  
Agent Authorization  
Right, Title, and Interest  
Location Plan  
Photographs  
Site Plans



# Town of Brunswick, Maine

INCORPORATED 1739

DEPARTMENT OF PLANNING AND DEVELOPMENT

85 UNION STREET

BRUNSWICK, MAINE 04011-1583

TELEPHONE 207-725-6660

FAX 207-725-6663

## BRUNSWICK PLANNING BOARD DEVELOPMENT REVIEW PACKET

This Packet Includes:

- I. Summary of Development Review Applicability and Process
- II. Minor Development Review Application Form
- III. Sketch Plan Major Development Review Application Form
- IV. Final Plan Major Development Review Application Form
- V. Streamlined Final Plan Review Application Form

Note that this review process summary and the submission checklist are provided only as a ready reference for your convenience. For a complete reading of the provisions governing development review in Brunswick, the applicant must refer to the Brunswick Zoning Ordinance, copies of, which are available for a fee from the Department of Planning and Development.

## PURPOSE

The purpose of Development Review for site plans and subdivisions is to ensure that the development of land occurs in a manner that conforms to the Brunswick Zoning Ordinance (Zoning Ordinance) and reasonably protects public facilities, the natural environment and neighboring uses. Development review includes subdivision and site plan reviews. Applicants are advised that a building, electrical or plumbing permit may be required in addition to Development Review. For further information, contact the Town Planner, Department of Planning and Development at 207-725-6660.

## DEVELOPMENT REVIEW CATEGORIES AND THRESHOLDS

Development review applications are classified into “Minor”, “Major” and “Streamlined Major” review. Major Reviews are conducted by the Planning Board, and Minor Reviews are conducted by the Staff Review Committee. **Development review thresholds and procedures are detailed in Section 5.2.9 of the Brunswick Zoning Ordinance.** Briefly;

**Minor Plan:** For developments of lesser scale, the plan includes the final drawings on which the applicant’s subdivision or site plan is presented to the Staff Review Committee for approval and which, if approved, would be recorded at the Cumberland County Registry of Deeds.

### Major Review Components:

**Sketch Plan:** Includes conceptual maps, renderings and supportive data describing the project proposed by the applicant for initial Staff Review Committee review and recommendation to the Planning Board, followed by the review and action by the Planning Board.

**Final Plan:** Includes the final drawings on which the applicant’s subdivision or site plan is first presented to the Staff Review Committee for review and recommendation to the Planning Board, followed by review and action by the Planning Board.

**Streamlined Major Plan:** If the proposed development is located within the Brunswick Growth Area, as delineated on the Town’s Official Zoning Map, an applicant has the option to submit a Streamlined Major Plan for Planning Board review and approval. A staff-level pre-application meeting is required prior to the application being submitted.

## REVIEW PROCESS AND TIMEFRAME

Development Review shall be conducted in accordance with the Development Review Time and Processing Requirements in Table 5.2.9.1 of the Zoning Ordinance and provided below. All time limits are expressed in calendar days. In cases where the date prescribed in this Table is a legal holiday, all deadlines shall apply to the previous working day.

**Table 5.2.9.1: Development Review Time and Processing Requirements**

Timing	Minor Development Review (Staff Review Committee)	Standard Major Development Review (Planning Board)	Streamlined Major Development Review (Planning Board)
No less than 21 days prior to Review Authority Meeting		Deadline for filing one (1) copy of application for Planning Board consideration.	No less than 21 days prior to Planning Board consideration, applicant shall meet with Department staff to discuss application.
No less than 14 days prior to Review Authority meeting	Deadline for filing one (1) copy of application for Staff Review Committee consideration. Staff confirms that application is complete within three (3) working days and completes abutter notification in accordance with Subsection 5.1.3.B(1). The applicant then supplies 12 copies of all application materials and one (1) electronic copy.	Within five (5) working days, staff confirms that application is complete and all owners of property per Subsection 5.1.3.B(1) are notified of the Staff Review Committee and Planning Board meetings. The applicant then supplies 12 copies of all application materials and one (1) electronic copy for Staff Review Committee distribution.	Deadline for filing one (1) copy of application for Planning Board consideration. <sup>1</sup> Staff confirms that application is complete and all owners of property per Subsection 5.1.3.B(1) are notified of the Staff Review Committee and Planning Board meetings. The applicant then supplies 12 copies of all application materials and one (1) electronic copy for Staff Review Committee distribution.
No less than seven (7) days prior to Review Authority meeting		The application shall be brought before the Staff Review Committee for comments and recommendation. Within five (5) days following the Staff Review Committee meeting, the applicant shall supply nine (9) copies of the revised plans and one (1) electronic version for distribution to Planning Board. If a Public Hearing is required, the first of two (2) required notices shall appear in a newspaper of general circulation no less than seven (7) days prior to the hearing.	The application shall be brought before the Staff Review Committee for comments and recommendation. Within five (5) days following the Staff Review Committee meeting, the applicant shall supply nine (9) copies of the revised plans and one (1) electronic version for distribution to Planning Board. If a Public Hearing is required, the first of two (2) required notices shall appear in a newspaper of general circulation no less than seven (7) days prior to the hearing.
No less than three (3) days prior to Review Authority meeting	The Director shall issue preliminary Findings of Fact based on Subsection 5.2.9.O and shall issue a draft set of conditions of approval, if any. This material shall be mailed, emailed, faxed, or hand delivered to the Staff Review Committee and the applicant.	The Director shall issue preliminary Findings of Fact based on Subsection 5.2.9.O and shall issue a draft set of conditions of approval, if any. This material shall be mailed, emailed, faxed, or hand delivered to the Planning Board and the applicant.	The Director shall issue preliminary Findings of Fact based on Subsection 5.2.9.O and shall issue a draft set of conditions of approval, if any. This material shall be mailed, emailed, faxed or hand delivered to the Planning Board and the applicant.
No more than seven (7) days after decision by Review Authority	The Staff Review Committee shall transmit its written decision and Findings of Fact to the applicant.		

<b>Table 5.2.9.1: Development Review Time and Processing Requirements</b>			
<b>Timing</b>	<b>Minor Development Review (Staff Review Committee)</b>	<b>Standard Major Development Review (Planning Board)</b>	<b>Streamlined Major Development Review (Planning Board)</b>
No more than 30 days after decision by Review Authority if Public Hearing held, or no more than 60 days if no public hearing is held.		The Planning Board shall transmit its written decision and Findings of Fact to the applicant.	The Planning Board shall transmit its written decision and Findings of Fact to the applicant.
No more than 30 days after application is deemed complete by staff.	The Review Authority shall consider an application unless postponement is requested or agreed to by applicant.		
<b>NOTES:</b> 1. If application lacks any required submittal materials, the streamlined process shall be terminated and the application shall revert back to the Major Development Review process.			

Flowcharts illustrating specific review procedures for each development review category are attached.

**APPLICABLE FEES**

**Application Fees**

The following application fees shall be paid for any project undergoing development review. For projects that meet the public hearing threshold or projects for which the Planning Board schedules a public hearing an additional \$250.00 fee will be assessed to cover the costs of advertising.

**Minor Development Review:**

- \$200.00

**Major Subdivision:**

SKETCH PLAN: \$125 per lot proposed  
 FINAL PLAN: \$175 per lot proposed

**Major Site Plan:**

- SKETCH PLAN:
- For projects with new building construction of more than 2,500 square feet the cost equals the total amount of square footage for all buildings multiplied by \$0.05.
  - For all other developments the fee is \$200.00.
- FINAL PLAN:
- For projects with new building construction of more than 2,500 square feet the cost equals the total amount of square footage for all buildings multiplied by \$0.12.
  - For all other developments the fee is \$200.00.

**Impact Fees**

Impact fees may apply depending upon the type of proposed development and will be determined during the development review process.

**DEVELOPMENT REVIEW  
APPLICATION**

1. Development Review application type (refer to **Appendix D**):

- |  |   |
|--|---|
|  | <b>Minor Development Review</b>                         |
|  | Major Development Review: <b>Sketch Plan</b>            |
|  | Major Development Review: <b>Final Plan</b>             |
|  | Major Development Review: <b>Streamlined Final Plan</b> |

2. Project Name: \_\_\_\_\_

3. Project Applicant

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

4. Project Owner (if different than applicant)

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

5. Authorized Representative

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

6. List of Design Consultants. Indicate the registration number, address and phone number, email for any additional project engineers, surveyors, architects, landscape architects or planners:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

7. Physical location of property: \_\_\_\_\_

8. Lot Size: \_\_\_\_\_

9. Zoning District: \_\_\_\_\_

10. Overlay Zoning District(s): \_\_\_\_\_

11. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application?

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12. Assessor's Tax Map \_\_\_\_\_ Lot Number \_\_\_\_\_ of subject property.

13. Brief description of proposed use/subdivision: \_\_\_\_\_

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14. Describe specific physical improvements to be done: \_\_\_\_\_

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Owner Signature:

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Applicant Signature (*if different*):

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#### **DEVELOPMENT REVIEW APPLICATION REQUIREMENTS**

The submission requirements contained in **Appendix D** of the Brunswick Zoning Ordinance (attached in checklist format for each application category) shall apply to all Minor Development, Major Development, and Streamlined Major Development Review unless a waiver is granted. Proposed development applications shall be submitted to the Director of Planning and Development.

For each item listed in Appendix D the applicant shall either submit the requested information or request a waiver from the information requirement pursuant to Subsection 5.2.9.M of the Zoning Ordinance.

## REQUIREMENTS FOR SKETCH PLAN APPLICATION SUBMITTAL

Please mark box with one of the following:  
**“W”** (Waiver); **“P”** (Pending); **“X”** (Submitted) or **“N/A”** (Not applicable)

Sketch Plan

<b>General</b>	Application form and fee	
	Name of development	
	Existing zoning district and overlay designations	
	Location map	
	Location of features, natural and artificial, such as water bodies, wetlands, streams, important habitats, vegetation, railroads, ditches and buildings	
	Documentation of Right, Title and Interest	
	Draft performance guarantee or conditional agreement	
<b>Survey, Topography, &amp; Existing Conditions</b>	Scale, date, north point, and area	
	Existing easements associated with the development	
	Existing locations of sidewalks	
	Approximate locations of dedicated public open space, areas protected by conservation easements and recreation areas	
	When applicable, a table indicating the maximum number of lots permitted based upon the applicable dimensional requirements, the number of lots proposed, and the number of lots permitted to be further subdivided.	
<b>Proposed Development Plan</b>	Number of lots if a subdivision	

To Whom It May Concern,

By this letter, the undersigned authorizes Walsh Engineering Associates, Inc. to act as the agent for the preparation and submission of all permit applications and relevant documents and correspondence for all necessary permits for the proposed site improvements at Sea Point Land Company property on Mere Point in Brunswick, Maine; to attend meetings and site visits; to appear before all boards, commissions, and committees, and to provide such other services as are necessary and appropriate in furtherance of the aforementioned project.

Sincerely,



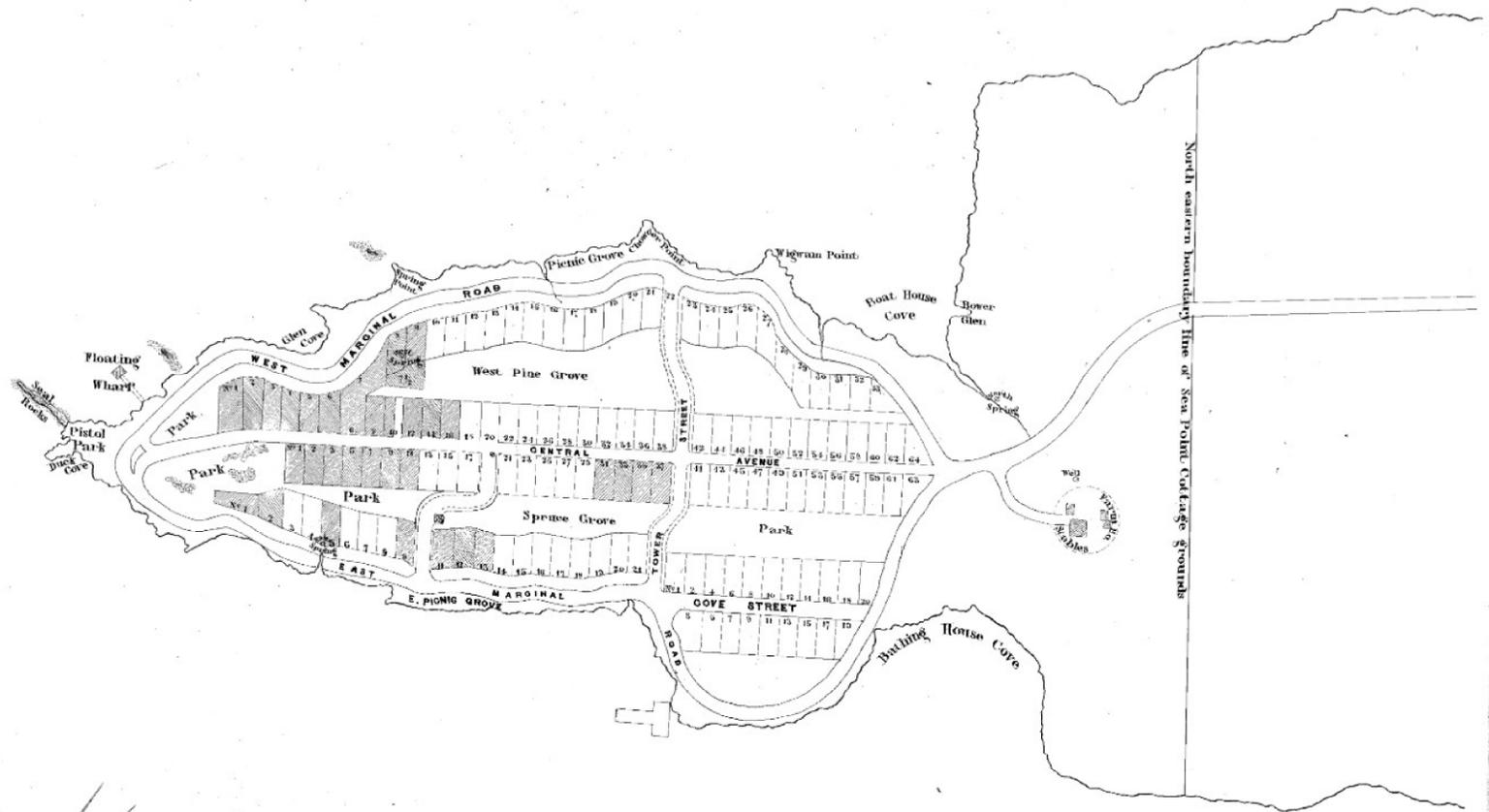
William Brokaw  
President Sea Point Land Company  
Client

7-22-20

---

Date

# MAQUOIT BAY



A reduced copy of the "Plan of Sea Point Cottage Lots showing also the Coves, Streets, Lawns and Parks, as surveyed & drawn October A.D. 1877, by C.J. Noyes Civ. Eng'r. in Brunswick Me. Scale 200 feet = one inch.

Original Proprietors { E.S. Davis, R.C. Pennell  
A.G. Poland & C.J. Noyes.

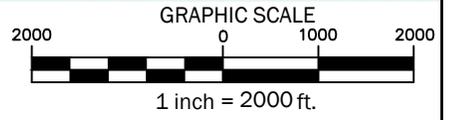
French, "Mer' Pointe"  
Latin, "Mare"  
English, Sea Point.

These grounds embrace somewhat more than half a mile of the extreme end of Merse Point in Casco Bay.

# MIDDLE BAY

Copied by G.N.F.

Book 4  
Page 37



**WALSH**  
ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092  
ph: 207.553.9898 | www.walsh-eng.com

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**Community Dock Shoreline Stabilization**

East Marginal Road  
Brunswick, Maine 04011

Sheet Title:	
<b>Site Location</b>	
Job No.:	610
Date:	July 27, 2020
Scale:	1" = 2000'
Drawn:	TPJ
Checked:	NGC

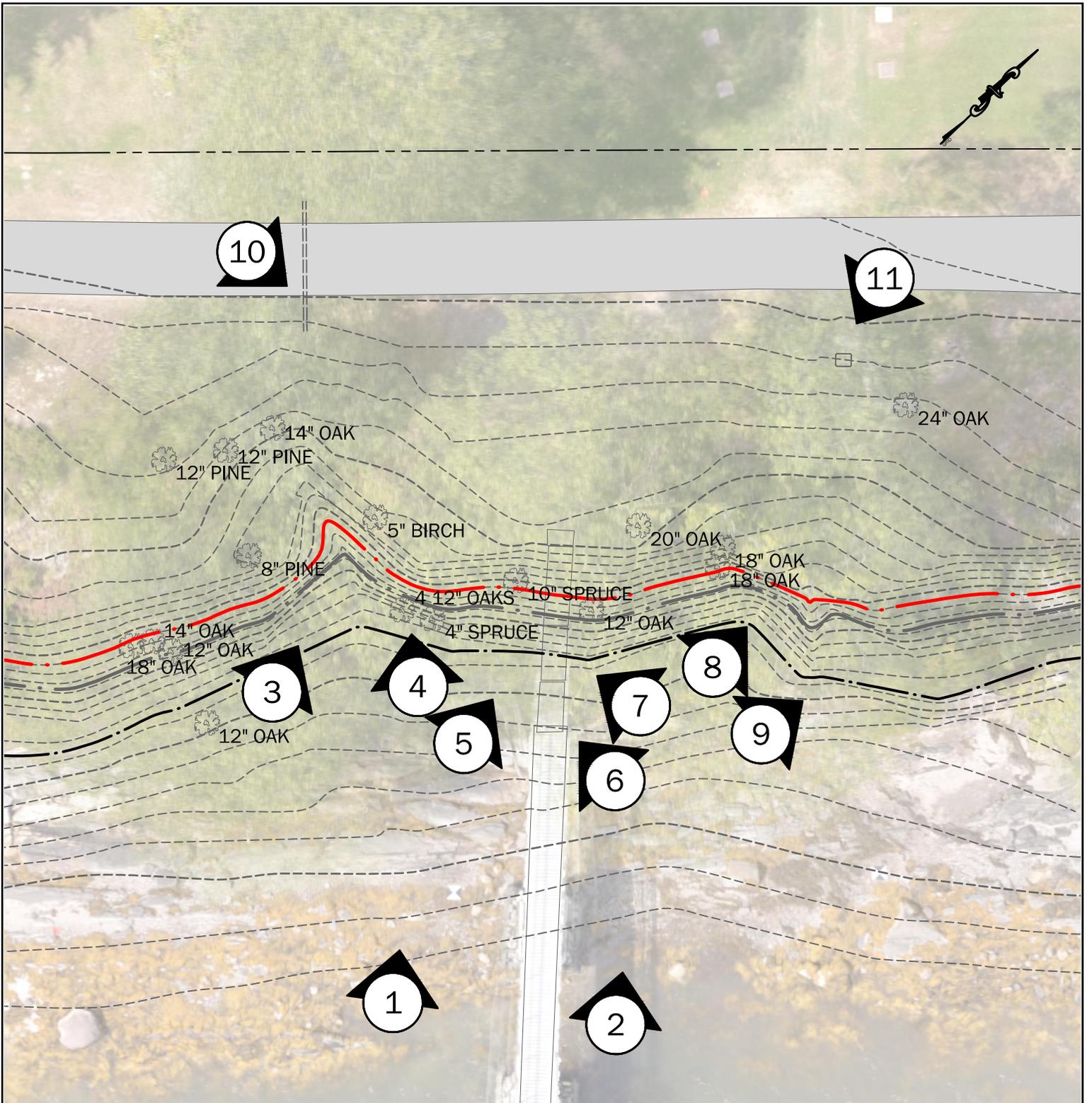
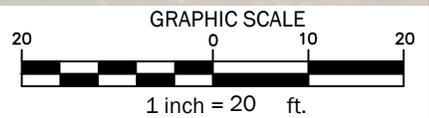


PHOTO LOCATION AND ORIENTATION



**WALSH**  
 ENGINEERING ASSOCIATES, INC.  
 One Karen Dr., Suite 2A | Westbrook, Maine 04092  
 ph: 207.553.9898 | www.walsh-eng.com  
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**Community Dock Shoreline Stabilization**  
 East Marginal Road  
 Brunswick, Maine 04011

Sheet Title:	<b>Photo Location</b>
Job No.:	610
Date:	July 28, 2020
Scale:	1" = 20'
Drawn:	TPJ
Checked:	NGC

**Sea Point Land Company  
Brunswick, Maine 04011**



Photo 1: Drone photo of West side of stairs looking northwest.  
(Photo by Tucker Jones, WEA, September 2019)



Photo 2: Drone photo of east side of stairs looking northwest.  
(Photo by Tucker Jones, WEA, September 2019)



Photo 3: View of west edge of proposed revetment looking northwest.  
(Photo by Jim Greer, WEA, September 2019)



Photo 4: View of undermined oak and spruce trees to be removed looking northwest.  
(Photo by Jim Greer, WEA, September 2019)



Photo 5: View of west side of the stairs looking north.  
(Photo by Jim Greer, WEA, September 2019)



Photo 6: View underneath stairs looking west.  
(Photo by Jim Greer, WEA, September 2019)



Photo 7: View of east side of stairs looking west.  
(Photo by Jim Greer, WEA, September 2019)



Photo 8: View of active erosion area looking northwest towards pump station.  
(Photo by Jim Greer, WEA, September 2019)



Photo 9: View of east end of proposed revetment looking north.  
(Photo by Jim Greer, WEA, September 2019)



Photo 10: View at top of slope looking east towards top of stairs.  
(Photo by Tucker Jones, WEA, September 2019)



Photo 11: View of pump station looking southeast.  
(Photo by Tucker Jones, WEA, September 2019)

**PLAN REFERENCES:**

1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
  - 1.1. A TOPOGRAPHIC SURVEY CONDUCTED BY NORTHERN SURVEY ENGINEERING IN JUNE 2020.
  - 1.2. FIELD OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES, INC. ON SEPTEMBER 23, 2019.
  - 1.3. MAINE OFFICE OF GIS TOWN PARCEL DATABASE.

**PARCEL INFORMATION:**

1. OWNER OF RECORD: SEA POINT LAND COMPANY C/O WILLIAM BROKAW
2. STREET ADDRESS: 52 EAST MARGINAL ROAD, BRUNSWICK, ME 04011
3. PARCEL SHOWN HEREON IS TOWN OF BRUNSWICK TAX MAP MP1, LOT 11.
4. TOTAL AREA OF PARCEL: 9.5 ACRES±
5. CURRENT ZONE: RESOURCE PROTECTION 1

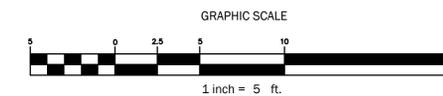
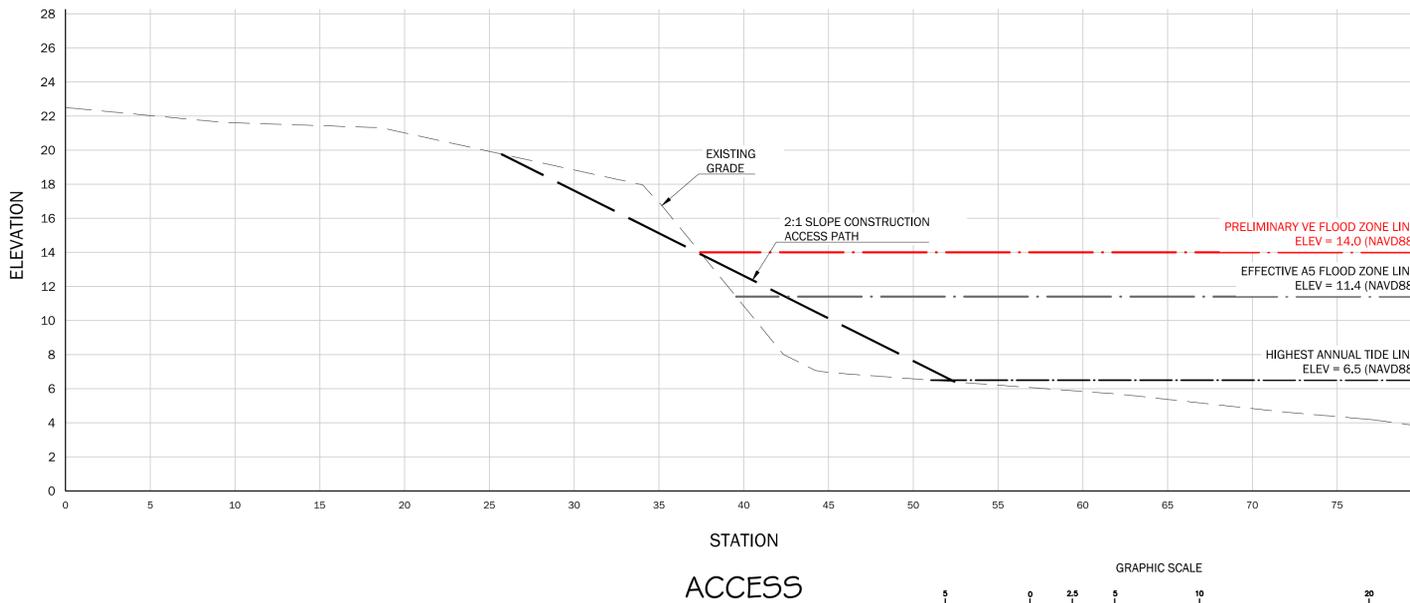
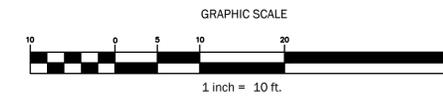
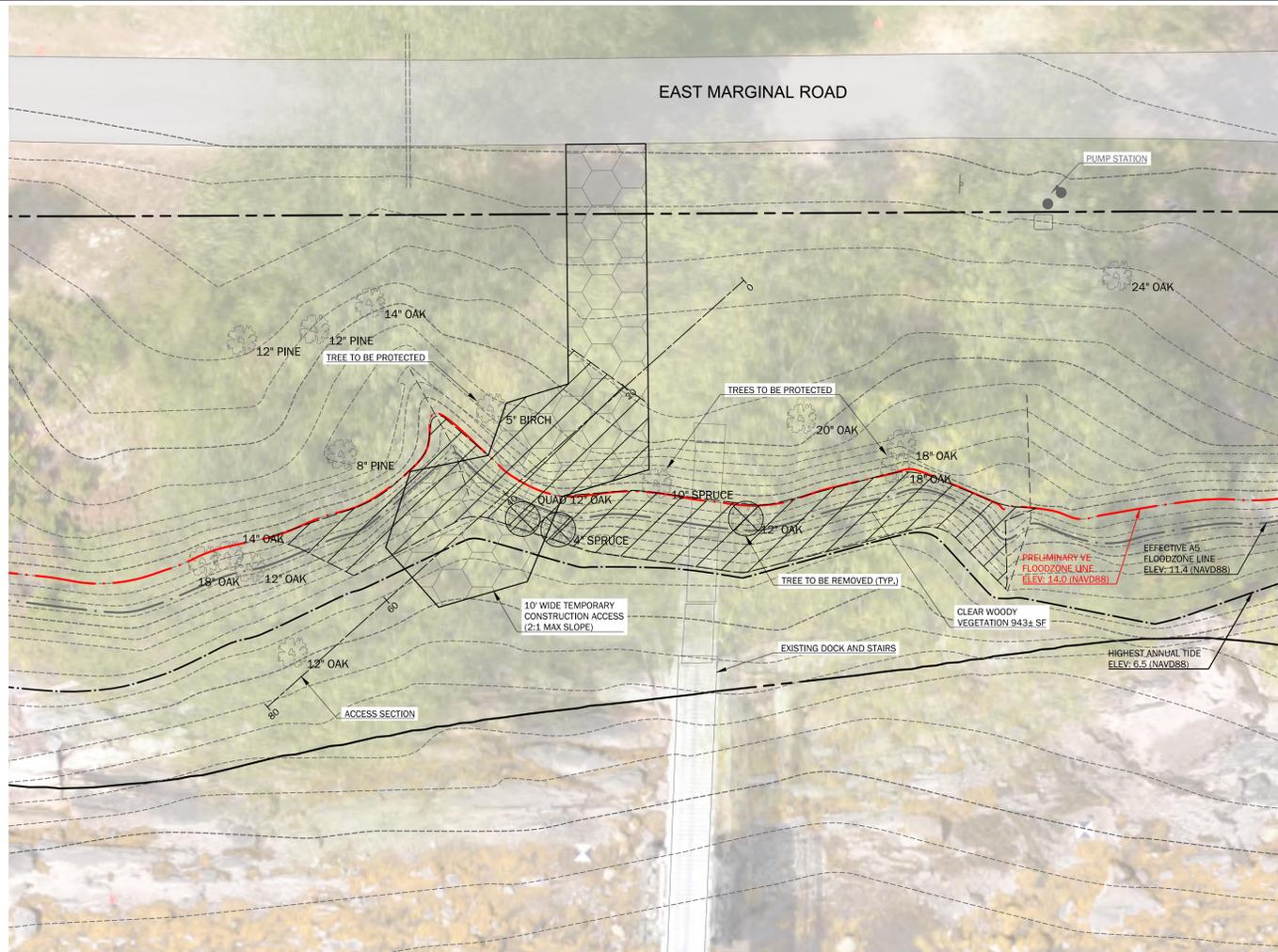
**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
4. ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
6. ALL PAVEMENT/CONCRETE CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE PAVEMENT CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. ALL WORK SHALL COMPLY WITH THE TOWN OF BRUNSWICK STREET OPENING PERMIT REQUIREMENTS.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. REFER TO THE WRITTEN EROSION CONTROL PLAN AND DRAWINGS FOR FURTHER EROSION CONTROL GUIDELINES.
9. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

**VEGETATION REMOVAL:**

TYPE	QUANTITY	SIZE
SPRUCE	1	4"
OAK	2	12"
SMALL WOODY VEGETATION	943 SF	N/A
LAWN AREA	288 SF	N/A

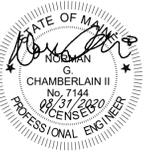
LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	MONUMENT (IRON)
	EFFECTIVE FLOOD ZONE
	PRELIMINARY FLOOD ZONE
	HIGHEST ANNUAL TIDE
	HIGHEST ANNUAL TIDE SETBACK
	INTERMEDIATE CONTOUR
	INDEX CONTOUR
	BUILDING
	CULVERT
	VEGETATION REMOVAL
	RIPRAP/BOULDERS
	PLANT WITH WOODY VEGETATION
	LOAM AND SEED
	CONSTRUCTION ENTRANCE



**WALSH**  
ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092  
ph: 207.553.9898 | www.walsh-eng.com

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**Community Dock Shoreline Stabilization**

East Marginal Road  
Brunswick, Maine 04011

PREPARED FOR:  
**Sea Point Land Company**

Rev.	Date	Description	Drawn	Check
1	06/11/2020	Issued for Town Permitting	TPJ	NGC

Sheet Title:  
**Existing Conditions**

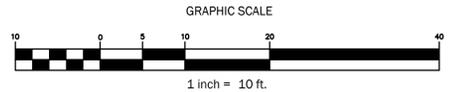
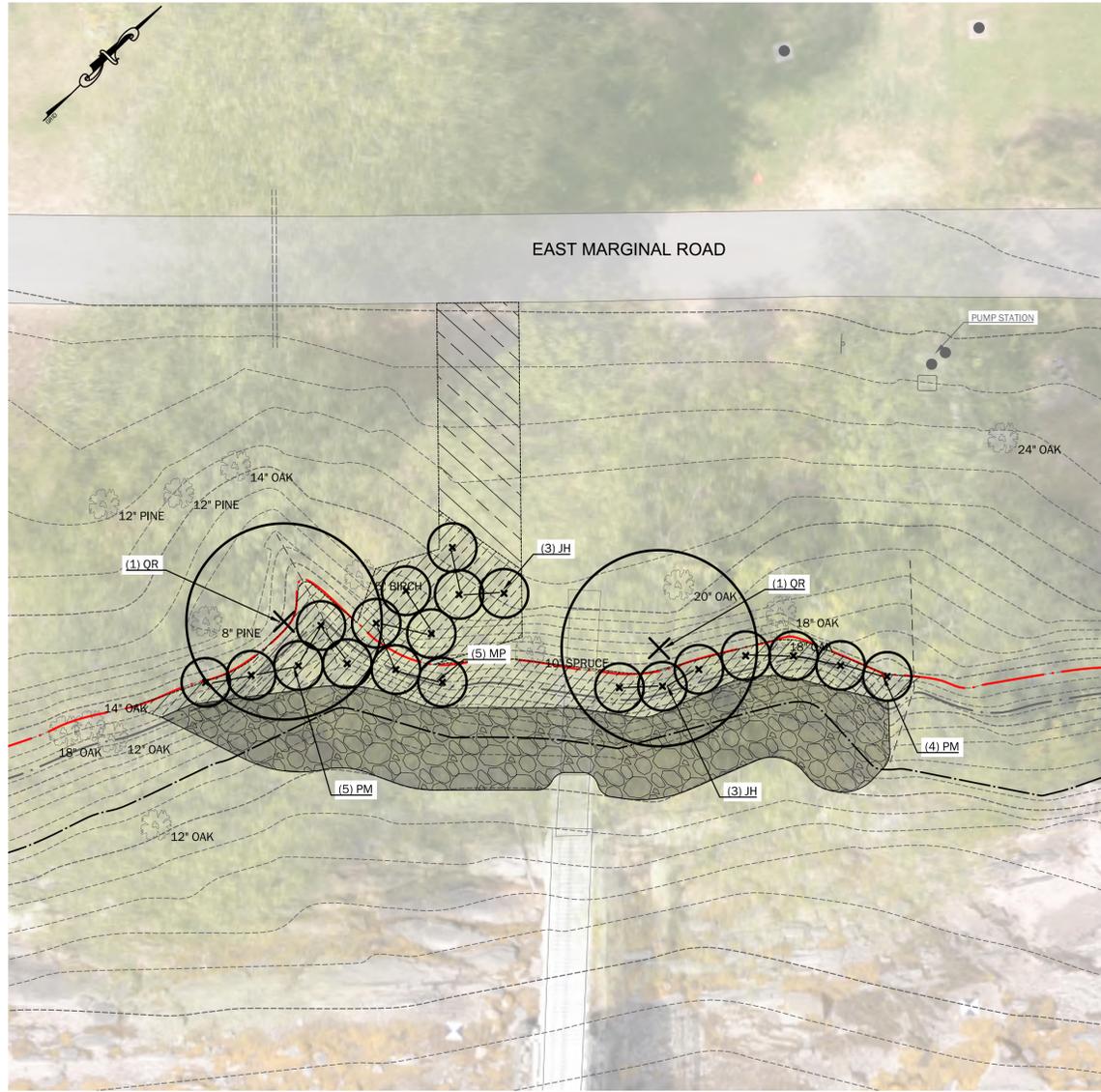
Job No.: 610	Sheet No.:
Date: July 31, 2020	<b>C1.0</b>
Scale: AS SHOWN	
Drawn: TPJ	
Checked: NGC	

PRELIMINARY - NOT FOR CONSTRUCTION









LEGEND	
EXISTING	PROPOSED
---	---
---	---
IP FOUND ○	MONUMENT (IRON)
---	EFFECTIVE FLOOD ZONE
---	PRELIMINARY FLOOD ZONE
---	HIGHEST ANNUAL TIDE
---	HIGHEST ANNUAL TIDE SETBACK
---	INTERMEDIATE CONTOUR
---	INDEX CONTOUR
---	BUILDING
---	CULVERT
---	VEGETATION REMOVAL
---	RIPRAP/BOULDERS
---	PLANT WITH WOODY VEGETATION
---	LOAM AND SEED
---	CONSTRUCTION ENTRANCE

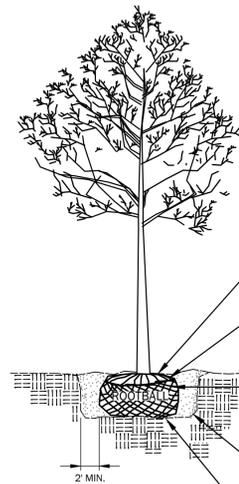
**PLANTING NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK". THE CONTRACTOR SHALL ONLY PLANT PLANTS WHICH APPEAR TO BE HEALTHY. ALL SICKLY LOOKING PLANTS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.
3. CONTRACTOR SHALL LOAM DISTURBED LAWN AREAS AND SEED WITH "PARK MIX" AS DISTRIBUTED BY ALLEN, STERLING & LOTHROP (ASL) OF FALMOUTH MAINE. SEED AT RATE RECOMMENDED BY ASL, BUT NOT LESS THAN 5 LBS PER 1,000 S.F.MIX.
4. MULCH THE EMBANKMENT AREA AROUND NEWLY PLANTED SHRUBS AND TREES WITH A 4 INCH DEPTH OF EARTHLIFE EROSION CONTROL MIX AS DISTRIBUTED BY CASELLA ORGANICS OF PORTLAND, MAINE (1-800-933-6474) OR APPROVED EQUIVALENT
5. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.

**PLANT LIST:**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MATURE SIZE +/-	COMMENTS
OR	QUERCUS RUBRA	RED OAK	2	6'-8' HT.	H75'x W60'	SINGLE LEADER, B&B
JH	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	6	5 GAL.	H6'x W6'	FULL & BUSHY
MP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	5	18" HT.	H6'x W6'	FULL & BUSHY
PM	PRUNUS MARITIMA	BEACH PLUM	9	18" HT.	H6'x W6'	FULL & BUSHY

PER DEP TREE SIZE TO BE MEASURED AT "DBH" DIAMETER AT BREAST HEIGHT.



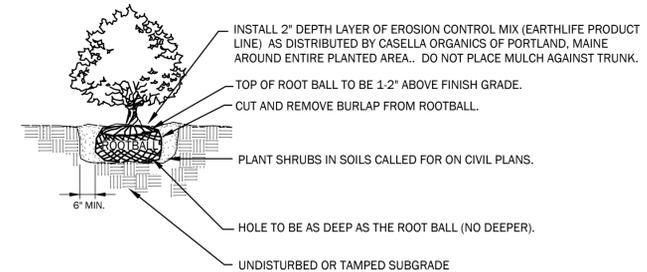
**1 TREE PLANTING**  
SCALE: N.T.S.

**NOTES:**

1. STAKE ONLY TREES WITH SANDY OR CLAYEY ROOTBALLS. WHEN REQUIRED STAKING SHALL CONFORM TO THE LATEST GUIDELINES FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
2. DO NOT CUT MAIN LEADER.

**NOTES:**

1. WHEN PLANTING CONTAINER GROWN PLANTS-REMOVE THE BALL FROM THE CONTAINER AND LOOSEN THE OUTSIDE LAYER OF THE ROOT SYSTEM BY SCORING WITH A CLEAN KNIFE. DIVIDE ALL CIRCLING ROOTS.
2. SHRUBS TO BE WATERED IMMEDIATELY AFTER PLANTING.



**2 SHRUB PLANTING DETAIL**  
SCALE: N.T.S.



Rev.	Date	Description	Drawn	Check

Sheet Title:  
**Landscape Plan**

Job No.: 610  
Date: Aug 20, 2020  
Scale: AS SHOWN  
Drawn: TPJ  
Checked: NGC

Sheet No.:  
**L1.0**

PRELIMINARY - NOT FOR CONSTRUCTION

**MAJOR DEVELOPMENT REVIEW  
COOKS CORNER SELF STORAGE  
AMENDMENT**

70 OLD BATH ROAD  
BRUNSWICK, MAINE

September 1, 2020

Prepared For

**OLD BATH ROAD SPE, LLC**

44 Seaborne Drive  
Yarmouth, Maine 04096

Prepared By



### Table of Contents

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Attachment A	Application Form & Agent Authorization
Attachment B	Right, Title, & Interest
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Attachment D	Supporting Correspondence
Attachment E	Supporting Graphics
Attachment F	Photographs
Attachment G	Site Plans



September 1, 2020

3408.01-7

Jared Woolston, Town Planner  
Town of Brunswick  
85 Union Street  
Brunswick, Maine 04011

**Re: Major Development Review**  
**COOKS CORNER SELF STORAGE - AMENDMENT**  
**70 OLD BATH ROAD, BRUNSWICK, MAINE**  
**Tax Map 45, Lot 1A**

Dear Jared,

On behalf of Old Bath Road SPE, LLC, Sitelines, PA is pleased to submit the enclosed Major Development Review Application and supporting materials for the after-the-fact construction of additional gravel areas at an existing self storage facility located along Old Bath Road in Brunswick. This letter is intended to summarize the project in order to facilitate the review process.

**PROPERTY**

Old Bath Road SPE, LLC owns a parcel of land located at 70 Old Bath Road in Brunswick. The parcel contains 7.38 acres and has frontage on Old Bath Road. In 2018, Town and State approvals were obtained for the development of a self-storage facility. The project was constructed in two phases in 2018 and 2019. Subsequent to the construction of the facility, the owner of the property received interest from customers for outside storage of various vehicles and provided areas on the property for this outdoor storage. As part of their code compliance review, these additional storage areas and clearing were noted by the Town of Brunswick Code Enforcement and Planning Department, and they requested that the owner obtain the necessary MDEP and Town permit amendments such that the project would be in compliance with all necessary standards.

**PROJECT DESCRIPTION**

The proposed amendment is for the after-the-fact construction of additional gravel areas for the storage of various vehicles including cars, boats, and campers as well as restoration of areas that have been cleared and/or disturbed. The additional gravel storage areas will result in an additional 9,367 s.f. (0.22 ac) of impervious area or 139,218 s.f. (3.20 ac) of total impervious area for the project. As noted on the enclosed plans and Stormwater Management Plan, a portion of the new impervious areas will be directed to the existing stormwater treatment features for treatment. There are no changes proposed to the design or size of the existing stormwater features. It should be noted that although these gravel areas have already been constructed, they will need to be re-graded to match the grading design as shown on the enclosed plans.

Based on correspondence with MDEP, although the project results in more than three (3) acres of impervious areas, since the Town of Brunswick has Site Capacity, the project will remain a Stormwater Management Law permit for the purposes of MDEP permitting. An Amendment to the previously

**SITELINES • CIVIL ENGINEERS • LAND SURVEYORS**  
**119 Purinton Road, Suite A, Brunswick Landing, Brunswick, ME 04011**  
**207-725-1200 • [www.sitelinespa.com](http://www.sitelinespa.com)**

approved Stormwater Management Law permit has been submitted to MDEP and is currently being reviewed.

Separate from the construction of the additional gravel areas, subsequent to the construction of the facility, the owner cleared the rear portion of property in its entirety. A portion of that area was grubbed, stumped, and leveled resulting in some additional wetland impacts and the creation of additional developed areas that were not accounted for in the previous approvals. During the same time period of the clearing on-site, the abutting property owner had their property cleared and the Maine Department of Transportation (MaineDOT) had the trees within their right-of-way adjacent to the property cleared. This resulted in what was a fairly robust buffering from Route 1 and the adjacent mobile home park to be removed. In subsequent discussions with the Town, a Replanting Plan was developed to return the developed area to its natural grade, re-establish the wetland swale that was disturbed, and replant trees to revegetate the area.

A Notice of Violation (NOV) was issued on August 27, 2020 by the Code Enforcement Office describing the violations of the site plan approvals and, based partly on the Replanting Plan, the required mitigation to be in compliance with the approvals. The owner is currently moving forward with remediating the cleared areas in conformance with the NOV and Replanting Plan but, as part of this approval, we are requested that the Planning Board review and approve the Replanting Plan, specifically the number, location, and type of new trees to be replanted within the previously cleared area. Photographs of the cleared area have been enclosed with this submission to assist in your review.

### **Review Standards**

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 4 - PROPERTY DEVELOPMENT STANDARDS* of the Ordinance:

#### *4.1 APPLICABILITY OF PROPERTY DEVELOPMENT STANDARDS*

The proposed development is in compliance with the standards set forth in Chapter 4 – Property Development Standards.

#### *4.2 DIMENSIONAL AND DENSITY STANDARDS*

The proposed development is in the Growth Mixed-Use 4 (GM4) Zoning District and complies with the Dimensional and Density Standards for Growth Area Zoning Districts. A table indicating the applicable dimensional and density standards is provided within the enclosed plan set.

As the proposed development does not consist of residential units, the computation of the Net Site Area for the parcel does not apply. There are no variations or exceptions to the dimensional standards requested as part of this development. The project is neither an Open Space Development nor an Affordable Housing Development; bonus development density does not apply. The development is not in the Shoreland Protection Overlay District.

#### *4.3 NATURAL AND HISTORIC AREAS*

4.3.1 There are no known existing features on the site that would be considered of natural, scenic, or historic character to the Town. Wetlands, as delineated by Atlantic Environmental, LLC, have been shown on the enclosed plans. A portion of the wetlands in the rear portion of the



property were disturbed prior to the updated wetland survey being completed. These wetlands consisted of a swale that conveyed stormwater northeasterly across the rear portion of the parcel. As part of the prior approvals, this swale was survey located allowing us to estimate the amount of wetlands that were impacted as a result of the grading activities. As a result of the self storage project and the recent clearing activities, an estimated 1,595 s.f. (0.04 acres) of wetlands were impacted. As the wetland impacts are less than 4,300 s.f. (0.10 acres), no wetland alteration permits are required from MDEP.

4.3.2 The project will not result in undue water or air pollution.

4.3.3 Although the project is not located within a Scenic Area, the existing wooded area adjacent to Old Bath Road was preserved to provide a visual buffer from Old Bath Road to the development. The limit of clearing proposed for the project has been shown on the enclosed plans.

4.3.4 There are no known areas of significant plant or animal habitat located on the parcel.

4.3.5 There are no steep slopes or embankments greater than 25%, as defined by the ordinance, located on the property.

4.3.6 The disturbed areas of the site will be isolated through the use of silt sock and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

4.3.7 As part of the previous project approvals, infiltration was utilized for treatment of a portion of the stormwater runoff from the site and is not anticipated to result in any adverse impacts to groundwater. Test pits were completed near the subsurface infiltration system to determine depth to groundwater and infiltration capacity. The infiltration system was designed per the design standards from MDEP and the additional impervious areas being directed to the infiltration system is currently being reviewed by MDEP as part of a Stormwater Management Law Minor Amendment application.

4.3.8 There are wetlands delineated on the east and west sides of the property. As part of the construction of the existing self storage property, approximately 58 s.f. of wetlands were impacted for installation of the outfall pipe from the stormwater management system. As noted previously, subsequent to the construction of the self storage project, during the clearing and grading activities, a portion of the wetlands in the rear portion of the property were disturbed prior to the updated wetland survey being completed. These wetlands consisted of a swale that conveyed stormwater northeasterly across the rear portion of the parcel. As part of the prior approvals, this swale was survey located allowing us to estimate the amount of wetlands that were impacted as a result of the grading activities. As a result of the self storage project and the recent

clearing activities, an estimated 1,595 s.f. (0.04 acres) of wetlands were impacted. As the wetland impacts are less than 4,300 s.f. (0.10 acres), no wetland alteration permits are required from MDEP.

4.3.9 The project will have no undue adverse effect on any historic or archeological resource.

#### *4.4 FLOOD HAZARD AREAS*

The development is not in the Flood Protection Overlay (FPO) District. The project area is in Zone C (Areas of Minimal Flooding) of the Flood Insurance Rate Maps (FIRMs) for Cumberland County, Maine. The project area is located on Panel 15 of 35 (Community Panel 230042-0015-B, Effective June 3, 1986). An excerpt of the applicable FIRM is enclosed.

#### *4.5 BASIC AND MUNICIPAL SERVICES*

4.5.1 The existing development is serviced by a private subsurface septic system. There are no proposed changes to this septic system. A portion of the new gravel areas are located over the existing septic system. The septic system was constructed with concrete chambers that will permit the parking of vehicles on top of the septic system.

4.5.2 The existing development is serviced by public water from Old Bath Road. There are no proposed changes to this water service.

4.5.3 Solid waste will continue to be removed by a licensed waste hauler and disposed of in accordance with Local and State requirements.

4.5.4 Stormwater management for the existing development was accomplished through the use of a subsurface infiltration system and a grassed underdrained soil filter for treatment of the stormwater runoff from the new developed areas. Flows in excess of the 2-year storm event will be directed to the 24" culvert which directs runoff under Old Bath Road and into a drainage swale which turns into a tributary stream to the Androscoggin River. A portion of the new gravel areas will be directed to the existing stormwater management systems which are adequately sized to handle the additional impervious area. A revised Stormwater Management Report, including the HydroCAD reports, and associated plans, have been developed and will be provided to the Town as part of the submission to MDEP.

#### *4.6 LANDSCAPING REQUIREMENTS*

As part of the original approvals, a Landscape Plan conforming to the Town's Ordinances was developed. Based on a recent site visit, the locations of the plantings were updated on the Landscape Plan to match the as-built locations. The type and location of the plantings did change, but the overall landscape scheme did not change. I should note that the locations of the plantings along the front of the building facing Old Bath Road was not revised on the updated plan due to inadequate information on the type of plantings. Based on the site visit, it appears that the quantity and type of plantings matches the plans, but the locations of the plantings do not match up with the plan.

As noted previously, subsequent to the original approvals, the rear portion of the property was cleared. Based on further discussions with Town staff, a Replanting Plan was developed for this cleared area and



has been enclosed with this submission. The Replanting Plan is intended to return the area to its natural grade, re-establish the swale that was removed, provide stabilization for the areas that were disturbed, and provide additional buffering for the self storage project.

#### *4.7 RESIDENTIAL RECREATION REQUIREMENTS*

As the project does not include any residential uses, this section does not apply.

#### *4.8 CIRCULATION AND ACCESS*

4.8.1 As previously presented as part of the original approvals, based on the Institute of Traffic Engineers (ITE) Manual, "Trip Generation, 7<sup>th</sup> Edition" data for Land Use Code 151, Mini-Warehouse, the project will result in an increase in peak-hour vehicle trip ends as follows:

Time Period	Avg. Rate	Trip-Ends
Weekday, A.M. Peak	0.28	16.18
Weekday, P.M. Peak	0.29	16.75
Saturday, Peak Hour	0.40	23.11

The projected increase in trip-ends did not trigger traffic permitting from the Maine Department of Transportation (MDOT) and will not have an adverse impact to the function of the surrounding roadways or intersections.

4.8.2 There is an existing access to the development from Old Bath Road. There is adequate sight distance at the proposed location of the entrance. No changes are proposed to the existing access entrance.

4.8.3 As there are no sidewalks present along Old Bath Road or in the vicinity of the project, no sidewalks were previously extended to the site. The existing self storage facility only provides six (6) parking spaces, and thus does not require any bicycle parking facilities.

4.8.4 The proposed development has been designed to comply with the Americans with Disabilities Act (ADA) in providing one (1) ADA compliant parking space and an adequate accessible route to the office portion of the self-storage facility.

4.8.5 There is no shoreline associated with the property.

#### *4.9 PARKING AND LOADING*

4.9.1 Six (6) parking spaces were constructed for the office space and are located outside of the fencing surrounding the self storage units. There are no changes proposed to the existing parking facilities.

4.9.2 The existing self storage facility only provides six (6) parking spaces, and thus does not require any bicycle parking facilities.

4.9.3 The new gravel areas to be utilized for vehicle storage on the east side of the property area a minimum of 20-feet in length. The new gravel areas located on the west side of the property will be utilized for longer boats and/or recreational vehicles and vary in depth from 23-feet to 39-feet.

4.9.4 No parking alternatives are proposed.

4.9.5 There are no commercial loading spaces associated with the existing facility.

#### *4.10 LIGHTING*

As part of the addition of the new gravel areas, there are no proposed changes to the existing light fixtures on the property.

#### *4.11 ARCHITECTURAL COMPATIBILITY*

As part of the addition of the new gravel areas, there are no proposed changes to the existing buildings on the property.

#### *4.12 NEIGHBORHOOD PROTECTION STANDARDS*

4.12.2. A As the project is located within a Growth Mixed Use zoning district (GM4), it is subject to the requirements of this section.

4.12.2.B(1). There are no structures located within 30-feet of a lot line with an abutting residential dwelling, so the maximum height of 35-feet does not apply. No existing structures are 35-feet or greater in height.

4.12.2.B(2) There are no light poles or fixtures located within 50 feet of a lot line with an abutting residential dwelling that exceeds 20 feet in height.

4.12.2.B(3) To screen an abutting residential dwelling from the proposed buildings, a row of arbor vitas were planted along a portion of the shared property line. Refer to the enclosed Landscape Plan for the location and quantity of proposed trees.

4.12.2.B(4) There is no roof-mounted heating, ventilation, air conditioning, or energy producing equipment on the existing building.

4.12.2.B(5) The project does not have a drive-through that would impact any adjacent properties.

4.12.2.B(6) The proposed office use will comply with the required hours of operation of 7 am to 11 pm. Access to the self storage units will be available 24 hours a day via pin code gate access. Due to infrequent use of the facility, this is not anticipated to be an issue for abutting properties.

4.12.2.B(7) The project is comprised of a self-storage facility that does not generate any loud, offensive, or unreasonable noises.

#### 4.13 SIGNS

There are no new signs proposed as part of the additional gravel areas.

#### 4.14 PERFORMANCE STANDARDS

- 4.14.1.B Any construction activities will occur between the hours of 7 am and 7 pm.
- 4.14.1.C No activities will be conducted that exceed the Maximum Equivalent Sound Level (50 dBA day and 40 dBA night in Rural Area districts).
- 4.14.1.D No activities will be conducted that generate smoke, dust, or particulate emissions.
- 4.14.1.E No activities will be conducted that generate dust, fly ash, dirt, fumes, vapors, or gasses that could cause injury to human, animal, or vegetable health.
- 4.14.1.F No activities will be conducted that generate odors.
- 4.14.1.G No activities will be conducted that generate heat or recurring vibrations.
- 4.14.1.H As the proposed use of the new gravel areas will be for the storage of vehicles, this provision does not apply.
- 4.14.1.I The minimum setback for the zoning district is 0-feet, thus no vehicles will be parked in the required setback.
- 4.14.1.J All existing outdoor lighting will comply with Section 4.10.

#### 4.15 SITE MAINTENANCE

Site maintenance will be managed by the applicant in compliance with the Brunswick Zoning Ordinance standards and the requirements of the MDEP permit approvals.

#### 4.16 FINANCIAL AND TECHNICAL CAPACITY

The applicant owns the necessary equipment to construct and regrade the gravel areas to drain as shown on the enclosed plans as well as revegetate the area as shown on the Replanting Plan. As such, we do not feel that any financial capacity is needed as the required work is minimal.

The design team, led by Sitelines, PA, has extensive experience planning, designing, and gaining approvals for commercial development projects throughout the state, including multiple projects located in Brunswick include the Sam's Restaurant and Coastal Orthopedics facility in Cooks Corner.

#### 4.17 ADMINISTRATIVE ADJUSTMENTS / ALTERNATIVE EQUIVALENT COMPLIANCE

The project has been designed in accordance with the Town of Brunswick Zoning Ordinance to the greatest extent practicable. No Administrative Adjustments are requested, other than those waivers requested elsewhere in this letter.



Major Development Review  
Cooks Corner Self Storage - Amendment  
9/1/2020  
Page 8

We look forward to meeting with the Planning Board at the September 22, 2020 meeting to review the project and gain their approval. We appreciate your assistance with this project. Should you have any questions, please call or contact me via [jmarden@sitelinespa.com](mailto:jmarden@sitelinespa.com).

Very truly yours,



Joseph J. Marden, P.E.  
Project Manager



Enclosures

cc: Earle P. MacGillivray III, Old Bath Road SPE, LLC

Cooks Corner Self Storage - Amendment  
Major Development Review  
September 1, 2020

**Attachment A**  
**Application Form & Agent Authorization**

A completed copy of the Development Review Application form is enclosed. A letter from the Applicant authorizing Sitelines, PA to act as their agent is also enclosed.

A

Application Form & Checklist

**DEVELOPMENT REVIEW  
APPLICATION**

1. Development Review application type (refer to **Appendix D**):

<input type="checkbox"/>
<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>

**Minor Development Review**

Major Development Review: **Sketch Plan**

Major Development Review: **Final Plan**

Major Development Review: **Streamlined Final Plan**

2. Project Name: Cooks Corner Self Storage - Amendment

3. Project Applicant

Name: Old Bath Road SPE, LLC  
Address: 44 Seaborne Drive  
Yarmouth, Maine 04096  
Phone Number: 207-935-1220  
Email: terrymacgillivray@gmail.com

4. Project Owner (if different than applicant)

Name: Same as Applicant  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

5. Authorized Representative

Name: Sitelines, PA Attn: Joseph J. Marden, P.E.  
Address: 119 Puinton Road, Suite A  
Brunswick, ME 04011  
Phone Number: 207-725-1200 ext. 12  
Email: jwarden@sitelinespa.com

6. List of Design Consultants. Indicate the registration number, address and phone number, email for any additional project engineers, surveyors, architects, landscape architects or planners:

1. Surveying/Engineering: Sitelines, PA, Joseph J. Marden P.E. #12828

2. Wetlands: Atlantic Environmental LLC, Tim Forrester, 207-837-2199

3. Geotech: Summit Geoen지니어ing Services: Erika Stewart P.E. #15008

7. Physical location of property: 70 Old Bath Road

8. Lot Size: 7.38 acres

9. Zoning District: Growth Mixed-Use 4 (GM4)

10. Overlay Zoning District(s): N/A

11. Indicate the interest of the applicant in the property and abutting property. For example, is the applicant the owner of the property and abutting property? If not, who owns the property subject to this application?  
Applicant is owner of subject parcel

12. Assessor's Tax Map 45 Lot Number 1A of subject property.

13. Brief description of proposed use/subdivision: Refer to Cover Letter

14. Describe specific physical improvements to be done: Refer to Cover Letter

Owner Signature:

Applicant Signature (if different):  09-01-20

**DEVELOPMENT REVIEW APPLICATION REQUIREMENTS**

The submission requirements contained in **Appendix D** of the Brunswick Zoning Ordinance (attached in checklist format for each application category) shall apply to all Minor Development, Major Development, and Streamlined Major Development Review unless a waiver is granted. Proposed development applications shall be submitted to the Director of Planning and Development.

For each item listed in Appendix D the applicant shall either submit the requested information or request a waiver from the information requirement pursuant to Subsection 5.2.9.M of the Zoning Ordinance.

## REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW & MINOR REVIEW APPLICATION SUBMITTAL

Please mark box with one of the following:  
**“W”** (Waiver); **“P”** (Pending); **“X”** (Submitted) or **“N/A”** (Not applicable)

		Final Plan	Streamlined	Minor
<b>General</b>	Application form and fee	--	--	X
	Name of development	--	--	X
	Existing zoning district and overlay designations	--	--	X
	Location map	--	--	X
	Names of current owner(s) of subject parcel and abutting parcels	--	--	X
	Names of engineer and surveyor; and professional registration numbers of those who prepared the plan	--	--	X
	Location of features, natural and artificial, such as water bodies, wetlands, streams, important habitats, vegetation, railroads, ditches and buildings	--	--	X
	Documentation of Right, Title and Interest	--	--	X
	Drafts of legal documents appropriate to the application, including: deeds, easements, conservation easements, deed restrictions or covenants, home/property owners association declarations and by-laws, and such other agreements or documents as are necessary to show the manner in which common areas will be owned, maintained, and protected	--	--	X
	Draft performance guarantee or conditional agreement	--	--	N/A
<b>Survey, Topography, &amp; Existing Conditions</b>	Scale, date, north point, and area	--	--	X
	A survey submitted (stamped for final plan submittal) by a professional surveyor with a current license by the State of Maine Board of Licensure for Professional Surveyors	--	--	N/A
	Boundaries of all lots and tracts with accurate distances and bearings, locations of all permanent monuments property identified as existing or proposed	--	--	X
	Existing easements associated with the development	--	--	N/A
	Location of existing utilities; water, sewer, electrical lines, and profiles of underground facilities	--	--	X
<b>Survey, Topography, &amp; Existing Conditions</b>	Existing location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability	--	--	X
	Topography with contour intervals of not more than two (2) feet	--	--	X
	A Medium Intensity Soil Survey, available from the Cumberland County Soil and water Conservation District,. The Planning Board may require a Class A (high intensity) Soil Survey, prepared in accordance with the standards of the Maine Association of Professional Soil Scientists, if issues of water quality, wetlands or other natural constraints are noted.	--	--	X
	Existing locations of sidewalks	--	--	N/A
	A delineation of wetlands, floodplains, important habitats, and other environmentally sensitive areas	--	--	X
	Approximate locations of dedicated public open space, areas protected by conservation easements and recreation areas	--	--	N/A

**REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW & MINOR REVIEW APPLICATION SUBMITTAL**

Please mark box with one of the following:  
**“W” (Waiver); “P” (Pending); “X” (Submitted) or “N/A” (Not applicable)**

		Final Plan	Streamlined	Minor
<b>Infrastructure - Proposed</b>	Name, location, width of paving and rights-of-way, profile, cross-section dimensions, curve radii of existing and proposed streets; profiles of center-lines of proposed streets, at a horizontal scale of one (1) inch = 50 feet and vertical scale of one (1) = five (5) feet, with all evaluations referred to in U.S.G.S. datum	--	--	X
	Proposed easements associated with the development	--	--	N/A
	Kind, location, profile and cross-section of all proposed drainage facilities, both within and connections to the proposed development, and a storm-water management plan in accordance with Section	--	--	X
	Location of proposed utilities; water, sewer, electrical lines, and profiles of underground facilities. Tentative locations of private wells.	--	--	X
	Proposed location, size, profile and cross section of sanitary sewers; description, plan and location of other means of sewage disposal with evidence of soil suitability	--	--	X
	Proposed locations, widths and profiles of sidewalks	--	--	N/A
	Locations and dimensions of proposed vehicular and bicycle parking areas, including proposed shared parking arrangement if applicable.	--	--	X
<b>Infrastructure - Proposed</b>	Grading, erosion control, and landscaping plan; proposed finished grades, slopes, swells, and ground cover or other means of stabilization	--	--	X
	Storm water management plan for the proposed project prepared by a professional engineer	--	--	X
	The size and proposed location of water supply and sewage disposal systems	--	--	X
	Where a septic system is to be used, evidence of soil suitability	--	--	N/A
	A statement from the General Manager of the Brunswick Sewer District as to conditions under which the Sewer District will provide public sewer and approval of the proposed sanitary sewer infrastructure	--	--	N/A
	A statement from the Fire Chief recommending the number, size and location of hydrants, available pressure levels, road layout and street and project name, and any other fire protection measures to be taken	--	--	N/A
	A statement from the General Manager of the Brunswick and Topsham Water District as to conditions under which public water will be provided and approval of the proposed water distribution infrastructure	--	--	N/A
<b>Proposed Development Plan</b>	Lighting plan showing details of all proposed lighting and the location of that lighting in relation to the site	--	--	N/A
	Reference to special conditions stipulated by the Review Authority	--	--	N/A
	Proposed ownership and approximate location and dimensions of open spaces for conservation and recreation. Dedicated public open specs, areas protected by conservation easements, and existing and proposed open spaces or recreation areas and potential connectivity to adjoining open space.	--	--	N/A
	When applicable, a table indicating the maximum number of lots permitted based upon the applicable dimensional requirements, the number of lots proposed, and the number of lots permitted to be further subdivided.	--	--	N/A
	Building envelopes showing acceptable locations for principal and accessory structures, setbacks and impervious coverage	--	--	X

**REQUIREMENTS FOR FINAL PLAN, STREAMLINED REVIEW & MINOR REVIEW APPLICATION SUBMITTAL**

Please mark box with one of the following:  
**“W”** (Waiver); **“P”** (Pending); **“X”** (Submitted) or **“N/A”** (Not applicable)

		Final Plan	Streamlined	Minor
<b>Proposed Development Plan</b>	Disclosure of any required permits or, if a permit has already been granted, a copy of that permit	--	--	X
	A statement from the General Manager of the Brunswick and Topsham Water District regarding the proposed development if located within an Aquifer Protection Zone	--	--	N/A
	A plan of all new construction, expansion and/or redevelopment of existing facilities, including type, size, footprint, floor layout, setback, elevation of first floor slab, storage and loading areas	--	--	X
	An elevation view of all sides of each building proposed indicating height, color, bulk, surface treatment, signage and other features as may be required by specific design standards	--	--	N/A
	A circulation plan describing all pedestrian and vehicle traffic flow on surrounding road systems	--	--	X
	A site landscaping plan indicating grade change, vegetation to be preserved, new plantings used to stabilize areas of cut and fill, screening, the size, locations and purpose and type of vegetation	--	--	X
	Number of lots if a subdivision	--	--	N/A
	A plan showing all ten (10) inch caliper trees to be removed as a result of the development proposal	--	--	N/A
	All applicable materials necessary for the Review Authority to review the proposal in accordance with the criteria of Chapter 5.	--	--	X
	Any additional studies required by the Review Authority	--	--	N/A



July 23, 2020

3408.01-2

Mr. Earle P. MacGillivray III  
44 Seaborne Dr  
Yarmouth, Maine 04096

**Re: Designation of Agent Authorization  
Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine**

Dear Earle:

As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for Old Bath Road SPE, LLC, for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the self storage facility located off Old Bath Road in Brunswick, Maine.

Sincerely,

Joseph J. Marden, P.E.  
Project Engineer

The undersigned hereby gives Sitelines, PA the authority to act as agent for Old Bath Road SPE, LLC for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.

7/23/20

Earle P. MacGillivray III, Old Bath Road SPE, LLC

Date

**Attachment B**  
**Right, Title, & Interest**

A copy of the current deed is included with this attachment.

B

Right, Title, & Interest

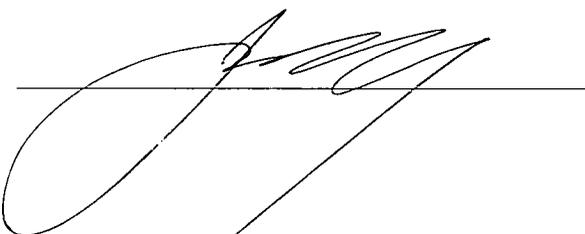
DLN: 1001840021936

**WARRANTY DEED**  
**STATUTORY SHORT FORM**  
**TITLE 33, §775**

**THEODORE D. CROOKER** of Brunswick, County of Cumberland and State of Maine, for consideration paid, grants to **OLD BATH ROAD SPE, LLC**, a New Hampshire limited liability company with a mailing address of 461 Main Street, Ste.3, Franconia, NH 03580, with **Warranty Covenants**, a certain lot or parcel of land, together with any improvements thereon, situated in Brunswick, County of Cumberland and State of Maine, more fully described in Exhibit A, attached hereto and made a part hereof.

WITNESS my hand and seal on February 28, 2018.

MAINE REAL ESTATE TAX PAID



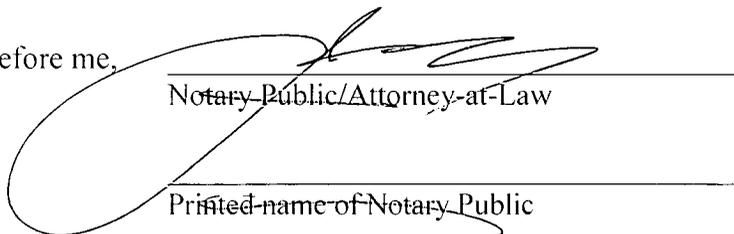
Theodore D. Crooker

STATE OF MAINE  
CUMBERLAND, ss.

February 28, 2018

Personally appeared the above-named **Theodore D. Crooker** and acknowledged the above instrument to be his free act and deed.

Before me,



Notary Public/Attorney-at-Law

Printed name of Notary Public

My commission expires:

**JOHN T. VOORHEES, JR.**  
Attorney-at-Law/Notary Public  
My Commission does not expire.

EXHIBIT A

# 19350

A CERTAIN PARCEL OF LAND located on Old Bath Road in Brunswick, County of Cumberland, State of Maine, said parcel being depicted on a plan entitled, "Boundary Survey Plan of Land of Theodore D. Crooker for Cooks Corner Self Storage, LLC", dated September 19, 2017, by Sitelines, said parcel being more particularly described as follows:

BEGINNING at a survey pin to be set on the southeasterly right-of-way line of said Old Bath Road at its intersection with the northerly right-of-way line of U.S. Route 1;

THENCE northeasterly along said line of Old Bath Road and following a curve to the right having a radius of 1948.69 feet, an arc distance of 693.29 feet to a survey pin to be set at the most westerly corner of other land of said Crooker as described in a deed recorded in the Registry of Deeds for said County in Book 17557, Page 180;

THENCE S 39° 12' 58" E along said land of Crooker and land now or formerly of Charles and Rachel Louder as described in Book 30013, Page 318, a total distance of 479.44 feet to a survey pin found at the southerly corner of said land of Louder;

THENCE N 48° 51' 16" E along said land of Louder a distance of 547.56 feet to a survey pin found at the easterly corner of said land and the southerly corner of land now or formerly of Pong Son Korhonen as described in Book 8184, Page 30, thence continuing N 48° 51' 16" E along said land of Korhonen a distance of 38.83 feet to land now or formerly of James V. Davis; as described in Book 22840, Page 140;

THENCE S 40° 56' 22" E along said land of Davis a distance of 394.31 feet to a survey pin to be set on said line of U.S. Route 1;

THENCE S 78° 56' 09" W along said line of U.S. Route 1 a distance of 1274.44 feet to a highway monument found;

THENCE S 10° 20' 45" E along said line a distance of 7.98 feet to a highway monument found;

THENCE S 78° 56' 09" W along said line of U.S. Route 1 a distance of 152.03 feet to the survey pin to be set at the point of beginning; containing 321,295 Sq. Ft or 7.37 ac.

All survey pins to be set are 5/8" rebar with an aluminum cap bearing the name "Martinson" and "PLS 2137".

MEANING AND INTENDING to describe a portion of the premises conveyed to Theodore T. Crooker by deed dated October 21, 1991 and recorded in the Cumberland County Registry of Deeds in Book 9759, Page 331; and a portion of the premises conveyed to Theodore D. Crooker by deed dated November 23, 1988 and recorded in said registry in Book 8578, Page 13.

Received  
Recorded Register of Deeds  
Mar 05, 2018 01:03:27P  
Cumberland County  
Nancy A. Lane

**Attachment C**  
**Abutting Property Owners**

A copy of the abutters map and a list of abutting property owners are included in this attachment for reference.

C

Abutting Property Owners



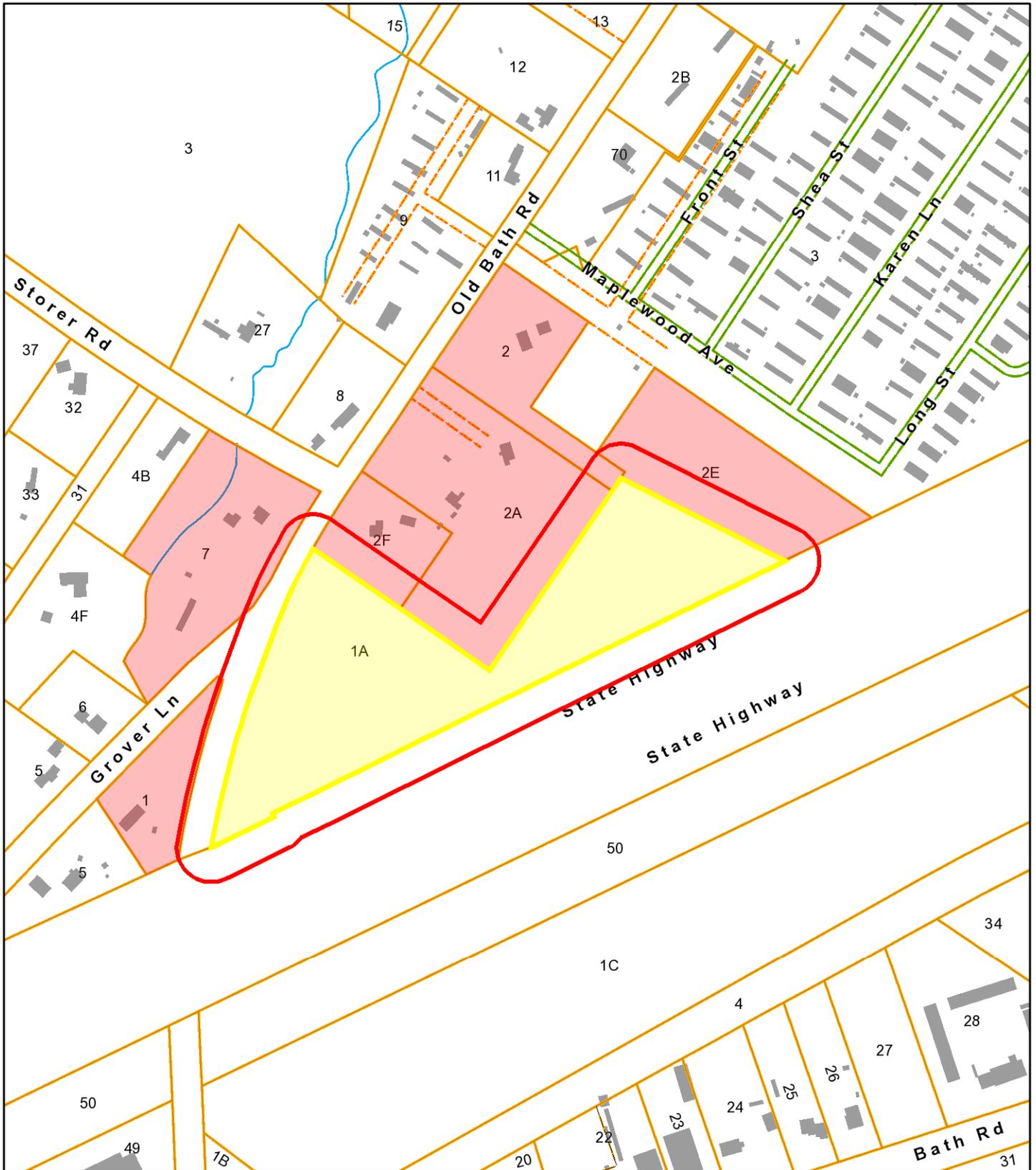
# Abutters Map

Brunswick, ME

1 inch = 300 Feet



July 29, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



# 75 foot Abutters List Report

Brunswick, ME

July 28, 2020

## Subject Property:

Parcel Number: 45-1A  
CAMA Number: 45-1A  
Property Address: 70 OLD BATH RD

Mailing Address: OLD BATH ROAD SPE LLC  
44 SEABORNE DR  
YARMOUTH, ME 04096

---

## Abutters:

Parcel Number: 44-7  
CAMA Number: 44-7-1  
Property Address: 65 OLD BATH RD

Mailing Address: CAVANAUGH, DEBRA  
65 OLD BATH RD  
BRUNSWICK, ME 04011

Parcel Number: 44-7  
CAMA Number: 44-7-2  
Property Address: 69 OLD BATH RD

Mailing Address: CROOKER, THEODORE D  
C/O COMMERCIAL PROPERTIES MGMT  
P O BOX 66749  
FALMOUTH, ME 04105

Parcel Number: 45-1  
CAMA Number: 45-1  
Property Address: 7 GROVER LN

Mailing Address: BAILEY, MICHAEL E  
2724 CRITTENDON ST  
NORTH PORT, FL 34286

Parcel Number: 45-2  
CAMA Number: 45-2  
Property Address: 94 OLD BATH RD

Mailing Address: KORHONEN, PONG SON  
94 OLD BATH RD  
BRUNSWICK, ME 04011

Parcel Number: 45-2A  
CAMA Number: 45-2A  
Property Address: 7 STARLIGHT WAY

Mailing Address: ATLANTIC COAST TOWING INC  
11 STARLIGHT WAY  
BRUNSWICK, ME 04011

Parcel Number: 45-2E  
CAMA Number: 45-2E  
Property Address: 92 OLD BATH RD

Mailing Address: DAVIS, JAMES V  
PO BOX 503  
BRUNSWICK, ME 04011

Parcel Number: 45-2F  
CAMA Number: 45-2F  
Property Address: 76 OLD BATH RD

Mailing Address: CROOKER, THEODORE D  
C/O COMMERCIAL PROPERTIES MGMT  
P O BOX 66749  
FALMOUTH, ME 04105



[www.cai-tech.com](http://www.cai-tech.com)

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/28/2020

Page 1 of 1

Cooks Corner Self Storage - Amendment  
Major Development Review  
September 1, 2020

**Attachment D**  
**Supporting Documents**

D

This attachment included a copy of the approved Stormwater Management Law permit from the Maine Department of Environmental Protection.

Supporting Documents



DEPARTMENT ORDER

IN THE MATTER OF

OLD BATH ROAD SPE, LLC ) STORMWATER MANAGEMENT LAW  
Brunswick, Cumberland County )  
SELF STORAGE UNITS, OFFICE SPACE, )  
ROADS AND PARKING )  
L-27765-NJ-A-N (Approval) ) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S. § 420-D, and Chapter 500 (06-096 C.M.R. ch.500 and 502, last amended August 12, 2015) of the Department’s Regulations, the Department of Environmental Protection has considered the application of OLD BATH ROAD SPE, LLC with the supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. PROJECT DESCRIPTION:

A. Summary: The applicant proposes to construct a stormwater management system for eight self-storage buildings. The buildings will contain a combination of office space, climate controlled and traditional self-storage with associated roads and parking. The project will create 2.98 acres of new impervious area and 3.82 acres of new developed area. The project is indicated on a set of plans the first of which is titled “Cover Sheet,” prepared by Sitelines, PA, and dated August 15, 2017, with a latest revision date on any of the sheets of February 28, 2018. The project site is located off Old Bath Road, north of U.S. Highway 1, in the Town of Brunswick.

Approximately 58 square feet of freshwater wetland will be filled as a result of the installation of an outfall from the stormwater system. This activity is exempt pursuant to the Natural Resources Protection Act (NRPA) 38 M.R.S.A. Section 480-Q (17).

B. Current Use of the Site: The site of the proposed project is currently vacant fields with some woodland and a freshwater wetland exists in the southwest corner of the property. The property abuts U.S. Highway 1. There are no structures on the property.

2. STORMWATER STANDARDS:

The proposed project includes approximately 3.82 acres of developed area of which 2.98 acres is impervious area. It lies within the watershed of an unnamed stream that outlets to the Androscoggin River. The applicant submitted a stormwater management plan based on the Basic and General Standards contained in Department Rules, Chapter 500. The proposed stormwater management system consists of a roof drip edge filter, a vegetated underdrained soil filter, and a subsurface infiltration bed composed of 300 “100

HD” chambers (including 61 separator row chambers), referred to as a Cultec chamber system.

A. Basic Standards:

(1) Erosion and Sedimentation Control: The applicant submitted an Erosion and Sedimentation Control Plan that is based on the performance standards contained in Appendix A of Chapter 500 and the Best Management Practices outlined in the Maine Erosion and Sediment Control BMPs, which were developed by the Department. This plan and plan sheets containing erosion control details were reviewed by, and revised in response to the comments of, the Bureau of Land Resources (BLR).

Erosion control details will be included on the final construction plans and the erosion control narrative will be included in the project specifications to be provided to the construction contractor.

(2) Inspection and Maintenance: The applicant submitted a maintenance plan that addresses both short and long-term maintenance requirements. The maintenance plan is based on the standards contained in Appendix B of Chapter 500. This plan was reviewed by, and revised in response to the comments of, BLR. The applicant will be responsible for the maintenance of all common facilities including the stormwater management system.

Prior to the start of construction, the applicant must submit a copy of an executed long-term maintenance contract (minimum of five years and renewable) for the on-going maintenance of the Cultec chamber system to the BLR.

Storm sewer grit and sediment materials removed from stormwater control structures during maintenance activities must be disposed of in compliance with the Maine Solid Waste Management Rules.

(3) Housekeeping: The proposed project will comply with the performance standards outlined in Appendix C of Chapter 500.

Based on BLR's review of the erosion and sedimentation control plan and the maintenance plan, the Department finds that the proposed project meets the Basic Standards contained in Chapter 500(4)(B) provided that a copy of an executed long-term maintenance contract (minimum of five years and renewable) for the on-going maintenance of the Cultec chamber system is submitted to the BLR prior to the start of construction.

B. General Standards:

The applicant's stormwater management plan includes general treatment measures that will mitigate for the increased frequency and duration of channel erosive flows due to runoff from smaller storms, provide for effective treatment of pollutants in stormwater,

and mitigate potential thermal impacts. This mitigation is being achieved by using Best Management Practices that will control runoff from no less than 99% of the impervious area and no less than 83% of the developed area.

The proposed infiltration system was reviewed by staff from the Division of Environmental Assessment (DEA). The DEA commented that the Cultec chamber system will be located within the 100-foot setback of an existing wastewater disposal system and review by the Department of Health and Human Services (DHHS) and the local licensed plumbing inspector are required pursuant to Chapter 500, Appendix D(3)(b). Based on comments from DHHS, the DEA approved the proposed location of the Cultec chamber system. The applicant must ensure that the discharge of soluble pollutants to the infiltration area is minimized and that the infiltration area is maintained to assure that its capacity is unimpaired. Based on DEA's review, the Department does not anticipate that the infiltration area will adversely impact groundwater quality.

The stormwater management system proposed by the applicant was reviewed by, and revised in response to comments from, BLR. After a final review, BLR commented that the proposed stormwater management system is designed in accordance with the Chapter 500 General Standards and recommended that the applicant's design engineer or other qualified professional engineer oversee the construction of the stormwater management systems to ensure that stormwater structures are installed in accordance with the details and notes specified on the approved plans. Within 30 days from completion of the entire system or if the project takes more than one year to complete, at least once per year, the applicant must submit a log of inspection reports detailing the items inspected, photographs taken, and the dates of each inspection to the BLR for review.

Based on the stormwater system's design and BLR's review, the Department finds that the applicant has made adequate provision to ensure that the proposed project will meet the Chapter 500 Basic and General Standards provided that the applicant retains a professional engineer to inspect and document construction of the stormwater management system as outlined above.

BASED on the above findings of fact, and subject to the conditions listed below, the Department makes the following conclusions pursuant to 38 M.R.S. § 420-D, and Chapters 500 of the Department's Regulations:

- A. The applicant has made adequate provision to ensure that the proposed project will meet the Chapter 500 Basic Standards for: (1) erosion and sediment control; (2) inspection and maintenance; (3) housekeeping; and (4) grading and construction activity, provided a copy of a long-term maintenance contract is provided to the BLR for the Cultec chamber system prior to the start of construction and storm sewer grit is disposed of as discussed in Finding 2A.

- B. The applicant has made adequate provision to ensure that the proposed project will meet the Chapter 500 General Standards provided the applicant retains their original design engineer or other qualified professional to inspect and document the installation of the stormwater management structures as discussed in Finding 2B.
- C. The applicant has made adequate provision to ensure that the proposed project will meet the Chapter 500 standards for discharge to freshwater wetlands.

THEREFORE, the Department APPROVES the above noted application of OLD BATH ROAD SPE, LLC to construct a stormwater management system as described above in Brunswick, Maine, SUBJECT TO THE FOLLOWING CONDITIONS, and all applicable standards and regulations:

1. The Standard Conditions of Approval, a copy attached.
2. In addition to any specific erosion control measures described in this order, the applicant shall take all necessary actions to ensure that its activities or those of its agents do not result in noticeable erosion of soils or fugitive dust emissions on the site during the construction and operation of the project covered by this approval.
3. Severability. The invalidity or unenforceability of any provision, or part thereof, of this License shall not affect the remainder of the provision or any other provisions. This License shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.
4. The applicant shall submit a copy of a long-term maintenance contract for the ongoing maintenance of the Cultec chamber system to the BLR prior to the start of construction.
5. Storm sewer grit and sediment materials removed from stormwater control structures shall be disposed of in compliance with the Maine Solid Waste Management Rules.

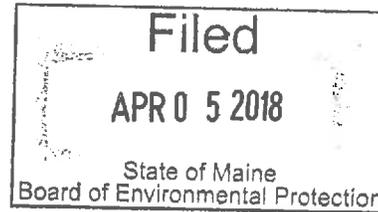
- 6. The applicant shall retain the design engineer or other qualified professional engineer to oversee the construction of the stormwater management structures according to the details and notes specified on the approved plans. Within 30 days of completion of the entire system or if the project takes more than one year to complete, at least once per year, the applicant shall submit a log of inspection reports detailing the items inspected, photographs taken, and dates of each inspection to the BLR for review.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

DONE AND DATED IN AUGUSTA, MAINE, THIS 5<sup>th</sup> DAY OF April, 2018.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

BY:   
For: Paul Mercer, Commissioner



PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES.

JH/L27765AN/ATS#82514

## STORMWATER STANDARD CONDITIONS

### STRICT CONFORMANCE WITH THE STANDARD AND SPECIAL CONDITIONS OF THIS APPROVAL IS NECESSARY FOR THE PROJECT TO MEET THE STATUTORY CRITERIA FOR APPROVAL

**Standard conditions of approval.** Unless otherwise specifically stated in the approval, a department approval is subject to the following standard conditions pursuant to Chapter 500 Stormwater Management Law.

- (1) Approval of variations from plans. The granting of this approval is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from these plans, proposals, and supporting documents must be reviewed and approved by the department prior to implementation. Any variation undertaken without approval of the department is in violation of 38 M.R.S.A. §420-D(8) and is subject to penalties under 38 M.R.S.A. §349.
- (2) Compliance with all terms and conditions of approval. The applicant shall submit all reports and information requested by the department demonstrating that the applicant has complied or will comply with all terms and conditions of this approval. All preconstruction terms and conditions must be met before construction begins.
- (3) Advertising. Advertising relating to matters included in this application may not refer to this approval unless it notes that the approval has been granted WITH CONDITIONS, and indicates where copies of those conditions may be obtained.
- (4) Transfer of project. Unless otherwise provided in this approval, the applicant may not sell, lease, assign, or otherwise transfer the project or any portion thereof without written approval by the department where the purpose or consequence of the transfer is to transfer any of the obligations of the developer as incorporated in this approval. Such approval may only be granted if the applicant or transferee demonstrates to the department that the transferee agrees to comply with conditions of this approval and the proposals and plans contained in the application and supporting documents submitted by the applicant. Approval of a transfer of the permit must be applied for no later than two weeks after any transfer of property subject to the license.
- (5) Time frame for approvals. If the construction or operation of the activity is not begun within four years, this approval shall lapse and the applicant shall reapply to the department for a new approval. The applicant may not begin construction or operation of the project until a new approval is granted. A reapplication for approval may include information submitted in the initial application by reference. This approval, if construction is begun within the four-year time frame, is valid for seven years. If construction is not completed within the seven-year time frame, the applicant must reapply for, and receive, approval prior to continuing construction.
- (6) Certification. Contracts must specify that "all work is to comply with the conditions of the Stormwater Permit." Work done by a contractor or subcontractor pursuant to this approval may not begin before the contractor and any subcontractors have been shown a copy of this approval with the conditions by the developer, and the owner and each contractor and subcontractor has certified, on a form provided by the department, that the approval and

- conditions have been received and read, and that the work will be carried out in accordance with the approval and conditions. Completed certification forms must be forwarded to the department.
- (7) Maintenance. The components of the stormwater management system must be adequately maintained to ensure that the system operates as designed, and as approved by the department.
- (8) Recertification requirement. Within three months of the expiration of each five-year interval from the date of issuance of the permit, the permittee shall certify the following to the department.
- (a) All areas of the project site have been inspected for areas of erosion, and appropriate steps have been taken to permanently stabilize these areas.
  - (b) All aspects of the stormwater control system have been inspected for damage, wear, and malfunction, and appropriate steps have been taken to repair or replace the facilities.
  - (c) The erosion and stormwater maintenance plan for the site is being implemented as written, or modifications to the plan have been submitted to and approved by the department, and the maintenance log is being maintained.
- (9) Severability. The invalidity or unenforceability of any provision, or part thereof, of this permit shall not affect the remainder of the provision or any other provisions. This permit shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.

November 16, 2005 (revised December 27, 2011)



# DEP INFORMATION SHEET

## Appealing a Department Licensing Decision

**Dated: March 2012**

**Contact: (207) 287-2811**

---

### **SUMMARY**

There are two methods available to an aggrieved person seeking to appeal a licensing decision made by the Department of Environmental Protection's ("DEP") Commissioner: (1) in an administrative process before the Board of Environmental Protection ("Board"); or (2) in a judicial process before Maine's Superior Court. An aggrieved person seeking review of a licensing decision over which the Board had original jurisdiction may seek judicial review in Maine's Superior Court.

A judicial appeal of final action by the Commissioner or the Board regarding an application for an expedited wind energy development (35-A M.R.S.A. § 3451(4)) or a general permit for an offshore wind energy demonstration project (38 M.R.S.A. § 480-HH(1)) or a general permit for a tidal energy demonstration project (38 M.R.S.A. § 636-A) must be taken to the Supreme Judicial Court sitting as the Law Court.

This INFORMATION SHEET, in conjunction with a review of the statutory and regulatory provisions referred to herein, can help a person to understand his or her rights and obligations in filing an administrative or judicial appeal.

### **I. ADMINISTRATIVE APPEALS TO THE BOARD**

#### **LEGAL REFERENCES**

The laws concerning the DEP's *Organization and Powers*, 38 M.R.S.A. §§ 341-D(4) & 346, the *Maine Administrative Procedure Act*, 5 M.R.S.A. § 11001, and the DEP's *Rules Concerning the Processing of Applications and Other Administrative Matters* ("Chapter 2"), 06-096 CMR 2 (April 1, 2003).

#### **HOW LONG YOU HAVE TO SUBMIT AN APPEAL TO THE BOARD**

The Board must receive a written appeal within 30 days of the date on which the Commissioner's decision was filed with the Board. Appeals filed after 30 calendar days of the date on which the Commissioner's decision was filed with the Board will be rejected.

#### **HOW TO SUBMIT AN APPEAL TO THE BOARD**

Signed original appeal documents must be sent to: Chair, Board of Environmental Protection, c/o Department of Environmental Protection, 17 State House Station, Augusta, ME 04333-0017; faxes are acceptable for purposes of meeting the deadline when followed by the Board's receipt of mailed original documents within five (5) working days. Receipt on a particular day must be by 5:00 PM at DEP's offices in Augusta; materials received after 5:00 PM are not considered received until the following day. The person appealing a licensing decision must also send the DEP's Commissioner a copy of the appeal documents and if the person appealing is not the applicant in the license proceeding at issue the applicant must also be sent a copy of the appeal documents. All of the information listed in the next section must be submitted at the time the appeal is filed. Only the extraordinary circumstances described at the end of that section will justify evidence not in the DEP's record at the time of decision being added to the record for consideration by the Board as part of an appeal.

## **WHAT YOUR APPEAL PAPERWORK MUST CONTAIN**

Appeal materials must contain the following information at the time submitted:

1. *Aggrieved Status.* The appeal must explain how the person filing the appeal has standing to maintain an appeal. This requires an explanation of how the person filing the appeal may suffer a particularized injury as a result of the Commissioner's decision.
2. *The findings, conclusions or conditions objected to or believed to be in error.* Specific references and facts regarding the appellant's issues with the decision must be provided in the notice of appeal.
3. *The basis of the objections or challenge.* If possible, specific regulations, statutes or other facts should be referenced. This may include citing omissions of relevant requirements, and errors believed to have been made in interpretations, conclusions, and relevant requirements.
4. *The remedy sought.* This can range from reversal of the Commissioner's decision on the license or permit to changes in specific permit conditions.
5. *All the matters to be contested.* The Board will limit its consideration to those arguments specifically raised in the written notice of appeal.
6. *Request for hearing.* The Board will hear presentations on appeals at its regularly scheduled meetings, unless a public hearing on the appeal is requested and granted. A request for public hearing on an appeal must be filed as part of the notice of appeal.
7. *New or additional evidence to be offered.* The Board may allow new or additional evidence, referred to as supplemental evidence, to be considered by the Board in an appeal only when the evidence is relevant and material and that the person seeking to add information to the record can show due diligence in bringing the evidence to the DEP's attention at the earliest possible time in the licensing process or that the evidence itself is newly discovered and could not have been presented earlier in the process. Specific requirements for additional evidence are found in Chapter 2.

## **OTHER CONSIDERATIONS IN APPEALING A DECISION TO THE BOARD**

1. *Be familiar with all relevant material in the DEP record.* A license application file is public information, subject to any applicable statutory exceptions, made easily accessible by DEP. Upon request, the DEP will make the material available during normal working hours, provide space to review the file, and provide opportunity for photocopying materials. There is a charge for copies or copying services.
2. *Be familiar with the regulations and laws under which the application was processed, and the procedural rules governing your appeal.* DEP staff will provide this information on request and answer questions regarding applicable requirements.
3. *The filing of an appeal does not operate as a stay to any decision.* If a license has been granted and it has been appealed the license normally remains in effect pending the processing of the appeal. A license holder may proceed with a project pending the outcome of an appeal but the license holder runs the risk of the decision being reversed or modified as a result of the appeal.

## **WHAT TO EXPECT ONCE YOU FILE A TIMELY APPEAL WITH THE BOARD**

The Board will formally acknowledge receipt of an appeal, including the name of the DEP project manager assigned to the specific appeal. The notice of appeal, any materials accepted by the Board Chair as supplementary evidence, and any materials submitted in response to the appeal will be sent to Board members with a recommendation from DEP staff. Persons filing appeals and interested persons are notified in advance of the date set for Board consideration of an appeal or request for public hearing. With or without holding a public hearing, the Board may affirm, amend, or reverse a Commissioner decision or remand the matter to the Commissioner for further proceedings. The Board will notify the appellant, a license holder, and interested persons of its decision.

## **II. JUDICIAL APPEALS**

Maine law generally allows aggrieved persons to appeal final Commissioner or Board licensing decisions to Maine's Superior Court, see 38 M.R.S.A. § 346(1); 06-096 CMR 2; 5 M.R.S.A. § 11001; & M.R. Civ. P 80C. A party's appeal must be filed with the Superior Court within 30 days of receipt of notice of the Board's or the Commissioner's decision. For any other person, an appeal must be filed within 40 days of the date the decision was rendered. Failure to file a timely appeal will result in the Board's or the Commissioner's decision becoming final.

An appeal to court of a license decision regarding an expedited wind energy development, a general permit for an offshore wind energy demonstration project, or a general permit for a tidal energy demonstration project may only be taken directly to the Maine Supreme Judicial Court. See 38 M.R.S.A. § 346(4).

Maine's Administrative Procedure Act, DEP statutes governing a particular matter, and the Maine Rules of Civil Procedure must be consulted for the substantive and procedural details applicable to judicial appeals.

### **ADDITIONAL INFORMATION**

If you have questions or need additional information on the appeal process, for administrative appeals contact the Board's Executive Analyst at (207) 287-2452 or for judicial appeals contact the court clerk's office in which your appeal will be filed.

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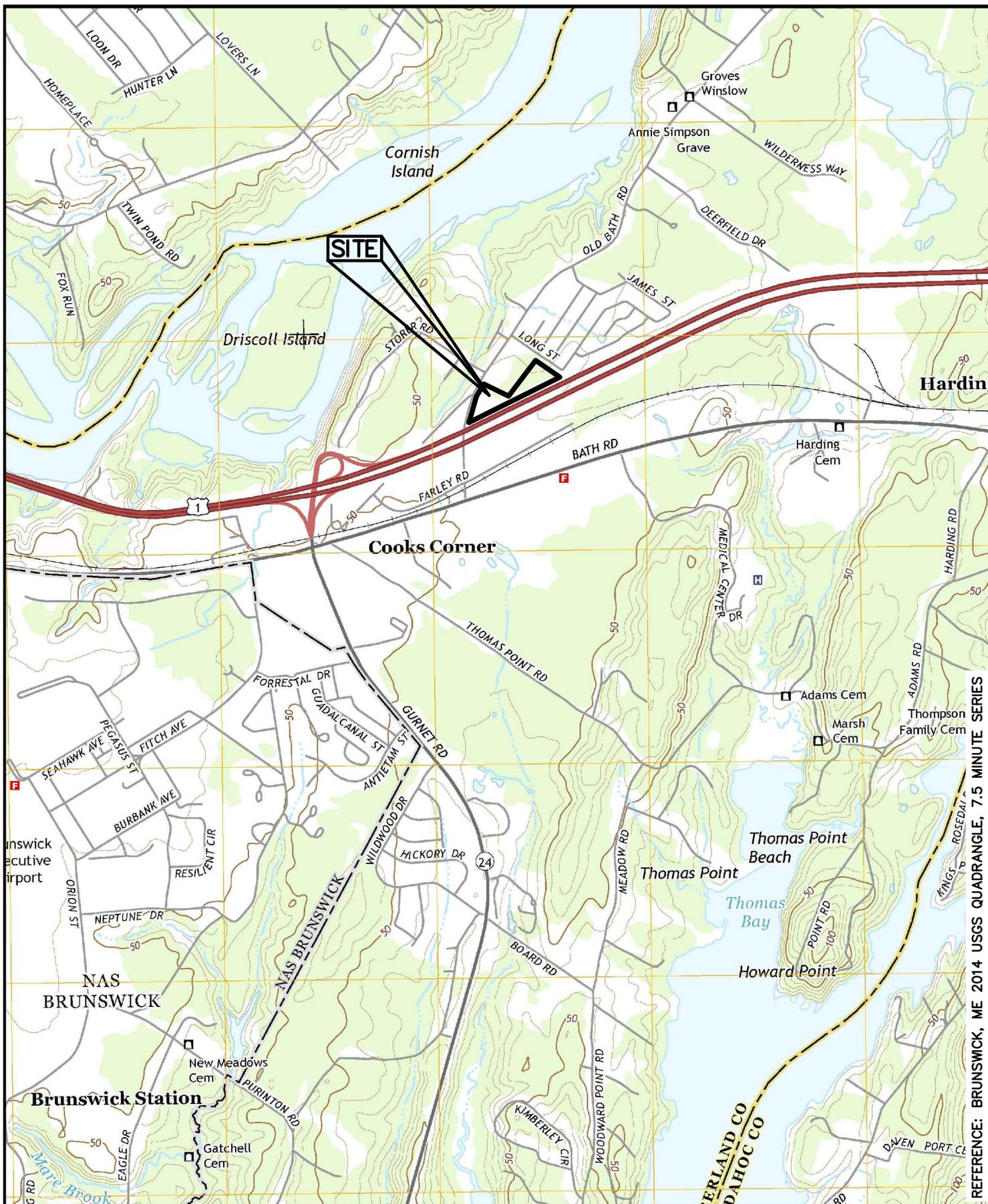
**Note: The DEP provides this INFORMATION SHEET for general guidance only; it is not intended for use as a legal reference. Maine law governs an appellant's rights.**

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## **Attachment E** **Supporting Graphics**

E

This attachment includes supporting materials and graphics for the application. This includes an excerpt of the applicable USGS 7.5-minute quadrangle map and an excerpt of the FEMA flood rate insurance map (FIRM).



REFERENCE: BRUNSWICK, ME 2014 USGS QUADRANGLE, 7.5 MINUTE SERIES

SHEET: 1 OF 1

# SITELINES

119 PURINTON ROAD, SUITE A  
BRUNSWICK, ME 04011  
207.725.1200



CIVIL ENGINEERS • LAND SURVEYORS

## USGS LOCATION MAP

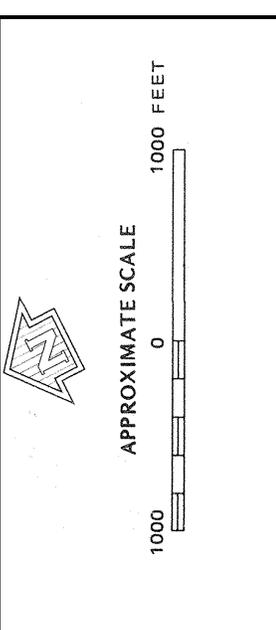
COOKS CORNER SELF STORAGE  
OLD BATH ROAD SPE, LLC  
70 OLD BATH ROAD, BRUNSWICK, ME

DATE: 07/23/20

SCALE: 1"=2000'±

JOB: 3408.01

FILE: 3408.01-USGS



**NATIONAL FLOOD INSURANCE PROGRAM**

**FIRM FLOOD INSURANCE RATE MAP**

TOWN OF  
**BRUNSWICK, MAINE**  
CUMBERLAND COUNTY

PANEL 15 OF 35  
(SEE MAP INDEX FOR PANELS NOT PRINTED)

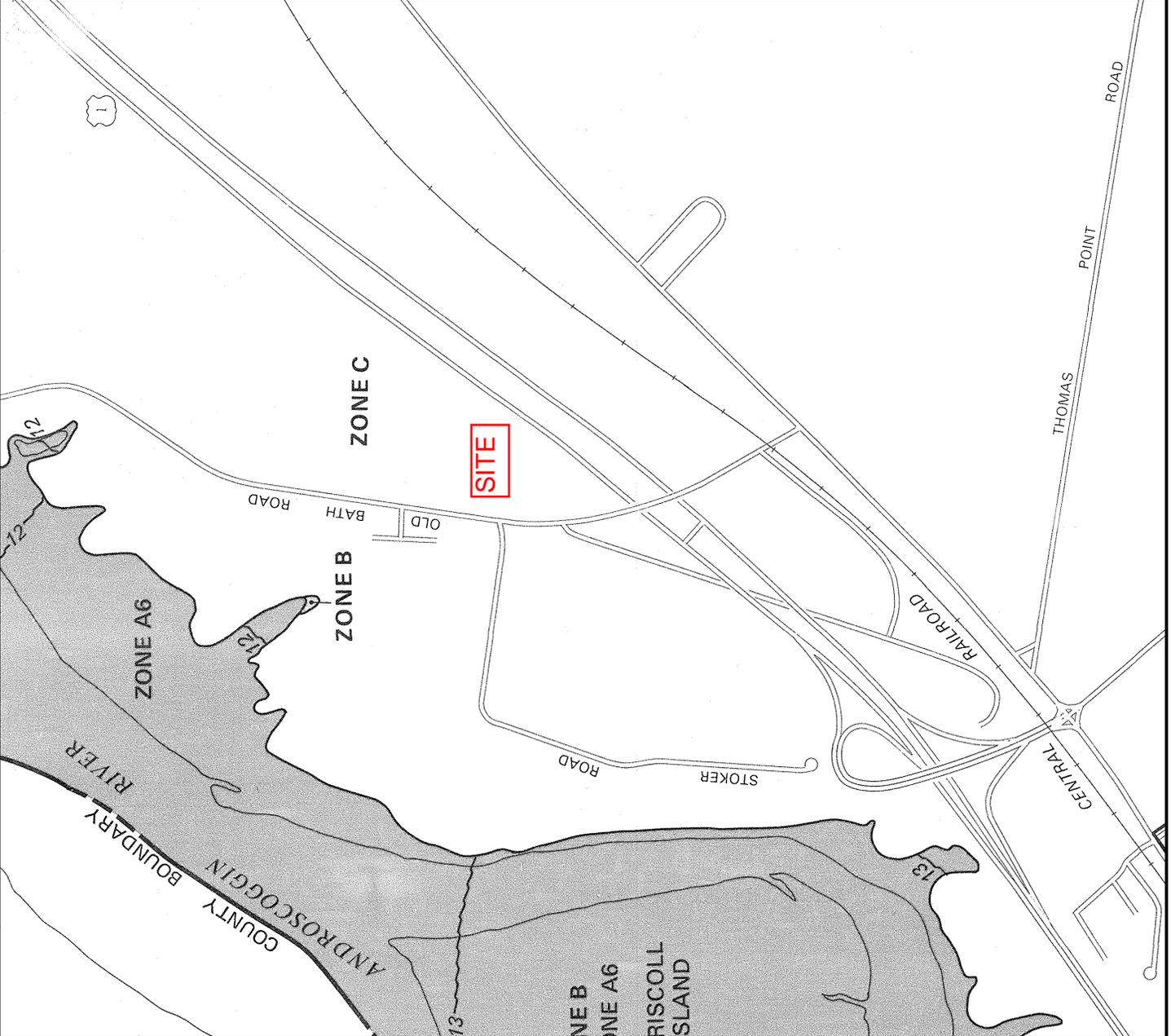
**COMMUNITY-PANEL NUMBER**  
230042 0015 B

**EFFECTIVE DATE:**  
JANUARY 3, 1986



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)



**Attachment F**  
**Site Photographs**

Photographs of the project area are included for reference



Site Photographs

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 1: Entrance from Old Bath Road**



**Photograph 2: Building Located off Old Bath Road**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 3: Gravel Area Being Utilized for Outdoor Storage**



**Photograph 4: Gravel Area Being Utilized for Outdoor Storage**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 5: Grassed Underdrained Soil Filter After Maintenance**



**Photograph 6: Gravel Area Being Utilized for Outdoor Storage**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 7: Gravel Area Being Utilized for Outdoor Storage**



**Photograph 8: Landscaping along Old Bath Road**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 9: Landscaping at Base of Sign**



**Photograph 10: Landscaping Installed Along Northerly Property Line**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 11: Landscaping Installed in Southeast Corner of Project**



**Photograph 12: Landscaping Installed in Southeast Corner of Project**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 13: Landscaping Installed in Southeast Corner of Project**



**Photograph 14: Landscaping Installed at Entrance off Old Bath Road**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 15: Rear Portion of Property that was Cleared – Looking Southwest**



**Photograph 16: Rear Portion of Property that was Cleared – Looking South**

Photographs taken by Sitelines PA, July and August 2020.

Cooks Corner Self Storage  
70 Old Bath Road, Brunswick, Maine



**Photograph 17: Rear Portion of Property that was Cleared – Looking Southeast**



**Photograph 18: Rear Portion of Property that was Cleared – Looking East**

Photographs taken by Sitelines PA, July and August 2020.

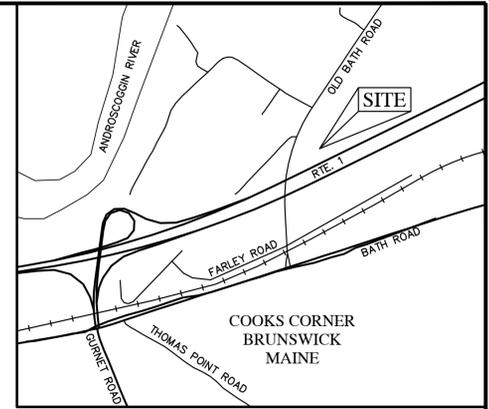
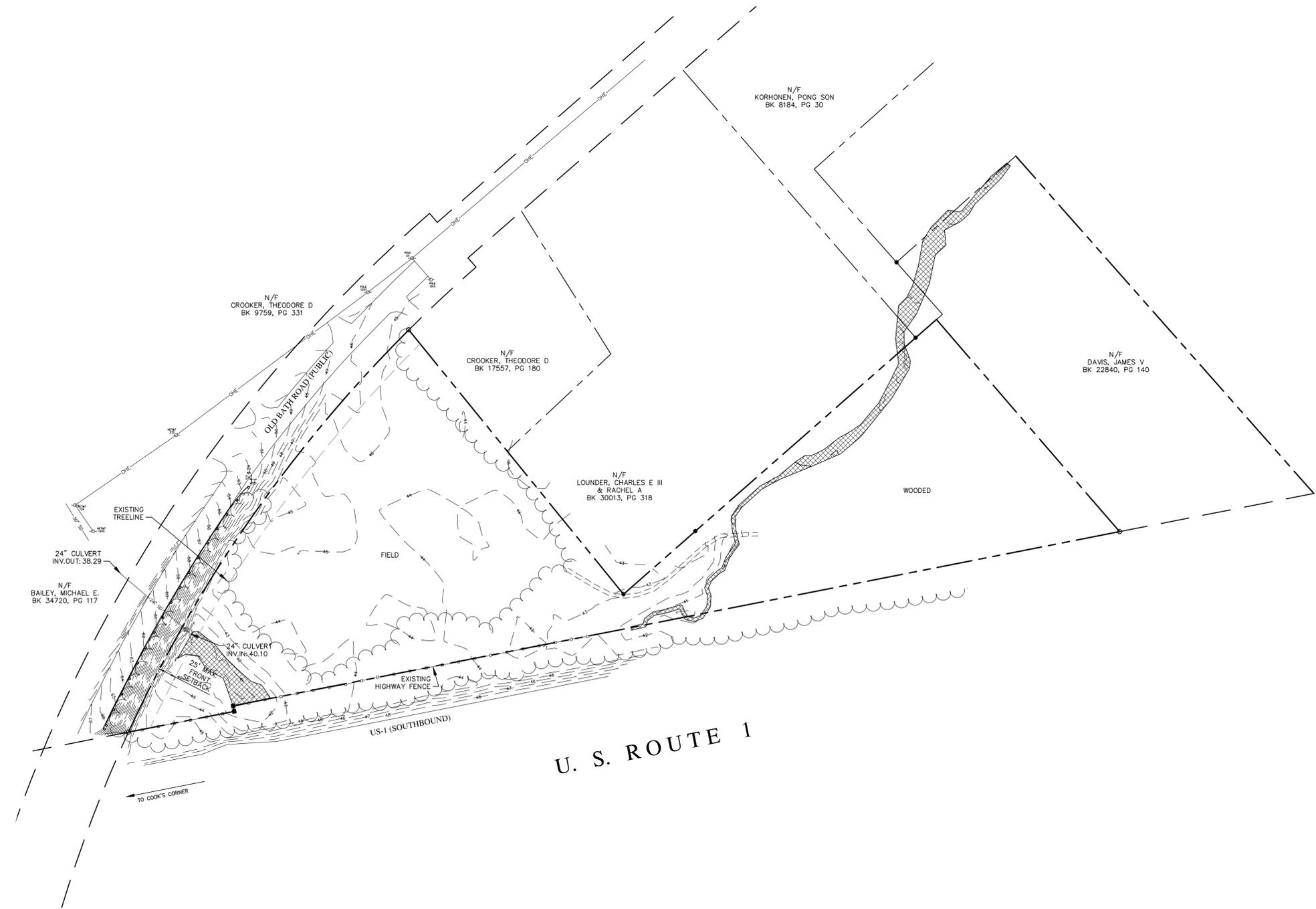
**Attachment G**  
**Site Plans**

The project site plans are included for review as a separate plane set of full site documents.





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 X:\LAND PROJECTS\9408 MACCELLURRAY OLD BATH RD\DWG\940801-SITE.DWG, C:\EX COND, 8/31/2020 9:52:51 AM, JOSEPH MARDEN



**GENERAL NOTES:**

- TITLE REFERENCE FOR SURVEYED PARCEL:**  
BK 34691, PG 279
- AREA INFORMATION:**  
LOT AREA: 7.38 ACRES
- TAX MAP REFERENCE:**  
TAX MAP 45, LOT 1A.
- BASIS OF BEARINGS:**  
BEARINGS ARE REFERENCED TO MAGNETIC.
- FLOOD ZONE INFORMATION:**  
PARCEL IS LOCATED WITHIN ZONE C (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAPS FOR CUMBERLAND COUNTY, MAINE. THE PROJECT IS LOCATED ON PANEL 15 OF 35 (COMMUNITY PANEL 230042 0015 B, EFF. DATE JANUARY 3, 1986)

**UTILITY NOTES:**

- INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD AND THAT SHOWN ON A PREVIOUS PLANS, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) PRIOR TO EXCAVATION.

2. 09-01-20 SUBMITTED TO TOWN FOR REVIEW JMM  
 1. 08-13-20 SUBMITTED TO MDEP FOR REVIEW JMM

TITLE:	EXISTING CONDITIONS PLAN	
PROJECT:	COOKS CORNER SELF STORAGE - AMENDMENT 70 OLD BATH ROAD, BRUNSWICK, ME 04011	
PREPARED FOR:	OLD BATH ROAD SPE, LLC 44 SEABORNE DRIVE, YARMOUTH, ME 04096	

**PROGRESS PRINT**  
 THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

CALL DIG SAFE UTILITY LOCATION  
**1-888-344-7233**  
 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES

**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 80 ft.  
 ISSUED FOR:  
 PERMITTING REVIEW

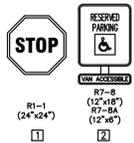
JOSEPH J. MARDEN  
 12828  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF MAINE

**SITELINES, PA**  
 ENGINEERS • PLANNERS • SURVEYORS  
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011  
 207.725.1200 www.sitelinespa.com

FIELD WK: MC/MH	SCALE: 1"=80'	SHEET: <b>C2</b>
DRN BY: MCA	JOB #: 3408.01	
CHD BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408.01-SITE	

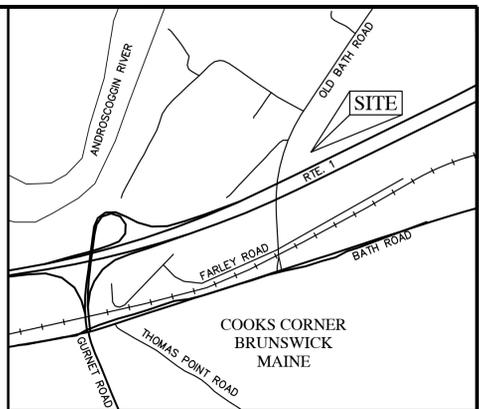
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 X:\LAND PROJECTS\3408 MACGILLIVRAY OLD BATH RD\DWG\4801-SITE.DWG, CS-SITE, 8/31/2020 9:52:52 AM, JOSEPH MARDEN

**SIGN LEGEND:**



**LAYOUT NOTES:**

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
2. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY. REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.
3. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
4. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. BUILDING FOUNDATION SHOWN IS NOT FOR FOUNDATION LAYOUT. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.
6. REFER TO SHEET C4 FOR GRADING AND DRAINAGE INFORMATION.
7. REFER TO SHEET L1 FOR LANDSCAPE INFORMATION.
8. REFER TO SHEET L2 FOR LIGHTING INFORMATION.



LOCATION MAP NOT TO SCALE

GROWTH MIXED-USE 4 DISTRICT (GM4)		
ZONING STANDARD	REQUIRED	PROPOSED
MIN. LOT SIZE:	7,000 S.F.	321,340 S.F.
MIN. LOT WIDTH:	60'	693.3'
MIN. BUILDING SETBACKS:		
FRONT:	0' MIN / 25' MAX	8.3'
REAR:	15'	N/A
SIDE:	0'	34.8'
MAX. HEIGHT:	60'	<60'
MAX. FOOTPRINT:	50,000 S.F.	10,800 S.F.
MAX. IMPERVIOUS COVERAGE:	50%	43%

**GENERAL NOTES:**

1. TITLE REFERENCE FOR SURVEYED PARCEL:  
BK 9759, PG 331
2. AREA INFORMATION:  
LOT AREA: 7.38 ACRES
3. TAX MAP REFERENCE:  
TAX MAP 45, LOT 1A.
4. BASIS OF BEARINGS:  
BEARINGS ARE REFERENCED TO MAGNETIC.
5. ELEVATION DATUM:  
REFER TO BENCHMARK ON SHEET C4.
6. FLOOD ZONE INFORMATION:  
PARCEL IS LOCATED WITHIN ZONE C (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAPS FOR CUMBERLAND COUNTY, MAINE. THE PROJECT IS LOCATED ON PANEL 15 OF 35 (COMMUNITY PANEL 230042 0015 B, EFF. DATE JANUARY 3, 1986)
7. IMPERVIOUS AREA:  
EXISTING IMPERVIOUS AREA: 129,851 S.F. (2.98 AC)  
PROPOSED IMPERVIOUS AREA: 9,367 S.F. (0.22 AC)  
TOTAL IMPERVIOUS AREA: 139,218 S.F. (3.20 AC)

**UTILITY NOTES:**

1. INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD AND THAT SHOWN ON A PREVIOUS PLAN, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO EXCAVATION. 1-888-344-7233

2. 09-01-20 SUBMITTED TO TOWN FOR REVIEW JUM
1. 08-13-20 SUBMITTED TO MDEP FOR REVIEW JUM

TITLE: **SITE LAYOUT & UTILITY PLAN**

PROJECT: **COOKS CORNER SELF STORAGE - AMENDMENT  
70 OLD BATH ROAD, BRUNSWICK, ME 04011**

PREPARED FOR: **OLD BATH ROAD SPE, LLC  
44 SEABORNE DRIVE, YARMOUTH, ME 04096**

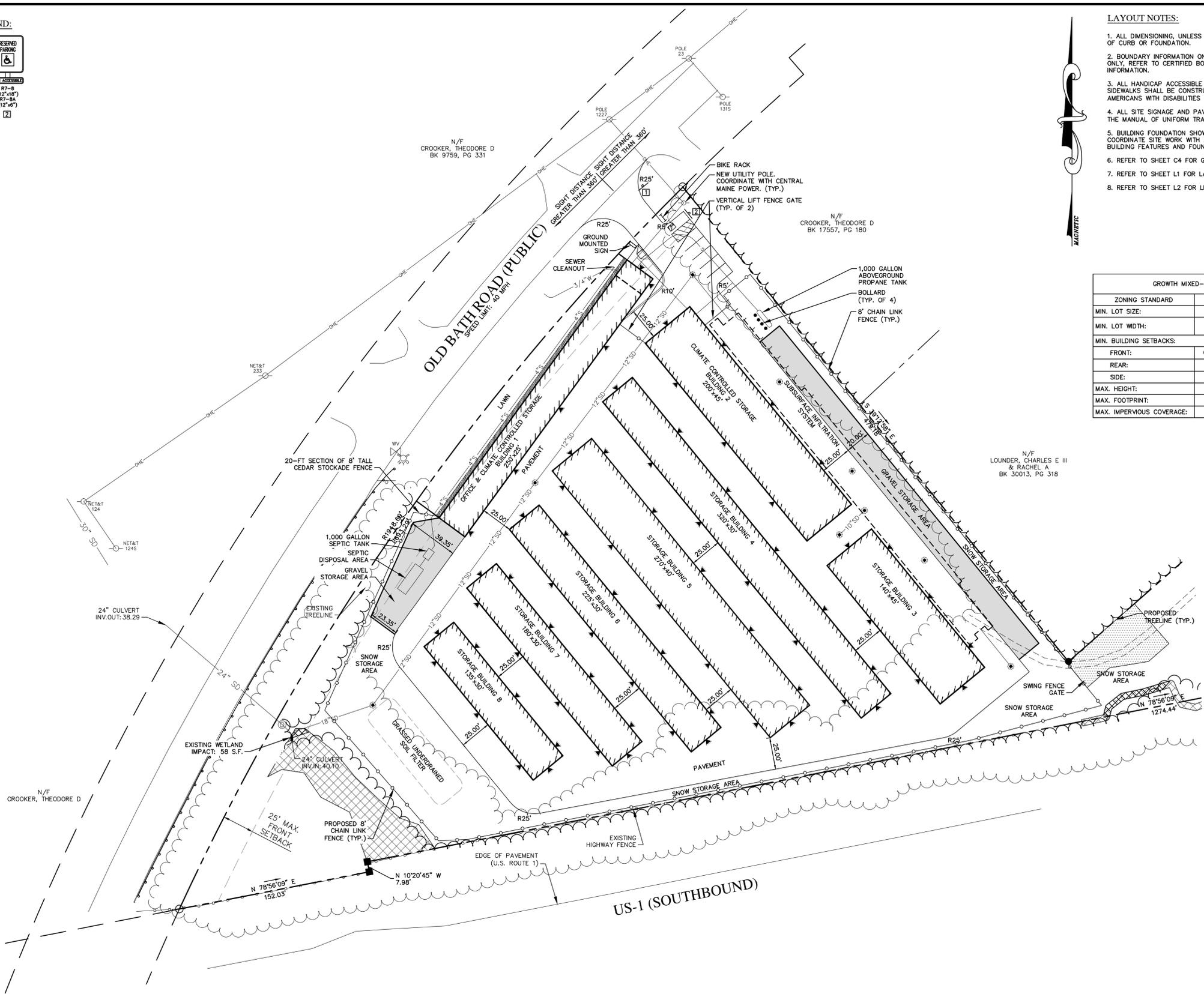
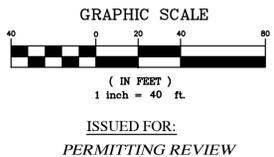
**SITELINES, PA**  
ENGINEERS • PLANNERS • SURVEYORS  
8 CUMBERLAND STREET, BRUNSWICK, ME 04011  
207.725.1200 www.sitelinespa.com

FIELD WK: MC/MH	SCALE: 1"=40'	SHEET:
DRN BY: MCA	JOB #: 3408.01	<b>C3</b>
CH'D BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408.01-SITE	

**PROGRESS PRINT**  
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

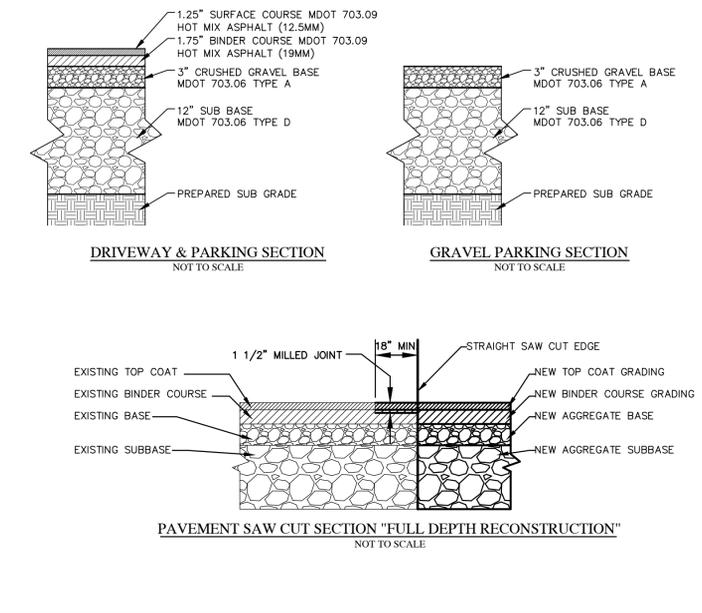


CALL DIG SAFE UTILITY LOCATION  
**1-888-344-7233**  
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES

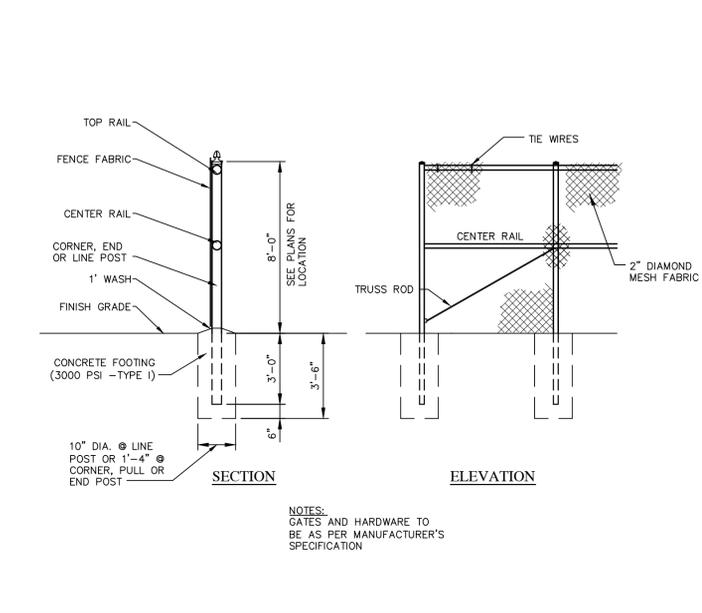




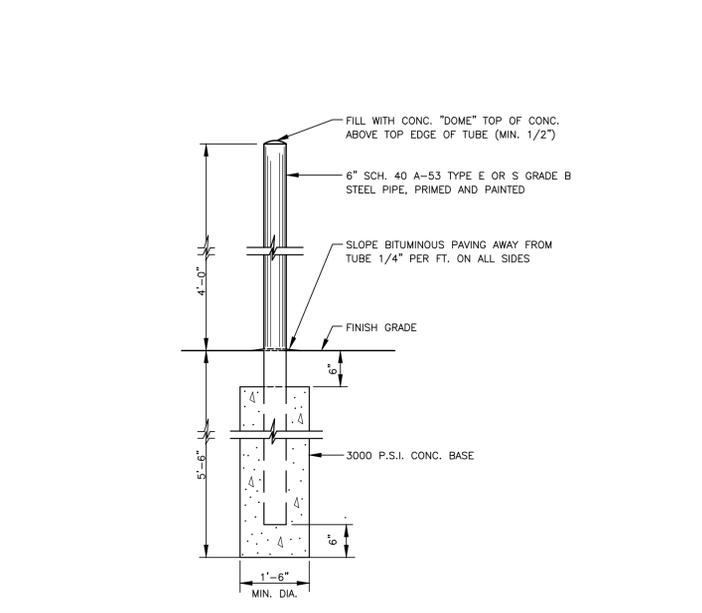
8/2020 THIS DRAWING IS THE PROPERTY AND INSTRUMENT OF SITELINES PA. NO MODIFICATIONS OR CHANGES MAY BE MADE TO THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITELINES PA. ANY MODIFICATION, CHANGE OR USE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITELINES PA IS UNLAWFUL AND IS AT THE USER'S RISK.



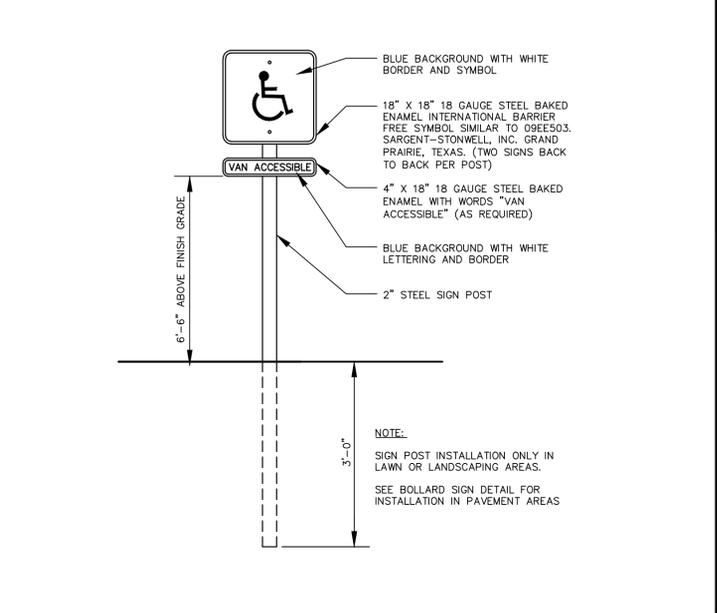
**A PAVEMENT SECTIONS**  
N.T.S.



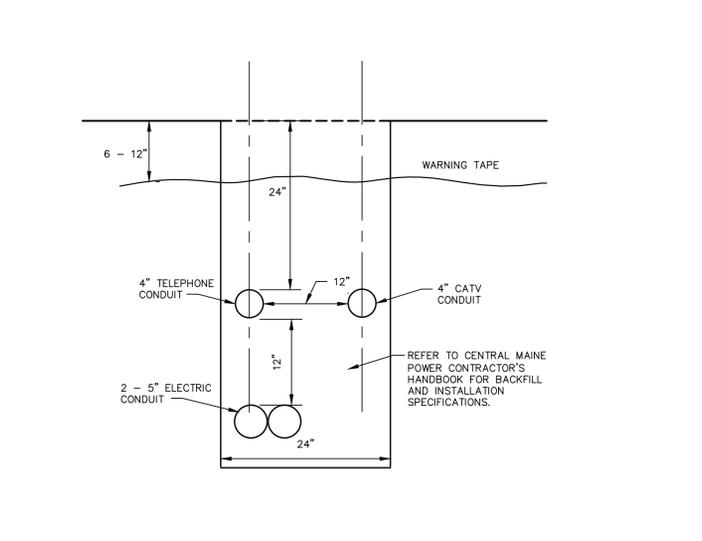
**B CHAIN LINK FENCE DETAIL**  
N.T.S.



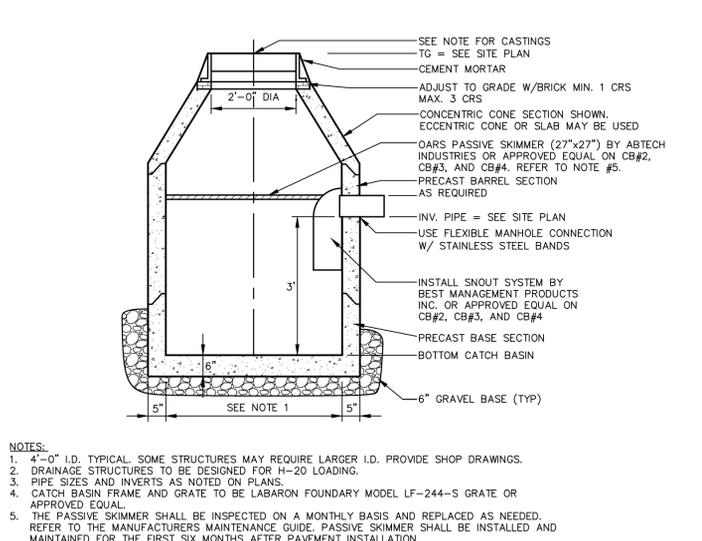
**C TYPICAL BOLLARD DETAIL**  
N.T.S.



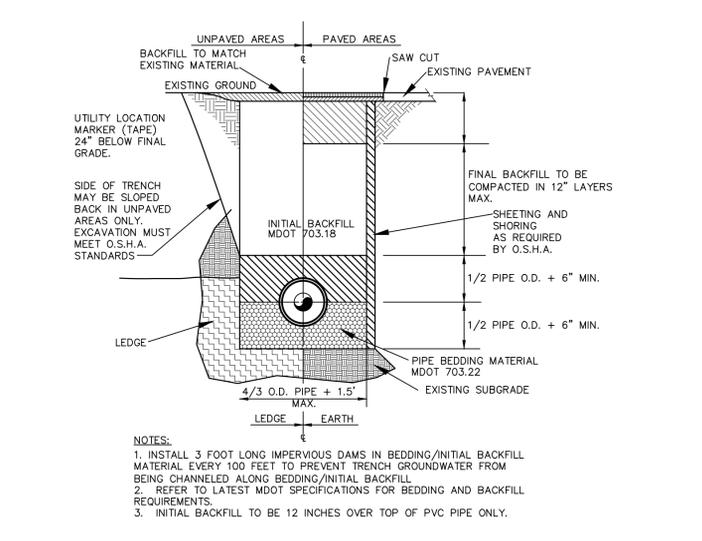
**D BARRIER FREE PARKING SIGN DETAIL (IN GRASS)**  
N.T.S.



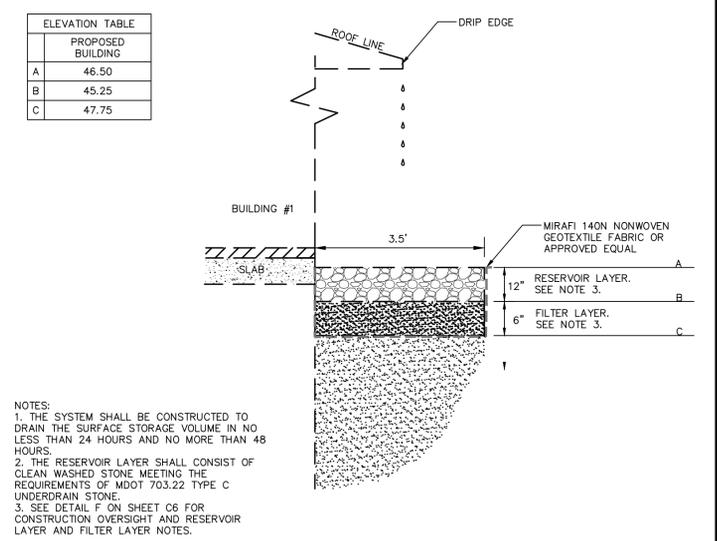
**E UTILITY TRENCH**  
N.T.S.



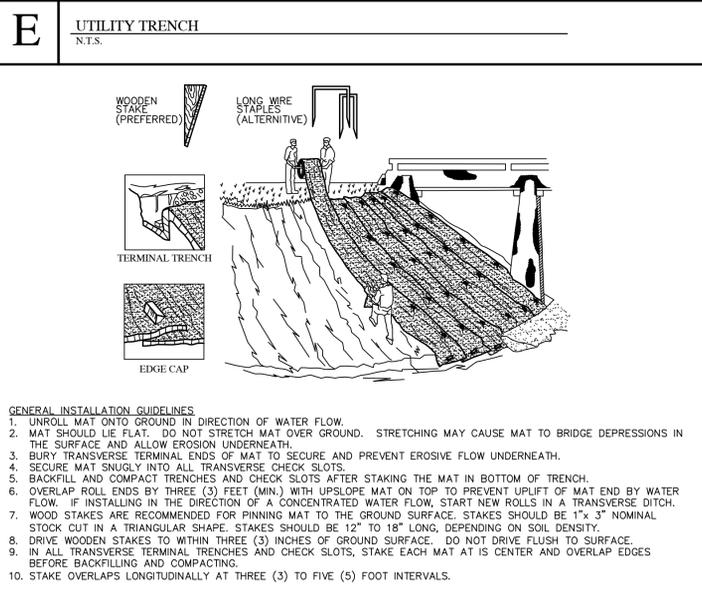
**F CATCH BASIN OR DRAINAGE MANHOLE W/ SNOUT**  
N.T.S.



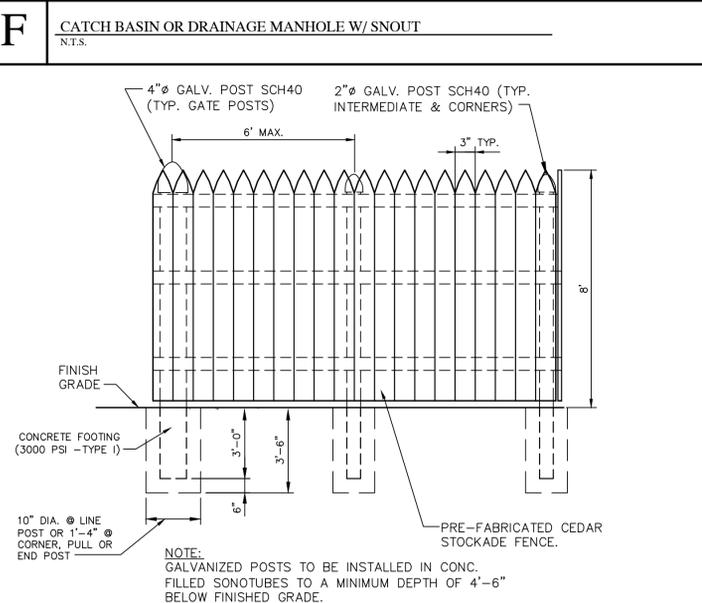
**G TYPICAL PIPE TRENCH DETAIL**  
N.T.S.



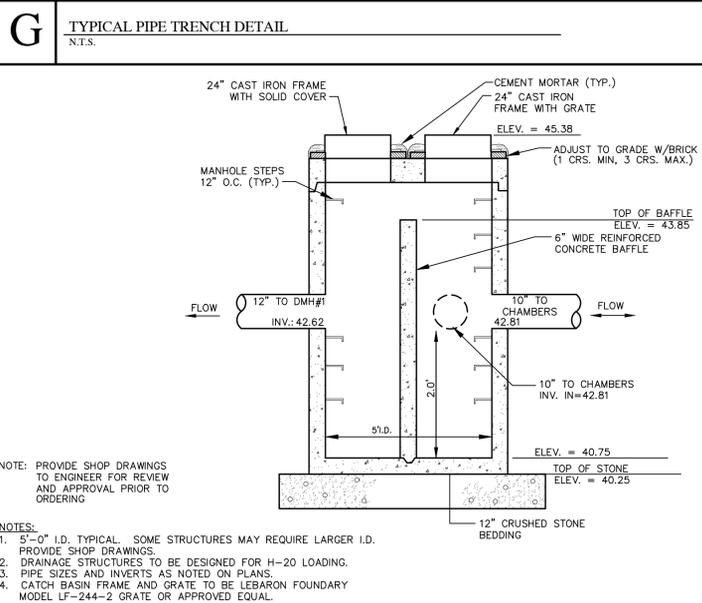
**H DRIPLINE INFILTRATION DETAIL**  
N.T.S.



**I EROSION CONTROL BLANKET**  
N.T.S.



**J STOCKADE FENCE DETAIL**  
N.T.S.



**K CB#2 (OVERFLOW STRUCTURE) (PREVIOUSLY INSTALLED)**  
N.T.S.

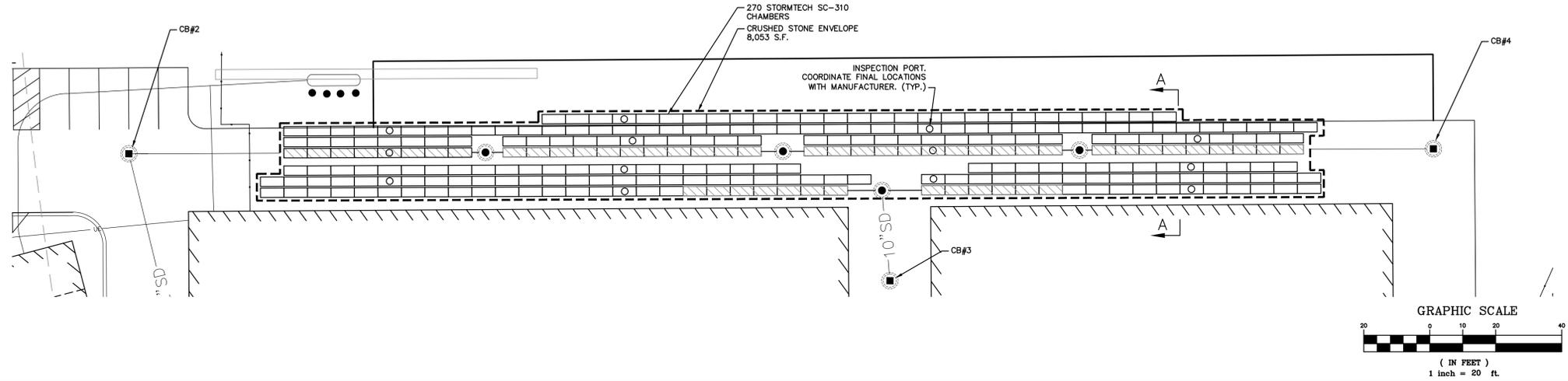
<b>ELEVATION TABLE</b> PROPOSED BUILDING A 46.50 B 45.25 C 47.75		
<b>NOTES:</b> 1. THE SYSTEM SHALL BE CONSTRUCTED TO DRAIN THE SURFACE STORAGE VOLUME IN NO LESS THAN 24 HOURS AND NO MORE THAN 48 HOURS. 2. THE RESERVOIR LAYER SHALL CONSIST OF CLEAN WASHED STONE MEETING THE REQUIREMENTS OF MDOT 703.22 TYPE C UNDERDRAIN STONE. 3. SEE DETAIL F ON SHEET C6 FOR CONSTRUCTION OVERSIGHT AND RESERVOIR LAYER AND FILTER LAYER NOTES.		
<b>PROGRESS PRINT</b> THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.		
<b>SITELINES, PA</b> ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com		
FIELD WK: MCMH DRN BY: MCA CHD BY: CYN DATE: 07-29-20	SCALE: NTS JOB #: 3408.01 MAP/LOT: 45/1A FILE: 3408-COVER-DET	SHEET: <b>C5</b>

X:LAND PROJECTS:3408 MACCULLIVRAY OLD BATH RD/DWG:3408-01-COVER-DET.DWG, CG:DETAILS, 8/31/2020 9:52:54 AM, JOSEPH MARDEN

X:\LAND PROJECTS\3408 MACGILLIVRAY OLD BATH RD\DWG\3408-01-COVER-DET.DWG, CH STORMWATER, 03/17/2020 05:52:55 AM, JOSEPH MARDEN, 2020. THIS DRAWING IS THE PROPERTY AND INSTRUMENT OF SERVICES PA. NO MODIFICATIONS OR CHANGES MAY BE MADE TO THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITESLINES PA. ANY MODIFICATION, CHANGE OR USE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITESLINES PA IS VOIDFUL AND IS AT THE USER'S RISK.

FOR FURTHER INFORMATION ON LAYOUT AND/OR DESIGN OF STORMTECH CHAMBER SYSTEM, REFER TO DESIGN PLANS AND DETAILS PROVIDED BY ADVANCED DRAINAGE SYSTEMS, INC.

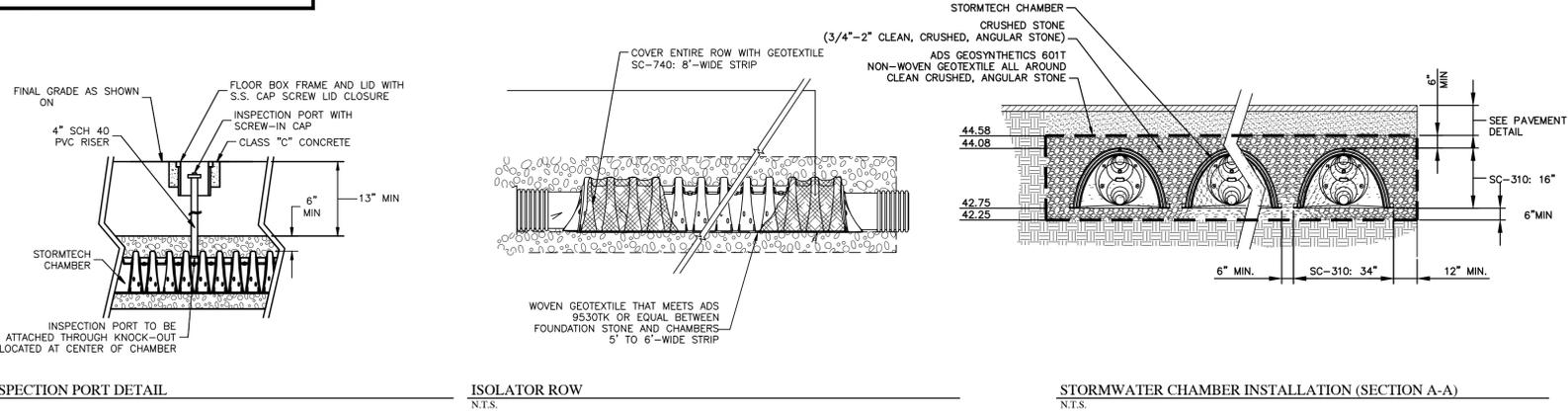
STORMTECH ISOLATOR ROW (52 TOTAL CHAMBERS)



**A** SUBSURFACE STORMWATER CHAMBER SYSTEM - OVERALL PLAN VIEW (PREVIOUSLY CONSTRUCTED)  
N.T.S.

**B** NOT USED  
N.T.S.

FOR FURTHER INFORMATION ON LAYOUT AND/OR DESIGN OF STORMTECH CHAMBER SYSTEM, REFER TO DESIGN PLANS AND DETAILS PROVIDED BY ADVANCED DRAINAGE SYSTEMS, INC.



**C** SUBSURFACE STORMWATER CHAMBER SYSTEM - DETAILS (PREVIOUSLY CONSTRUCTED)  
N.T.S.

**D** NOT USED  
N.T.S.

ELEVATION TABLE	
	GUSF1
A	43.25
B	41.75
C	41.00
D	40.75
E - 25YR WATER SURFACE ELEVATION	44.81
F - 10YR WATER SURFACE ELEVATION	44.70
G - 2YR WATER SURFACE ELEVATION	44.54

**CONSTRUCTION OVERSIGHT - GENERAL**

- THE APPLICANT WILL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES TO BE BUILT AS PART OF THE PROJECT. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE CONSTRUCTION PLANS FOR THE CONTRACTOR.
- ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER WILL NOTIFY THE DEPARTMENT IN WRITING WITHIN 30 DAYS TO STATE THAT THE STRUCTURES HAVE BEEN COMPLETED.
- ACCOMPANYING THE ENGINEER'S NOTIFICATION MUST BE A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION, AND THE ITEMS INSPECTED ON EACH VISIT, AND INCLUDE ANY TESTING DATA OR SIEVE ANALYSIS DATA OF EVERY MINERAL SOIL AND SOIL MEDIA SPECIFIED IN THE PLANS AND USED ON SITE.

**CONSTRUCTION OVERSIGHT - GRASSED UNDERDRAINED SOIL FILTER:**

- CONSTRUCTION SEQUENCE:** THE SOIL FILTER MEDIA AND VEGETATION MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE FILTER HAS BEEN PERMANENTLY STABILIZED WITH PAVEMENT OR OTHER STRUCTURE, 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION UNLESS THE RUNOFF FROM THE CONTRIBUTING DRAINAGE AREA IS DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.
- COMPACTION OF SOIL FILTER:** FILTER SOIL MEDIA AND UNDERDRAIN BEDDING MATERIAL MUST BE COMPACTED TO BETWEEN 90% AND 92% STANDARD PROCTOR. THE BED SHOULD BE INSTALLED IN AT LEAST 2 LIFTS OF 9 INCHES TO PREVENT POCKETS OF LOOSE MEDIA.
- CONSTRUCTION OVERSIGHT:** INSPECTION BY A PROFESSIONAL ENGINEER WILL OCCUR AT A MINIMUM:
  - AFTER THE PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED.
  - AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA.
  - AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDED, BIO-RETENTION CELLS MUST BE STABILIZED PER THE PROVIDED PLANTING SCHEME AND DENSITY FOR THE CANOPY COVERAGE OF 30 AND 50%.
  - AFTER ONE YEAR TO INSPECT HEALTH OF THE VEGETATION AND MAKE CORRECTIONS, AND
  - ALL THE MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN MUST BE CONFIRMED AS SUITABLE BY THE DESIGN ENGINEER. TESTING MUST BE DONE BY A CERTIFIED LABORATORY TO SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS.
- TESTING AND SUBMITTALS:** THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF THE SOURCE OF EACH COMPONENT OF THE FILTER MEDIA. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR CONFIRMATION. THE CONTRACTOR SHALL:
  - SELECT SAMPLES FOR SAMPLING OF EACH TYPE OF MATERIAL TO BE BLENDED FOR THE MIXED FILTER MEDIA AND SAMPLES OF THE UNDERDRAIN BEDDING MATERIAL. SAMPLES MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE OR PIT FACE. SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY.
  - PERFORM A SIEVE ANALYSIS CONFORMING TO STM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COURSE AGGREGATES 1996A) ON EACH TYPE OF THE SAMPLE MATERIAL. THE RESULTING SOIL FILTER MEDIA MIXTURE MUST HAVE 8% TO 12% BY WEIGHT PASSING THE #200 SIEVE, A CLAY CONTENT OF LESS THAN 2% (DETERMINED HYDROMETER GRAIN SIZE ANALYSIS) AND HAVE 10% DRY WEIGHT OF ORGANIC MATTER.
  - PERFORM A PERMEABILITY TEST ON THE SOIL FILTER MEDIA MIXTURE CONFORMING TO ASTM D2434 WITH THE MIXTURE COMPACTED TO 90-92% OF MAXIMUM DRY DENSITY BASED ON ASTM D698.

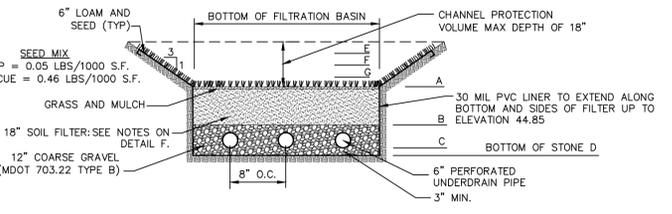
**CONSTRUCTION OVERSIGHT - INFILTRATION SYSTEM:**

- INSPECTIONS A PROFESSIONAL ENGINEER WILL CONSIST OF WEEKLY VISITS TO THE SITE TO INSPECT THE PROPOSED INFILTRATION SYSTEM, FROM INITIAL GROUND DISTURBANCE TO FINAL STABILIZATION OF THE INFILTRATION SYSTEM.
- CULTEC REPRESENTATIVE SHALL BE PRESENT DURING INSTALLATION OF CULTEC SEPARATOR ROWS. CONTRACTOR SHALL COORDINATE WITH CULTEC REPRESENTATIVE DIRECTLY.

**CONSTRUCTION OVERSIGHT - DRIPEDGE FILTER:**

- CONSTRUCTION INSPECTIONS:** AT A MINIMUM, THE PROFESSIONAL ENGINEER'S INSPECTION WILL OCCUR AFTER FOUNDATION SOIL PREPARATION BUT PRIOR TO PLACEMENT OF THE GEOTEXTILE LINING, AFTER THE GRAVEL FILTER MEDIA HAS BEEN PLACED BUT PRIOR TO INSTALLING THE CRUSHED STONE SURFACE LAYER, AND AFTER THE SURFACE CRUSHED STONE SURFACE LAYER IS INSTALLED.
- TESTING AND SUBMITTALS:** THE GRAVEL FILTER MEDIA USED IN THE ROOF DRIPEDGE FILTRATION BMP MUST BE CONFIRMED AS SUITABLE BY TESTING. THE CONTRACTOR SHALL IDENTIFY THE SOURCE OF THESE GRAVELS AND OBTAIN SAMPLES FOR TESTING. ALL TESTING MUST BE DONE BY A CERTIFIED LABORATORY. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR CONFIRMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLETION OF THE FOLLOWING SAMPLING AND TESTING BEFORE THE GRAVEL IS PLACED AS PART OF THE DRIPEDGE FILTER'S CONSTRUCTION.
  - OBTAIN A SAMPLE OF THE GRAVEL FILTER MEDIA. THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE GRAVEL STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COURSE AGGREGATES 1996A) OF THE SAND FILTER MEDIA SHOWING IT MEETS THE FOLLOWING GRADATION:

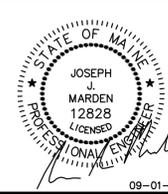
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
#200	4-7



**E** GRASSED UNDERDRAINED SOIL FILTER DETAIL (PREVIOUSLY CONSTRUCTED)  
N.T.S.

**F** CONSTRUCTION OVERSIGHT NOTES  
N.T.S.

**PROGRESS PRINT**  
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



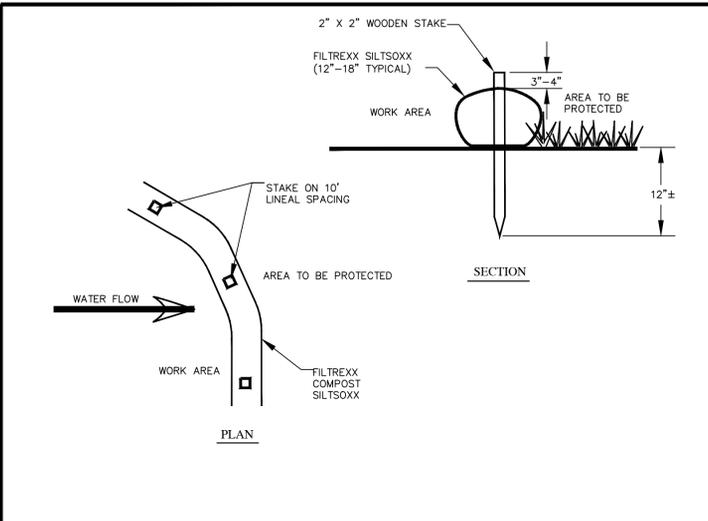
2. 09-01-20 SUBMITTED TO TOWN FOR REVIEW JJM  
1. 08-13-20 SUBMITTED TO MDEP FOR REVIEW JJM

**TITLE: STORMWATER DETAILS**  
PROJECT: COOKS CORNER SELF STORAGE - AMENDMENT  
70 OLD BATH ROAD, BRUNSWICK, ME 04011  
OWNER: OLD BATH ROAD SPE, LLC  
44 SEABORNE DRIVE, YARMOUTH, ME 04096

**SITELINES, PA**  
ENGINEERS • PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS  
8 CUMBERLAND STREET, BRUNSWICK, ME 04011  
207.725.1200 www.sitelinespa.com

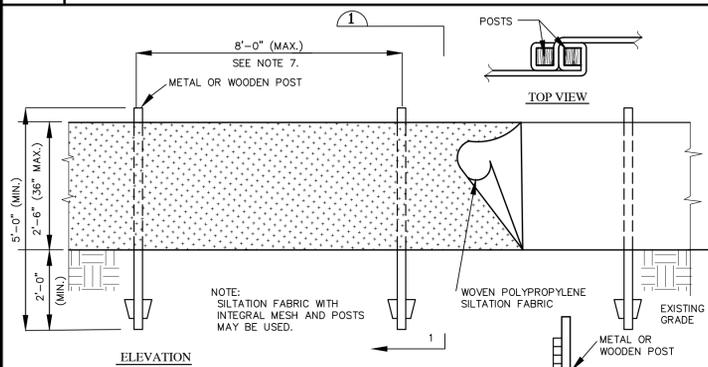
FIELD WK: MCMH	SCALE: NTS	SHEET:
DRN BY: MCA	JOB #: 3408.01	<b>C6</b>
CHD BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408-COVER-DET	

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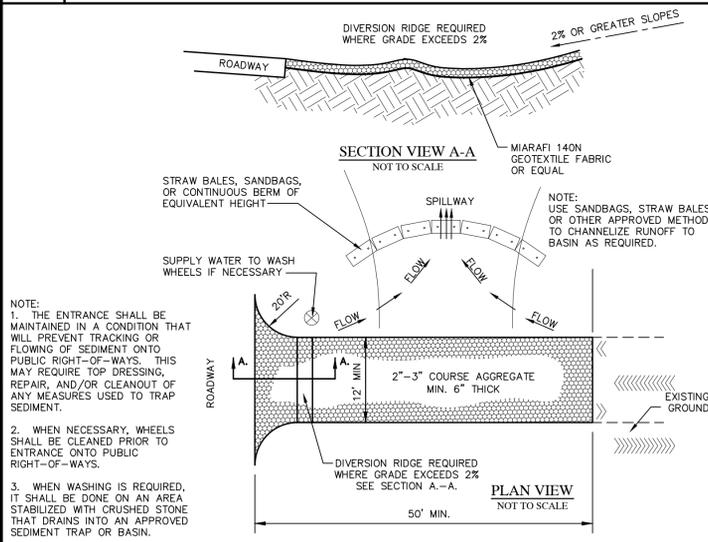
**NOTES:**  
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS  
2. SILT/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS  
3. SILT/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS  
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**A FILTREXX SILT/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS**  
N.T.S.



**INSTALLATION:**  
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.  
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.  
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.  
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.  
5. JOIN SECTION AS SHOWN IN TOP VIEW.  
6. BARRIER SHALL BE MIRAFI SILT FENCE (100X) OR APPROVED EQUIVALENT.  
7. A STONE "FILLET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEED IN.

**C SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"**  
N.T.S.



**C STABILIZED CONSTRUCTION ENTRANCE**

**EROSION AND SEDIMENTATION NOTES:**

1. CONTRACTOR SHALL REFER TO THE FOLLOWING REFERENCES FOR THE DESIGN AND INSTALLATION OF TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL PRACTICES:  
• 2016 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL FOR DESIGNERS AND ENGINEERS  
• 2014 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL FIELD GUIDE FOR CONTRACTORS

**GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:**

**EROSION/SEDIMENTATION CONTROL DEVICES:**  
THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

1. SEDIMENT BARRIER: SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
5. STRAW AND HAY MULCH: USED TO COVER DENUDEED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

**TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:**  
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

1. SEDIMENT BARRIER ALONG THE DOWNGRADE SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER SHALL BE INSTALLED PRIOR TO THE START OF THE CONSTRUCTION AND WILL REMAIN IN PLACE UNTIL THE SITE IS 90% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
  - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
  - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES.
  - C. STABILIZE STOCKPILES WITHIN 7 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIER.
  - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT 5' OF PILING.

4. ALL DENUDEED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY, SUBGRADE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOO WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.

5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDEED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.

6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

7. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY WETLAND. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY WETLAND, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE WETLAND, PERIMETER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.

8. AREAS WITHIN 75 FT OF A WETLAND WILL BE STABILIZED WITHIN 48 HOURS OF INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.

9. ALL AREAS WITHIN 75 FEET OF A WETLAND MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS DURING WINTER CONSTRUCTION (NOVEMBER 1 THROUGH APRIL 15).

10. TEMPORARY SEDIMENT BASINS MAY BE INSTALLED DOWNGRADE OF THE DISTURBED AREAS. THESE BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR PROVIDE FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE SURFACE OF THE BASIN WHENEVER POSSIBLE. EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE EROSION. ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST 1/2 OF THE DESIGN CAPACITY OF THE BASIN.

2. EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.

**PERMANENT EROSION CONTROL MEASURES:**  
THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.

2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP. (NONE ANTICIPATED)

**POST-CONSTRUCTION REVEGETATION:**  
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.

2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10-20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFTURF", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLU PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW: (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQFT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 1/2 OZ.PER 1,000 SQFT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUILEGA CANADENSIS COLUMBINE, ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED, ASTER NOVAE-ANGIAE NEW-ENGLAND ASTER, BAPTISIA AUSTRALIS WILD INDIGO, BOLTONIA ASTEROSIDIS FALSE ASTER, CHRYSANTHEMUM LEUCANTHEMUM OXEYE DAISY, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPY, RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQFT. OR 4 OZ. PER 1,000 SQFT. IN COMBINATION

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
  - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE.)
    - I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
    - II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
  - B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.

4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
  - A. ONLY UNFROZEN LOAM SHALL BE USED.
  - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
  - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS./1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
  - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS./1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
  - E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
  - F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.

5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

**MONITORING SCHEDULE:**

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

**HOUSEKEEPING:**  
FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 500, APPENDIX C.

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

NOTE: ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-482-0777 WHICH IS AVAILABLE 24 HOURS A DAY. FOR SPILLS OF TOXIC OR HAZARDOUS MATERIAL, CALL 1-800-452-4664 WHICH IS AVAILABLE 24 HOURS A DAY. FOR MORE INFORMATION, VISIT THE DEPARTMENT'S WEBSITE AT : HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGENSPILLS/

2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

NOTE: LACK OF APPROPRIATE POLLUTANT REMOVAL BEST MANAGEMENT PRACTICES (BMPs) MAY RESULT IN VIOLATIONS OF THE GROUNDWATER QUALITY STANDARD ESTABLISHED BY 38 M.R.S.A. §465-C(1).

3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHALL BE INSTALLED AT THE END OF THE EXIST PAVED ACCESS TO THE SITE TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO ANY SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

EXCAVATION DEWATERING IS ANTICIPATED FOR THIS PROJECT. SHOULD IT BE NECESSARY, THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A SEDIMENT TRAP (SEE DETAIL THIS SHEET), DIRT BAG, OR SEDIMENTATION BASIN. A DEWATERING DISCHARGE PLAN SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.

6. UNAUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- (a) DISCHARGES FROM FIRE FIGHTING ACTIVITY;
- (b) FIRE HYDRANT FLUSHINGS;
- (c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- (d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND CHAPTER 500 APPENDIX C(3);
- (e) ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL THAT DOES NOT INVOLVE DETERGENTS;
- (f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
- (g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- (h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
- (i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- (j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
- (k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- (l) LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER CHAPTER 500 DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

- (a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- (b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- (c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- (d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

**CONSTRUCTION PHASE:**  
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND MAINTAIN UNTIL SITE IS PAVED.
2. ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION WILL BE DISTURBED.

3. PRIOR TO THE START OF CONSTRUCTION, SEDIMENT BARRIER WILL BE INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT TRAVELLED WAY TO PROTECT IT FROM CONSTRUCTION-RELATED EROSION.

4. CLEAR AND GRUB WORK SITE AS NEEDED TO EXECUTE PLANS USING CAUTION NOT TO OVER EXPOSE THE SITE.

5. STORMWATER MANAGEMENT SYSTEM WILL BE INSTALLED PRIOR TO CONSTRUCTION OF SITE ELEMENTS THAT DISCHARGE TO THESE SYSTEMS. NO STORMWATER WILL BE DIRECTED TO THE BIOTRETENTION FILTERS UNTIL THE SITE IS COMPLETELY STABILIZED. TEMPORARY INFILTRATION BASINS SHALL BE INSTALLED TO COLLECT ANY INFILTRATE ANY STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION AND PRIOR TO STABILIZATION.

6. DISTURBED AREAS WILL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF THE INITIAL DISTURBANCES OF SOILS. DISTURBED AREAS WILL BE STABILIZED BEFORE STORMS. LOAM WILL BE SAVED FOR LATER USE WHERE POSSIBLE. EXCESS SOIL MATERIALS WILL BE USED AS FILL OR REMOVED FROM SITE TO AN APPROVED LOCATION.

7. AT A MINIMUM, THE EROSION CONTROL MEASURES SHALL BE REVIEWED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6 INCHES AND BE DISCARDED ON THE SITE. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS.

8. LOAM, LIME, FERTILIZE, SEED, AND MULCH LANDSCAPED AND OTHER DISTURBED AREAS.

9. ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

10. TOUCH UP LOAM AND SEED.

NOTE: ALL DENUDEED AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP OR GRAVEL SHALL BE REVEGETATED.

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**EROSION CONTROL DURING WINTER CONSTRUCTION:**

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.

2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.

3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.

4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.

5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.

6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.

7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH STRAW-COCOONUT EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL).

8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.

9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

**SITE INSPECTION AND MAINTENANCE:**

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (90% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP. DURING WINTER CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL, SNOWMELT, OR THAWING, AND A MINIMUM OF ONCE PER WEEK.

2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.

3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

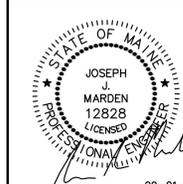
2. 09-01-20	SUBMITTED TO TOWN FOR REVIEW	JJM
1. 08-13-20	SUBMITTED TO MDEP FOR REVIEW	JJM

**EROSION CONTROL DETAILS AND NOTES**

PROJECT: **COOKS CORNER SELF STORAGE - AMENDMENT**  
**70 OLD BATH ROAD, BRUNSWICK, ME 04011**

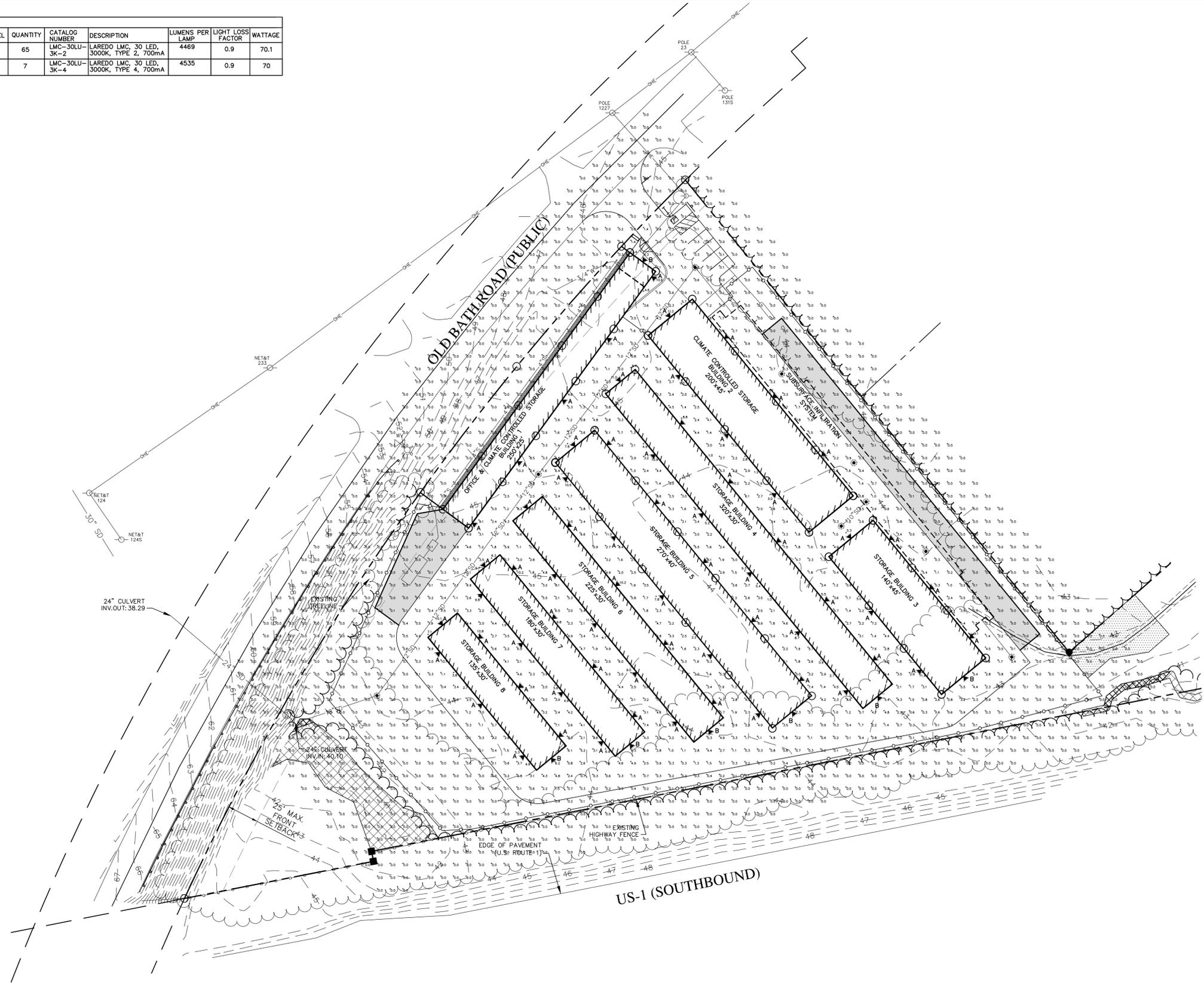
OWNER: **OLD BATH ROAD SPE, LLC**  
**44 SEABORNE DRIVE, YARMOUTH, ME 04096**

<b>SITELINES, PA</b> ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 8 CUMBERLAND STREET, BRUNSWICK, ME 04011 207.725.1200 www.sitelinespa.com		
FIELD WK: MC/MH	SCALE: NTS	SHEET: <b>C7</b>
DRN BY: MCA	JOB #: 3408.01	
CHD BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408.01-COVER-DET	



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 X:\LAND PROJECTS\3408 MACGILLIVRAY OLD BATH ROAD\3408-01-SITE.DWG, L1-LIGHTING, 8/31/2020 9:52:27 AM, JOSEPH MARDEN

SCHEDULE							
SYMBOL	LABEL	QUANTITY	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
▲	A	65	LMC-30LU-3K-2	LAREDO LMC, 30 LED, 3000K, TYPE 2, 700mA	4469	0.9	70.1
▲	B	7	LMC-30LU-3K-4	LAREDO LMC, 30 LED, 3000K, TYPE 4, 700mA	4535	0.9	70



NOTE: THERE WERE NO CHANGES TO THE LIGHTING PLAN AS PART OF THE PROPOSED AMENDMENT

- 2. 09-01-20 SUBMITTED TO TOWN FOR REVIEW JUM
- 1. 08-13-20 SUBMITTED TO MDEP FOR REVIEW JUM

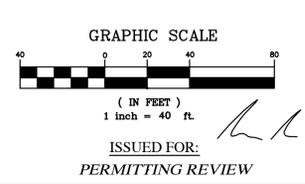
TITLE: LIGHTING PLAN

PROJECT: COOKS CORNER SELF STORAGE - AMENDMENT  
70 OLD BATH ROAD, BRUNSWICK, ME 04011

PREPARED FOR: OLD BATH ROAD SPE, LLC  
44 SEABORNE DRIVE, YARMOUTH, ME 04096

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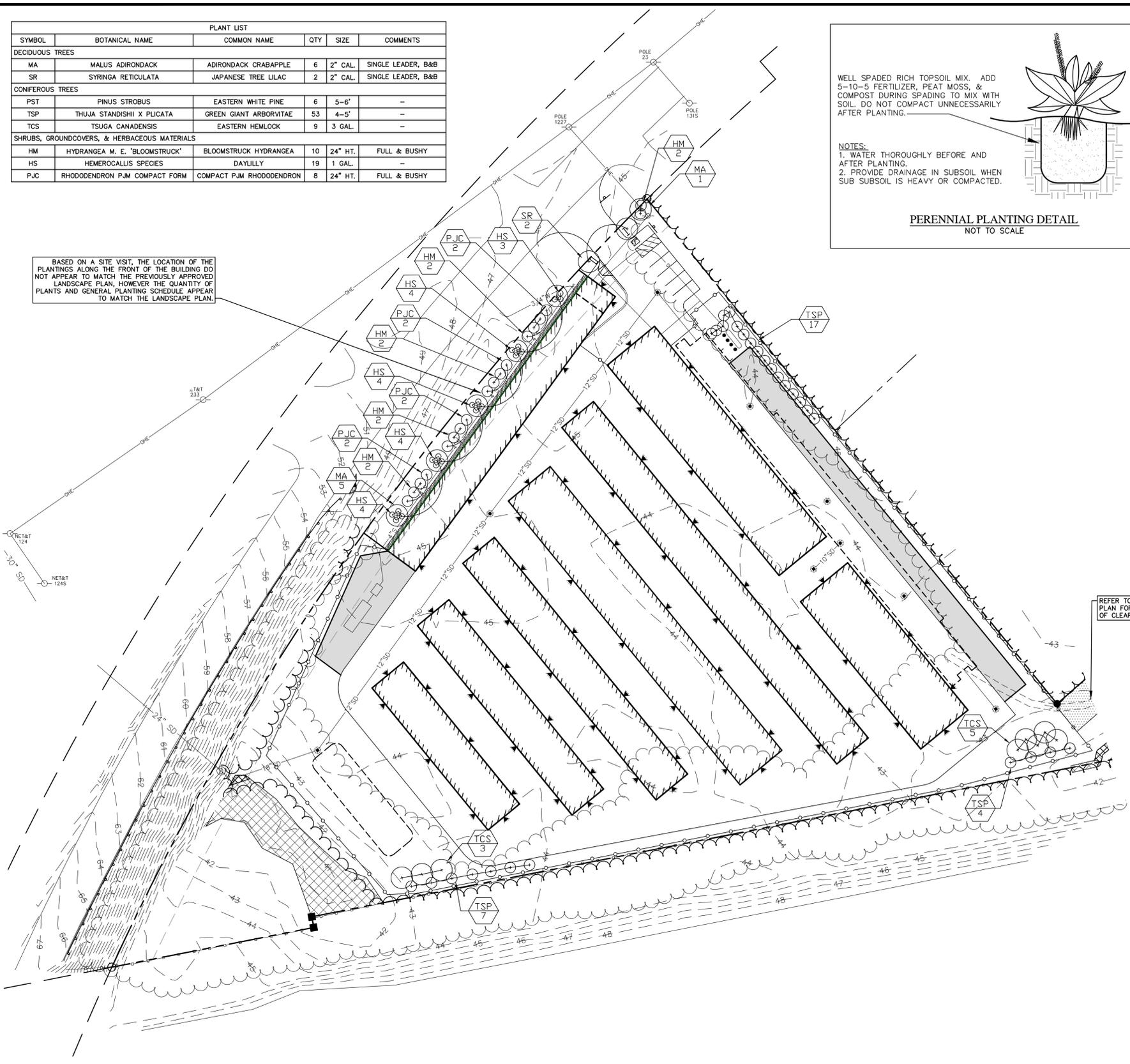
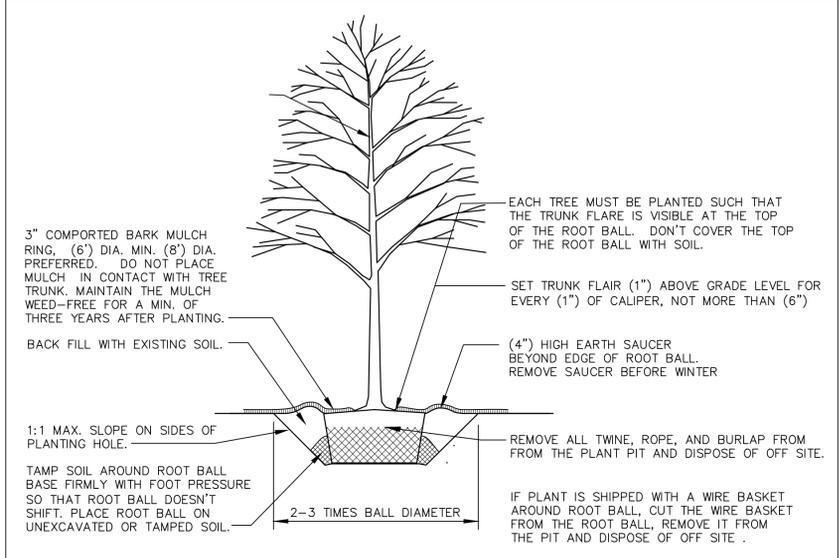
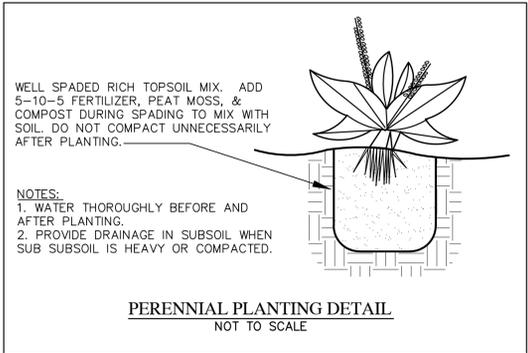
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FIELD WK: MC/MH	SCALE: 1"=40'	SHEET:
DRN BY: MCA	JOB #: 3408.01	<b>L1</b>
CH'D BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408-SITE	

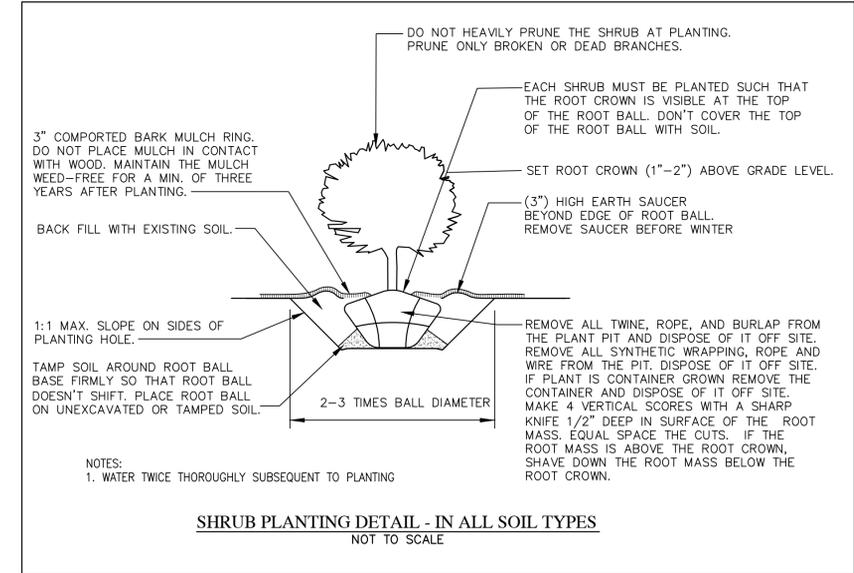
09-01-20

PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
MA	MALUS ADIRONDACK	ADIRONDACK CRABAPPLE	6	2" CAL.	SINGLE LEADER, B&B
SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	2	2" CAL.	SINGLE LEADER, B&B
<b>CONIFEROUS TREES</b>					
PST	PINUS STROBUS	EASTERN WHITE PINE	6	5-6'	-
TSP	THUJA STANDISHII X PLICATA	GREEN GIANT ARBORVITAE	53	4-5'	-
TCS	TSUGA CANADENSIS	EASTERN HEMLOCK	9	3 GAL.	-
<b>SHRUBS, GROUNDCOVERS, &amp; HERBACEOUS MATERIALS</b>					
HM	HYDRANGEA M. E. "BLOOMSTRUCK"	BLOOMSTRUCK HYDRANGEA	10	24" HT.	FULL & BUSHY
HS	HEMEROCALLIS SPECIES	DAYLILLY	19	1 GAL.	-
PJC	RHODODENDRON PJM COMPACT FORM	COMPACT PJM RHODODENDRON	8	24" HT.	FULL & BUSHY

BASED ON A SITE VISIT, THE LOCATION OF THE PLANTINGS ALONG THE FRONT OF THE BUILDING DO NOT APPEAR TO MATCH THE PREVIOUSLY APPROVED LANDSCAPE PLAN, HOWEVER THE QUANTITY OF PLANTS AND GENERAL PLANTING SCHEDULE APPEAR TO MATCH THE LANDSCAPE PLAN.



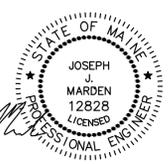
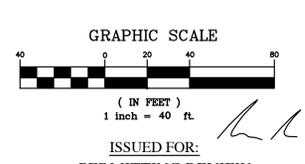
REFER TO SHEET L3 - REPLANTING PLAN FOR DETAILS ON REPLANTING OF CLEARED AND DISTURBED AREAS



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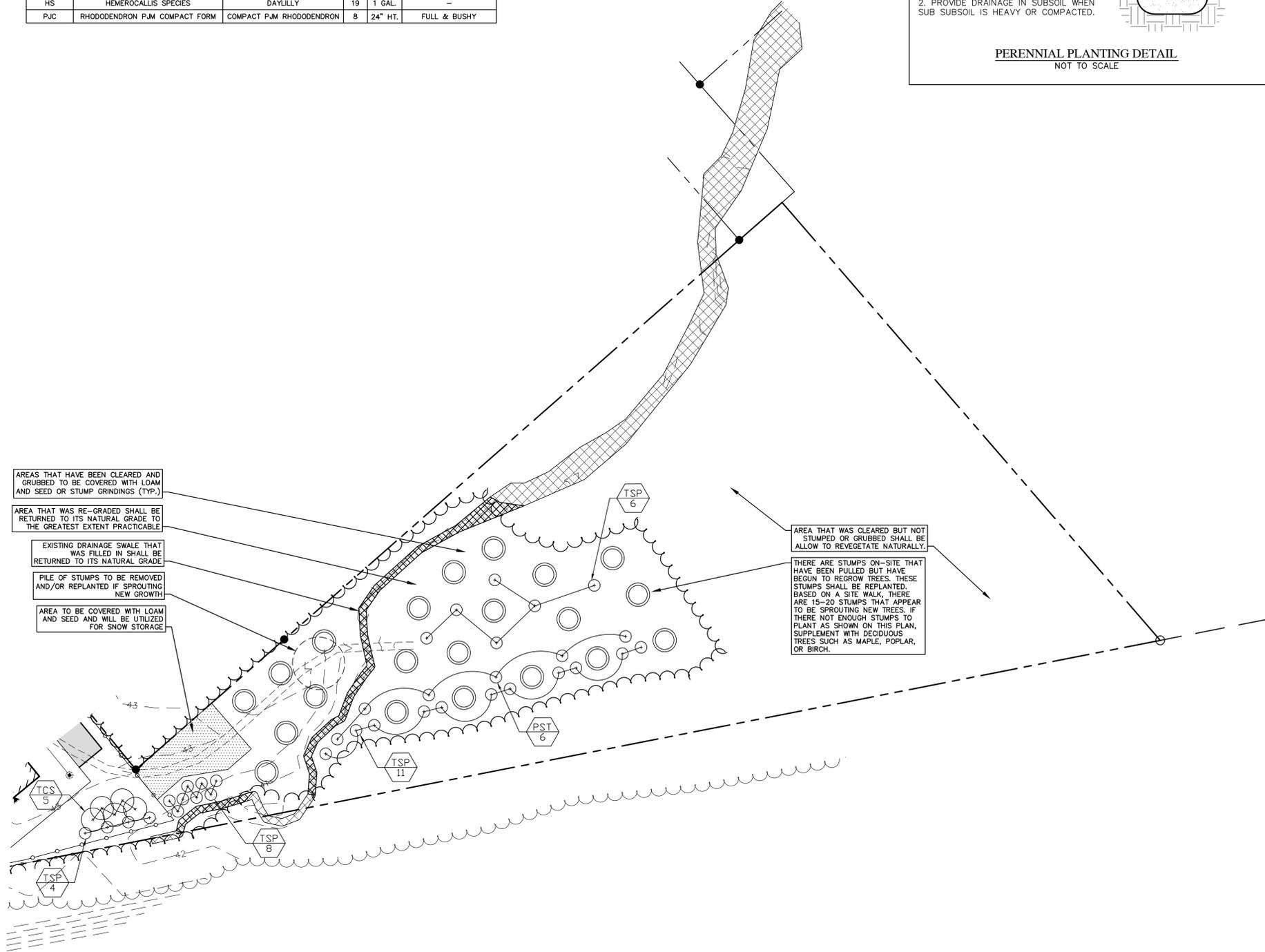
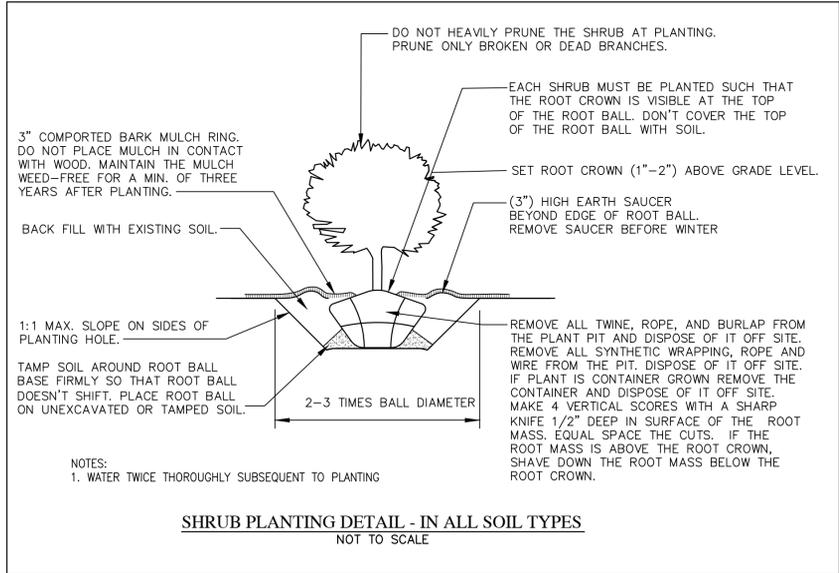
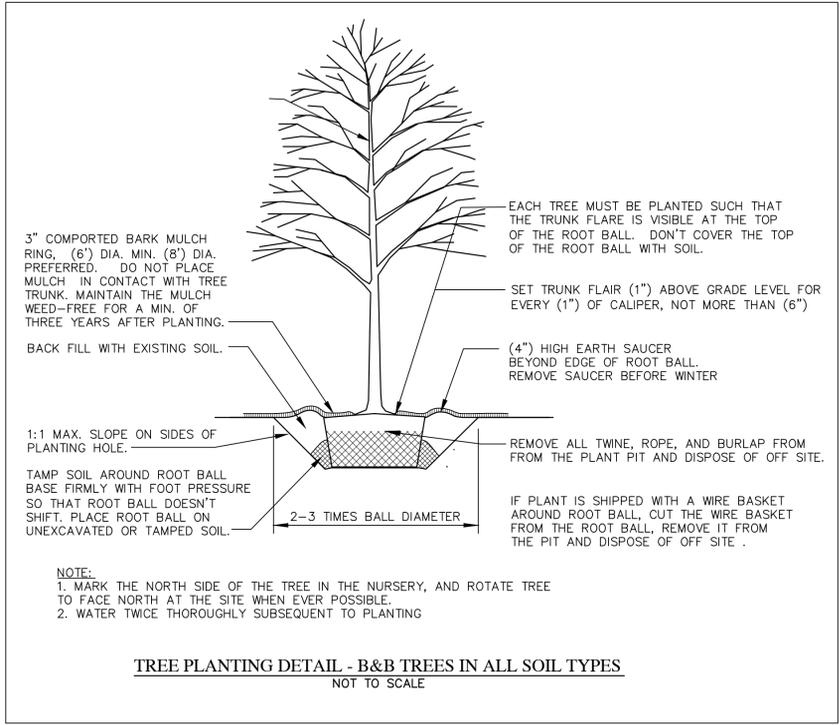
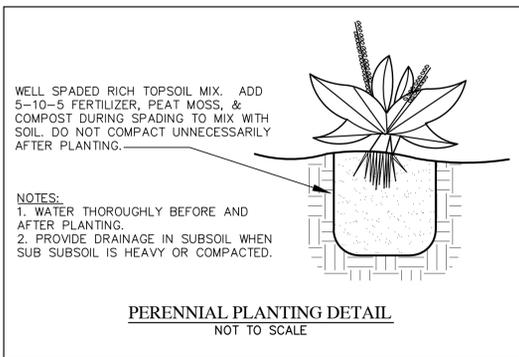


2. 09-01-20	SUBMITTED TO TOWN FOR REVIEW	JUM
1. 08-13-20	SUBMITTED TO MDEP FOR REVIEW	JUM
TITLE: <b>LANDSCAPE PLAN</b>		
PROJECT: COOKS CORNER SELF STORAGE - AMENDMENT 70 OLD BATH ROAD, BRUNSWICK, ME 04011		
PREPARED FOR: OLD BATH ROAD SPE, LLC 44 SEABORNE DRIVE, YARMOUTH, ME 04096		
FIELD WK: MC/MH	SCALE: 1"=40'	SHEET:
DRN BY: MCA	JOB #: 3408.01	<b>L2</b>
CH'D BY: CYN	MAP/LOT: 45/1A	
DATE: 07-29-20	FILE: 3408-SITE	

09-01-20

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2. 09-01-20 SUBMITTED TO TOWN FOR REVIEW JUM  
1. 08-13-20 SUBMITTED TO MDEP FOR REVIEW JUM

TITLE: **REPLANTING PLAN**

PROJECT: **COOKS CORNER SELF STORAGE - AMENDMENT  
70 OLD BATH ROAD, BRUNSWICK, ME 04011**

PREPARED FOR: **OLD BATH ROAD SPE, LLC  
44 SEABORNE DRIVE, YARMOUTH, ME 04096**

FIELD WK: MC/MH SCALE: 1"=40' SHEET: **L3**

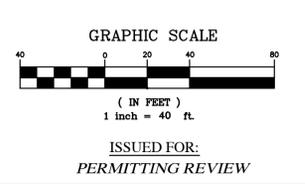
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CH'D BY: CYN MAP/LOT: 45/1A

DATE: 07-29-20 FILE: 3408-SITE

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JOSEPH J. MARDEN  
12828  
LICENSED PROFESSIONAL ENGINEER  
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